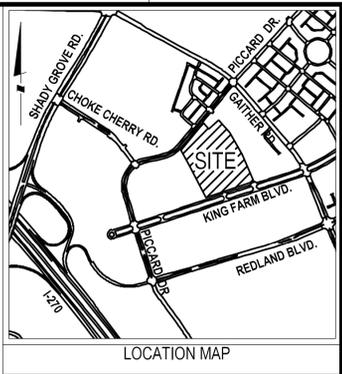


INGLESIDE AT KING FARM

PHASE 2 CITY OF ROCKVILLE



OWNER/DEVELOPER
KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

APPLICANT
WESTMINSTER INGLESIDE GROUP, LLC
5121 BROAD BRANCH ROAD, NW
WASHINGTON, DC 20008
202-596-3114
c/o THOMAS W. SEYBOLD, JD

CIVIL ENGINEER
SOLTESZ
2 RESEARCH PLACE, SUITE 100
ROCKVILLE, MD 20850
301-948-2750

ARCHITECT
PERKINS EASTMAN
ONE THOMAS CIRCLE, NW, SUITE 200
WASHINGTON, DC 20005
202-212-6061

LANDSCAPE ARCHITECT
PARKER RODRIGUEZ
101 N. UNION STREET #320
ALEXANDRIA, VA 22314
703-548-5010

ATTORNEY
LINOWES AND BLOCHER, LLP
7200 WISCONSIN AVE., SUITE 800
BETHESDA, MD 20814
301-961-5157

SHEET INDEX

CIVIL

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE PLAN
- 4 FIRE PROTECTION PLAN
- 5 MULTIMODAL CIRCULATION PLAN
- 6 SITE DETAILS
- 7 SITE DETAILS
- 8 SIGNAGE EXHIBIT

LANDSCAPE

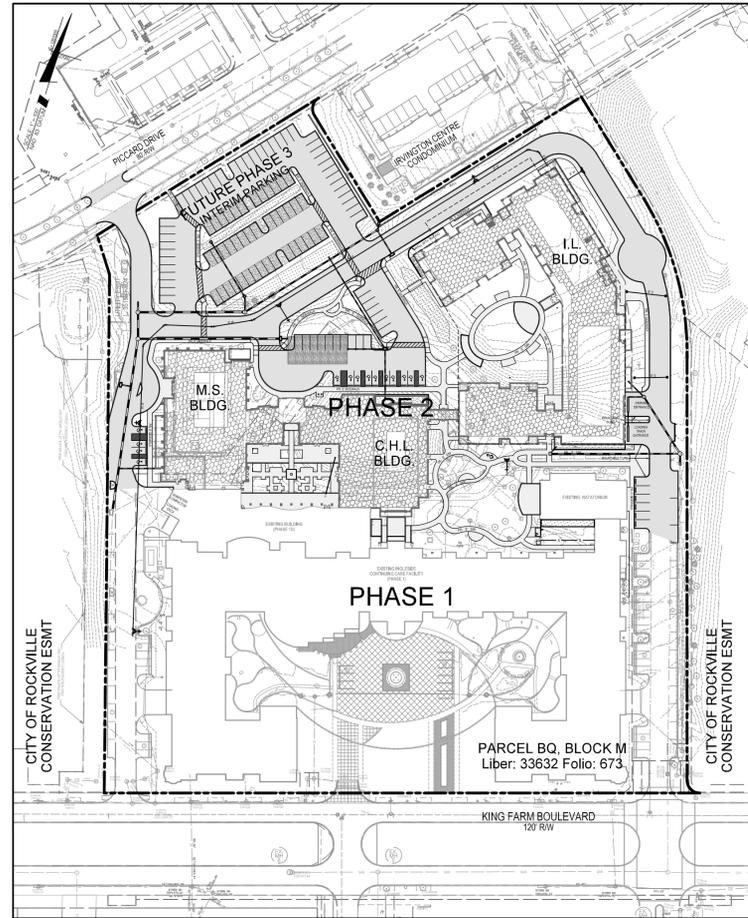
- L-100 LANDSCAPE PLAN
- L-200 PLANTING PLAN
- L-201 PLANTING SCHEDULE
- L-300 PHOTOMETRIC PLAN
- L-500 HARDSCAPE PLAN
- L-501 PLANTING DETAILS
- L-502 LIGHTING DETAILS

ARCHITECTURE

- A-A100 2A FIRST FLOOR PLAN
- A-A200 2A EXTERIOR ELEVATIONS
- A-B100 2B FIRST FLOOR PLAN
- A-B101 2B SECOND FLOOR PLAN
- A-B102 2B THIRD FLOOR PLAN
- A-B200 2B EXTERIOR ELEVATIONS
- A-B201 2B EXTERIOR ELEVATIONS
- A-C100 2C OVERALL BASEMENT PLAN
- A-C101 2C OVERALL FIRST FLOOR PLAN
- A-C102 2C OVERALL SECOND FLOOR PLAN
- A-C103 2C OVERALL THIRD-SIXTH FLOOR PLAN
- A-C104 2C OVERALL SEVENTH FLOOR PLAN
- A-C200 2C EXTERIOR ELEVATIONS
- A-C201 2C EXTERIOR ELEVATIONS
- A-C202 2C EXTERIOR ELEVATIONS
- A-C203 2C EXTERIOR ELEVATIONS
- A-C204 2C EXTERIOR ELEVATIONS

GENERAL NOTES

- 1 The existing zone is PD-KF.
- 2 Boundary information is from a survey prepared by Soltesz.
- 3 Design and construction of this site shall follow the "King Farm Design Guidelines" approved by the City of Rockville. Plan Application, CPD 95-0002.
- 4 This site lies within the Watts Branch watershed.
- 5 Pepco, Washington Gas Light Co. of Md., The City of Rockville, Washington Suburban Sanitary Commission and Cable TV Montgomery are some of the public utility companies that will provide service to the proposed development.
- 6 The proposed layout, parking, driveways, buildings and utilities are approximate and subject to final computations prior to Signature Set.
- 7 Soltesz is not responsible for pavement markings and striping.
- 8 MPDUs will be provided pursuant to the Ingleside "Senior Affordable Housing Program", as approved by the Mayor and Council in Resolution 6-05 on March 14, 2005.



OVERALL PLAN

Ingleside King Farm Development Data Table				
	Required/Allowed Zoning Ordinance Development Standards for PD-KF	Existing (Phase 1) Provided	Proposed (Phase 2) Provided	Total Provided
Site Area:				
Net Lot Area:		11.54 AC (503,018 SF)	11.54 AC (503,018 SF)	11.54 AC (503,018 SF)
Existing Zone	PD-KF	PD-KF	PD-KF	
Density of Development: (Council Resolution No. 10-96, King Farm Concept Plan & King Farm Design Guidelines)				
Max. Gross Square Footage (per CPD 1995-0002B)	1,200,000 GSF	602,392 GSF	376,135 GSF	978,527 GSF
Independent Living Units	N/A	246 DU	127 DU ¹	
Assisted Living Units	N/A	32 Units	26 Units ²	
Skilled Nursing Units	N/A	45 Beds ³	N/A	
Total Units		278 Units	153 Units	431 Units
Total Beds		45 Beds		45 Beds
Zoning Standards (Council Resolution No. 10-96, King Farm Concept Plan & King Farm Design Guidelines)				
Min. Lot Area	N/A	11.54 AC	11.54 AC	
Min. Lot Width at Street Front	N/A	N/A	N/A	
Building Height	120' (Maximum)	119' (approved)	64'	
Building Setbacks: (Minimum)				
Front Setback:	0'	12'	157'	
Side Setback:	0'	71'	53'	
Parking - Phase 1 (Existing)				
Independent Living: 246 DU (1 space per 3 DU)	82	169	-	
Assisted Living: 32 DU (1 space per 3 DU)	11	11	-	
Nursing Beds: 34,650 SF (1 space per 1,000 sf)	35	35	-	
Employees: 69 (1 space per 2 employees)	35	74	-	
Staff doctors: 2 (1 space per staff doctor)	2	2	-	
Total Phase 1 Parking Spaces	165	291		
Parking - Phase 2^{1,2}				
Independent Living: 63 1-bdm DU (1 space per bdm)	63	-	63	
Independent Living: 54 2-bdm DU (1.5 space per bdm)	81	-	81	
Independent Living: 10 3-bdm DU (1.5 space per bdm)	15	-	15	
Assisted Living: 32 beds (1 space per 4 beds)	8	-	8	
Employees: 11 (1 space per employee per major shift)	11	-	126	
Total Phase 2 Parking Spaces	178		293	
Total Required Parking Spaces for Phase 1&2	343			
Total parking provided Phase 1&2		291	293	584 parking spaces
Accessible Parking Spaces	12	13	24	37 Accessible Parking Spaces
Bicycle Parking - (For Independent Living Only)				
Short term: 373 DU (1 space per 100 DU)	4	25	8	
Long term: 373 DU (1 space per 50 DU)	8	10	4	
Total bicycle parking spaces	12	35	12	47-Bicycle Spaces⁴

- Notes:
1. Maximum number of parking spaces proposed for garage. Actual number may be reduced, depending on demand.
 2. Parking requirements for Phase 2 are based on current City of Rockville standards. Parking requirements for Phase 1 are based on the standards in effect at the time of Phase 1 plan approval.
 3. Skilled nursing is measured as number of beds provided.
 4. Out of 127 new Independent living units, 2 units are within existing Phase 1 building.
 5. Total proposed Assisted Living units with phase 2 development are 32, net units noted are 26 because 6 units from existing Phase 1 building are removed.
 6. Breakdown of bicycle parking provided is as follows:
 Long Term - Existing Building Garage - 5 Bike Lockers that hold 2 bikes each - 10-spaces
 New IL-Building Garage - 2 Bike Lockers that hold 2 bikes each - 4 spaces
 Short Term - Existing Building Garage - 5 Bike Racks that hold 5 bikes each - 25 spaces
 New IL-Building Garage - 2 Bike Racks that hold 2 bikes each - 4 spaces
 In front of new CHL Building - 2 Bike Racks that hold 2 bikes each - 4 spaces

C-1



1" = AS SHOWN

SHEET 1 OF 8

PROJECT NO. 1424-04-00



Rockville Office
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

Rockville
Lanham
Waldorf
Leondartown
Frederick

NO.	REVISIONS	BY	DATE
1	18 MARCH 2016	JLF	

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER

KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

TAX MAP
FS 562
GS 122

WSSC 200' SHEET
221 NW 9
221 NW 8

SITE DATUM
HORIZONTAL: NAD 83/01
VERTICAL:

ZONING CATEGORY:
PD-KF

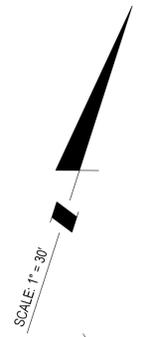
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017



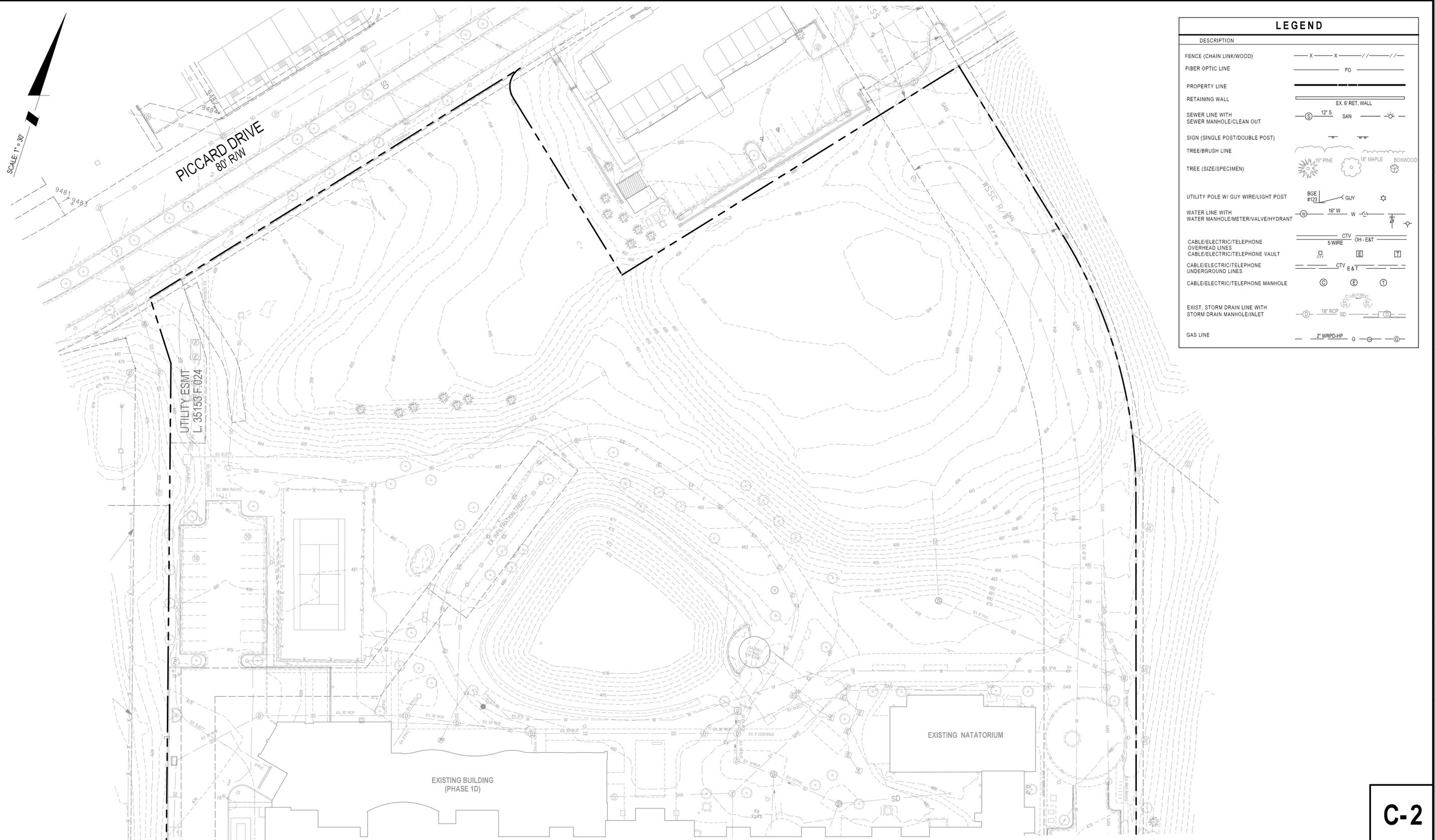
SITE PLAN - LEVEL II

KING FARM
INGLESIDE AT KING FARM
PHASE 2
CITY OF ROCKVILLE, MARYLAND
4TH ELECTION DISTRICT



LEGEND	
DESCRIPTION	
FENCE (CHAIN LINK/WOOD)	X - X - - - - -
FIBER OPTIC LINE	FO - - - - -
PROPERTY LINE	—————
RETAINING WALL	EX. 6' RET. WALL
SEWER LINE WITH SEWER MANHOLE/CLEAN OUT	12" S SAN
SIGN (SINGLE POST/DOUBLE POST)	— / —
TREE/BRUSH LINE	— / —
TREE (SIZE/SPECIMEN)	10" PINE, 18" MAPLE, BOXWOOD
UTILITY POLE W/ GUY WIRE/LIGHT POST	BCE #123, GUY
WATER LINE WITH WATER MANHOLE/METER/VALVE/HYDRANT	18" W W
CABLE/ELECTRIC/TELEPHONE OVERHEAD LINES	CTV OH - E&T
CABLE/ELECTRIC/TELEPHONE UNDERGROUND LINES	CTV E&T
CABLE/ELECTRIC/TELEPHONE MANHOLE	⊙, ⊙, ⊙
EXIST. STORM DRAIN LINE WITH STORM DRAIN MANHOLE/INLET	18" RCP SD
GAS LINE	2" WRPD/HP G

The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A disclaimer of the information contained herein is hereby made. SOLTESZ makes no warranty, express or implied, concerning the accuracy of any information that has been transmitted by electronic means.



C-2

EXISTING CONDITIONS PLAN

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017



KING FARM
INGLESIDE AT KING FARM
PHASE 2
 CITY OF ROCKVILLE, MARYLAND
 4TH ELECTION DISTRICT



ROCKVILLE OFFICE
 2 Research Place, Suite 100
 Rockville, MD 20850
 P. 301.948.2750 F. 301.948.9067
 www.solteszco.com

Rockville
 Lanham
 Waldorf
 Leonardtown
 Frederick

Engineering
 Planning
 Environmental Sciences

NO.	REVISIONS	BY	DATE

DATE: 18 MARCH 2016	CAD STANDARDS VERSION: V8 - 2000
DESIGNED: JLF	TECHNICIAN: AH
CHECKED: JLF	

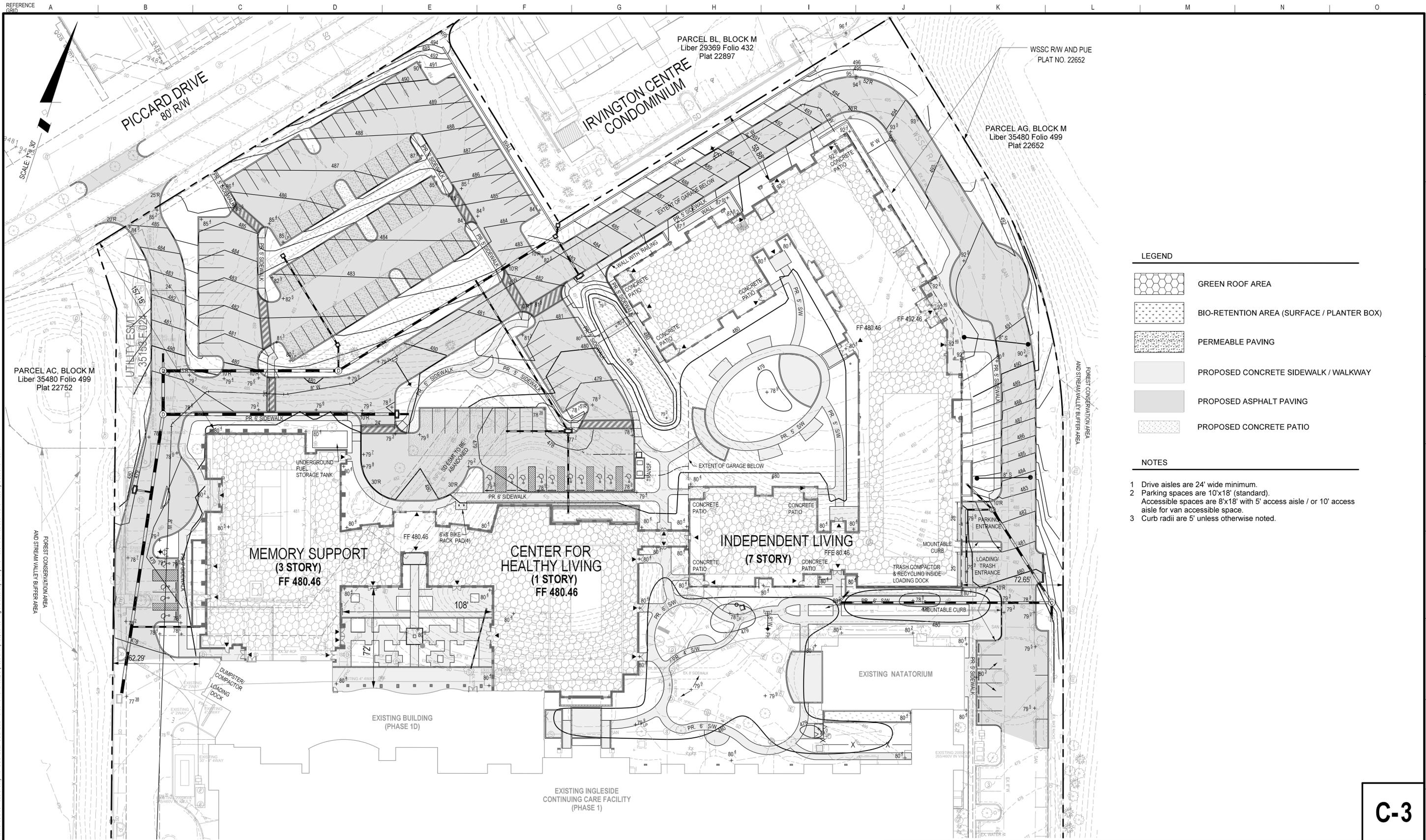
MISS UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER
 KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
 3050 MILITARY ROAD, NW
 WASHINGTON, DC 20015
 202-363-8310

TAX MAP FS 562 GS 122	ZONING CATEGORY: PD-KF
WSSC 200' SHEET 221 NW 9 221 NW 8	
SITE DATUM HORIZONTAL: NAD 83/11 VERTICAL:	

SHEET **2**
OF **8**

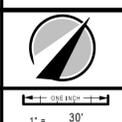
PROJECT NO.
1424-04-00



- LEGEND**
- GREEN ROOF AREA
 - BIO-RETENTION AREA (SURFACE / PLANTER BOX)
 - PERMEABLE PAVING
 - PROPOSED CONCRETE SIDEWALK / WALKWAY
 - PROPOSED ASPHALT PAVING
 - PROPOSED CONCRETE PATIO

- NOTES**
- 1 Drive aisles are 24' wide minimum.
 - 2 Parking spaces are 10'x18' (standard). Accessible spaces are 8'x18' with 5' access aisle / or 10' access aisle for van accessible space.
 - 3 Curb radii are 5' unless otherwise noted.

C-3



1" = 30'

SHEET **3**
OF **8**

PROJECT NO.
1424-04-00

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017



SITE PLAN

KING FARM
INGLESIDE AT KING FARM
PHASE 2
CITY OF ROCKVILLE, MARYLAND
4TH ELECTION DISTRICT



ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

Rockville
Lanham
Waldorf
Leonardtown
Frederick

NO.	REVISIONS	BY	DATE
DATE: 18 MARCH 2016	CAD STANDARDS VERSION: V8 - 2000		
DESIGNED: JLF	TECHNICIAN: AH	CHECKED: JLF	

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER
KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

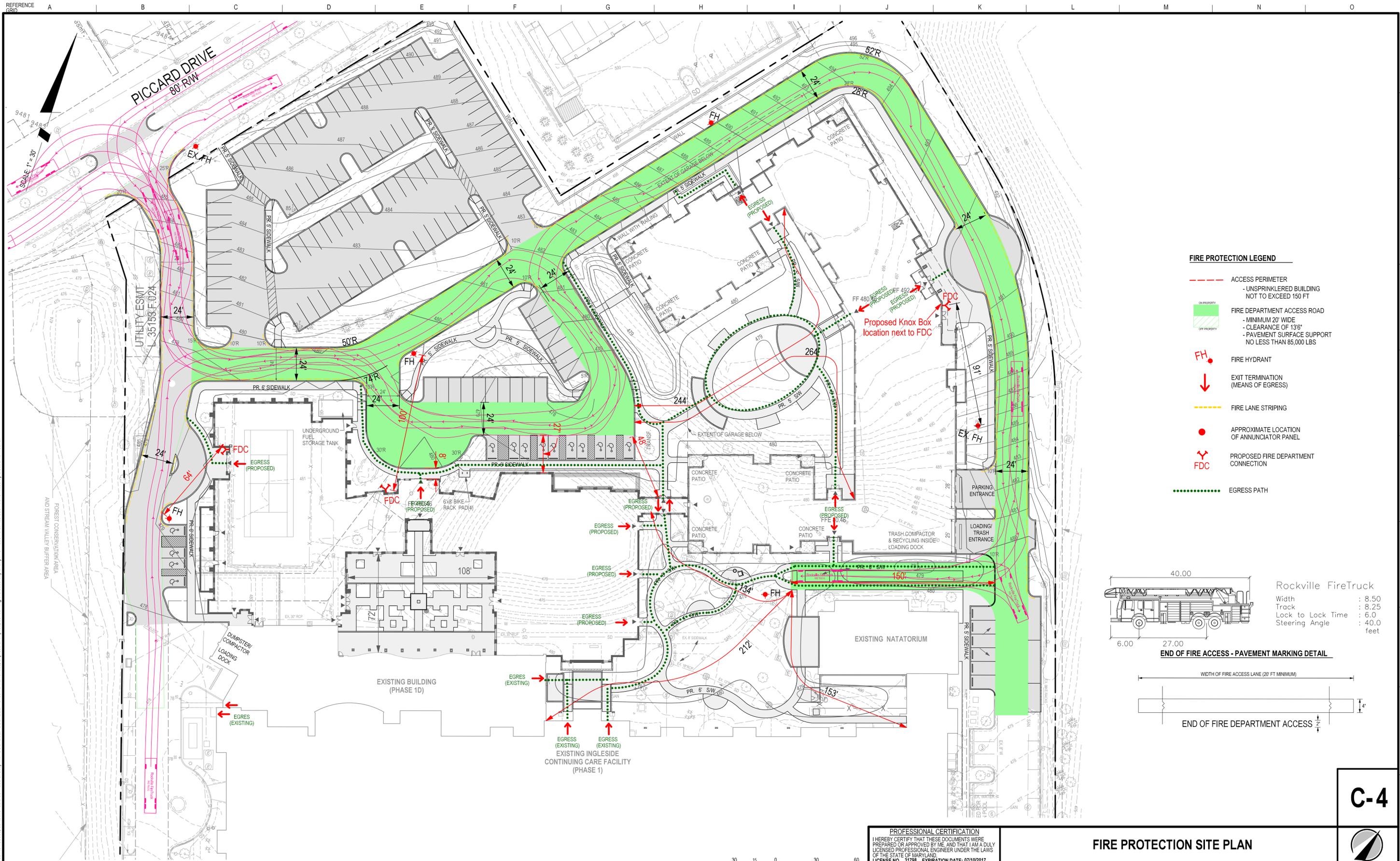
TAX MAP
FS 562
GS 122

ZONING CATEGORY:
PD-KF

WSSC 200' SHEET
221 NW 9
221 NW 8

SITE DATUM
HORIZONTAL: NAD 83/01
VERTICAL:

The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A representation of the information contained herein is provided, contact should be made directly with SOLTESZ. SOLTESZ makes no warranty, express or implied, concerning the accuracy of any information that has been transmitted by electronic means.



- FIRE PROTECTION LEGEND**
- ACCESS PERIMETER
- UNSPRINKLERED BUILDING NOT TO EXCEED 150 FT
 - FIRE DEPARTMENT ACCESS ROAD
- MINIMUM 20' WIDE
- CLEARANCE OF 13'6"
- PAVEMENT SURFACE SUPPORT NO LESS THAN 85,000 LBS
 - FIRE HYDRANT
 - EXIT TERMINATION (MEANS OF EGRESS)
 - FIRE LANE STRIPING
 - APPROXIMATE LOCATION OF ANNUNCIATOR PANEL
 - PROPOSED FIRE DEPARTMENT CONNECTION
 - EGRESS PATH



The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A review of the information contained herein is required. Contact should be made directly with SOLTESZ. SOLTESZ makes no warranty, express or implied, concerning the accuracy of any information that has been transmitted by electronic means.

SOLTESZ
 Rockville Office
 2 Research Place, Suite 100
 Rockville, MD 20850
 P. 301.948.2750 F. 301.948.9067
 www.solteszco.com

Rockville
 Lanham
 Waldorf
 Leonardtown
 Frederick

NO.	REVISIONS	BY	DATE
1	18 MARCH 2016	JLF	

CAD STANDARDS VERSION: V8 - 2000
 DESIGNED: JLF TECHNICIAN: AH CHECKED: JLF

MISS UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER
 KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
 3050 MILITARY ROAD, NW
 WASHINGTON, DC 20015
 202-363-8310

TAX MAP: FS 562, GS 122
 ZONING CATEGORY: PD-KF
 WSSC 200' SHEET: 221 NW 9, 221 NW 8
 SITE DATUM: HORIZONTAL: NAD 83/01, VERTICAL: _____

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017

FIRE PROTECTION SITE PLAN

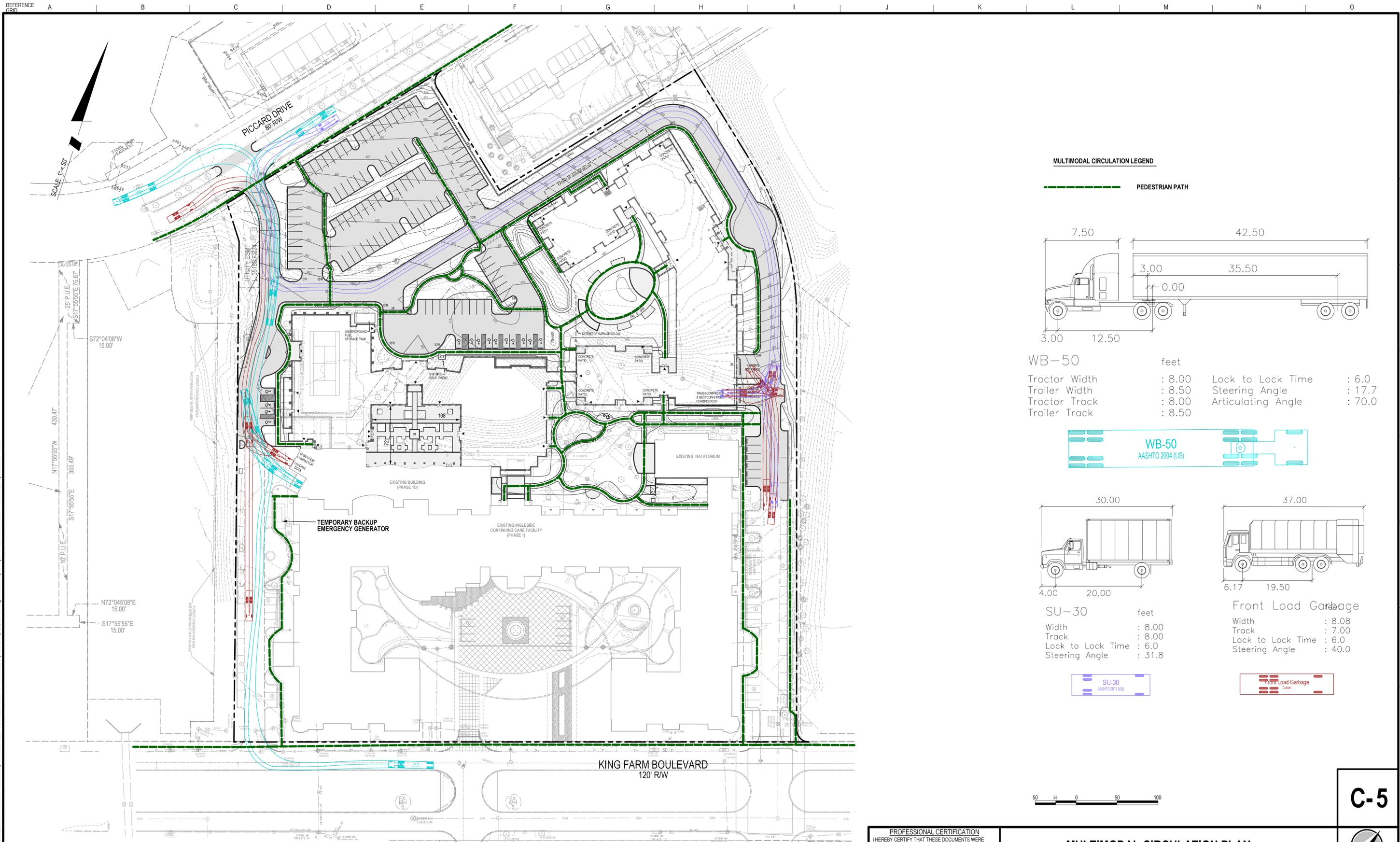
KING FARM
INGLESIDE AT KING FARM
 PHASE 2
 CITY OF ROCKVILLE, MARYLAND
 4TH ELECTION DISTRICT

C-4

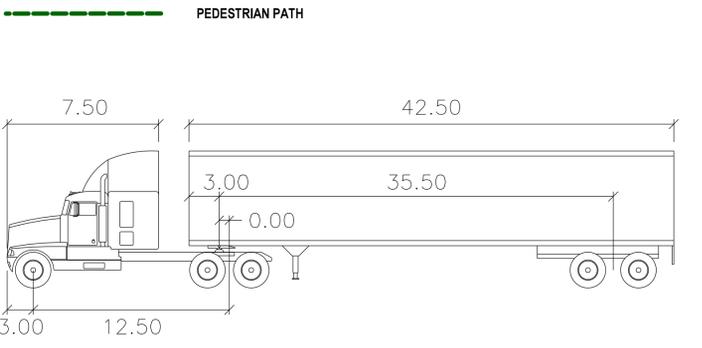
1" = 30'

SHEET 4 OF 8

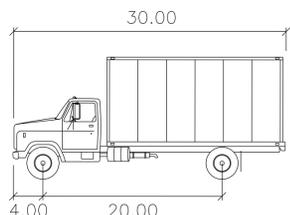
PROJECT NO. 1424-04-00



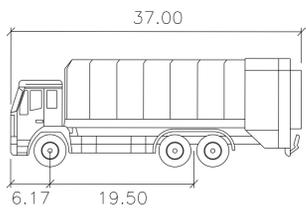
MULTIMODAL CIRCULATION LEGEND



WB-50	feet	
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.50	Steering Angle : 17.7
Tractor Track	: 8.00	Articulating Angle : 70.0
Trailer Track	: 8.50	



SU-30	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



Front Load Garbage	feet
Width	: 8.08
Track	: 7.00
Lock to Lock Time	: 6.0
Steering Angle	: 40.0



The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. It is the responsibility of the user to verify the accuracy of any information that has been transmitted by electronic means.

SOLTESZ

Rockville
Lanham
Waldorf
Leonardtown
Frederick

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

NO.	REVISIONS	BY	DATE
1	18 MARCH 2016	JLF	

DESIGNED: JLF CAD STANDARDS VERSION: V8 - 2000 CHECKED: JLF

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER

KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

TAX MAP FS 562 GS 122	ZONING CATEGORY: PD-KF
WSSC 200' SHEET 221 NW 9 221 NW 8	
SITE DATUM HORIZONTAL: NAD 83/01 VERTICAL:	

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017

MULTIMODAL CIRCULATION PLAN

KING FARM

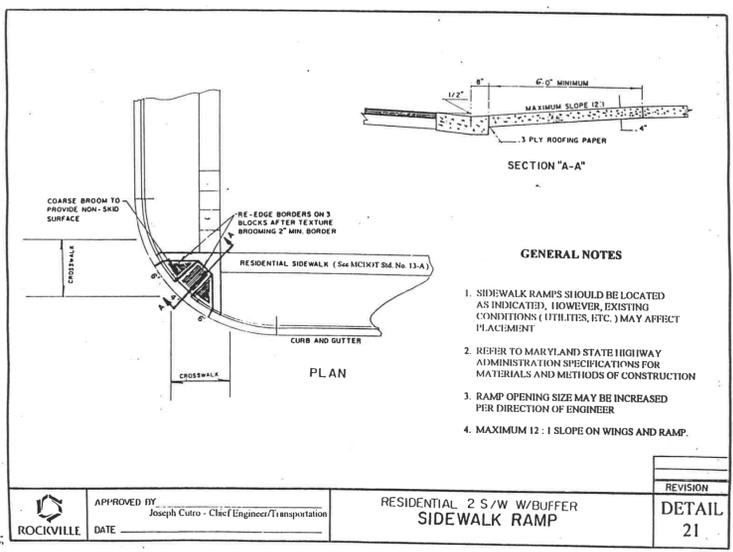
INGLESIDE AT KING FARM
PHASE 2
CITY OF ROCKVILLE, MARYLAND
4TH ELECTION DISTRICT

C-5

1" = 50'

SHEET **5**
OF **8**

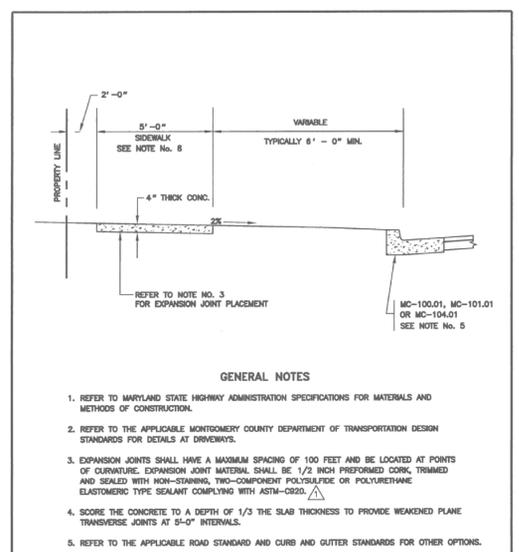
PROJECT NO.
1424-04-00



- GENERAL NOTES**
1. SIDEWALK RAMP SHOULD BE LOCATED AS INDICATED, HOWEVER, EXISTING CONDITIONS (UTILITIES, ETC.) MAY AFFECT PLACEMENT
 2. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION
 3. RAMP OPENING SIZE MAY BE INCREASED PER DIRECTION OF ENGINEER
 4. MAXIMUM 12:1 SLOPE ON WINGS AND RAMP.

APPROVED BY	DATE	REVISION	DETAIL
Joseph Cutro - Chief Engineer/Transportation		21	

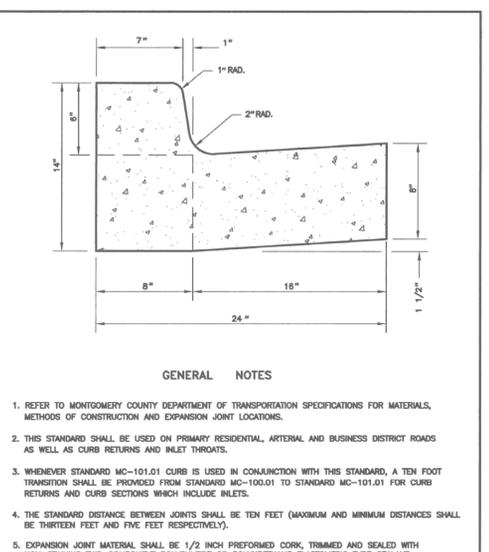
RESIDENTIAL 2 S/W W/BUFFER SIDEWALK RAMP



- GENERAL NOTES**
1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
 2. REFER TO THE APPLICABLE MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS FOR DETAILS AT DRIVEWAYS.
 3. EXPANSION JOINTS SHALL HAVE A MAXIMUM SPACING OF 100 FEET AND BE LOCATED AT POINTS OF CURVATURE. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.
 4. SCORE THE CONCRETE TO A DEPTH OF 1/3 THE SLAB THICKNESS TO PROVIDE WEAKENED PLANE TRANSVERSE JOINTS AT 5'-0" INTERVALS.
 5. REFER TO THE APPLICABLE ROAD STANDARD AND CURB AND GUTTER STANDARDS FOR OTHER OPTIONS.
 6. SIDEWALK WIDTH SHALL BE 4'-0" FOR SECONDARY AND TERTIARY ROADWAYS.

APPROVED	DATE	REVISOR	DATE	REVISION
4/4/06	4/2/08			

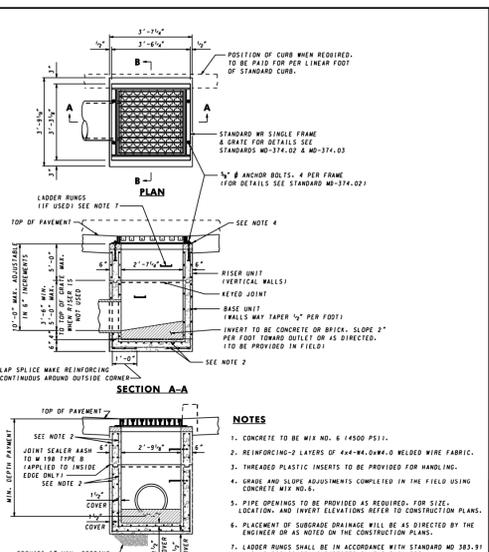
MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
RESIDENTIAL SIDEWALK CLOSED SECTION
STANDARD NO. MC-110.01



- GENERAL NOTES**
1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
 2. THIS STANDARD SHALL BE USED ON PRIMARY RESIDENTIAL, ARTERIAL AND BUSINESS DISTRICT ROADS AS WELL AS CURB RETURNS AND INLET THROATS.
 3. WHENEVER STANDARD MC-101.01 CURB IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-100.01 TO STANDARD MC-101.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
 4. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
 5. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED	DATE	REVISOR	DATE	REVISION
4/4/06	4/2/08			

MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
COMBINATION CONCRETE CURB AND GUTTER TYPE A
STANDARD NO. MC-100.01



- GENERAL NOTES**
1. CONCRETE TO BE MIX NO. 6 (4500 P.S.I.)
 2. REINFORCING-2 LAYERS OF 4x4-#4-0.004-0 WELDED WIRE FABRIC.
 3. TYPED PLASTIC INSERTS TO BE PROVIDED FOR HANDLING.
 4. GRADE AND SLOPE ADJUSTMENTS COMPLETED IN THE FIELD USING LOCATION AND INVERT ELEVATIONS REFER TO CONSTRUCTION PLANS.
 5. PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION, AND INVERT ELEVATIONS REFER TO CONSTRUCTION PLANS.
 6. PLACEMENT OF SUBGRADE DRAINAGE WILL BE AS DIRECTED BY THE ENGINEER OR AS NOTED ON THE CONSTRUCTION PLANS.
 7. LADDER RUNGS SHALL BE IN ACCORDANCE WITH STANDARD MD 383.91 AND MD 383.92 OR AS DIRECTED BY THE ENGINEER.
 8. WHENEVER DEPTH PAYMENT PER "EACH" INLET INCLUDES DEPTHS UP TO 3'-6". VERTICAL DEPTH PAYMENT PER LINEAR FOOT FOR DEPTHS IN EXCESS OF 3'-6".

APPROVED	DATE	REVISOR	DATE	REVISION
4/4/06	4/2/08			

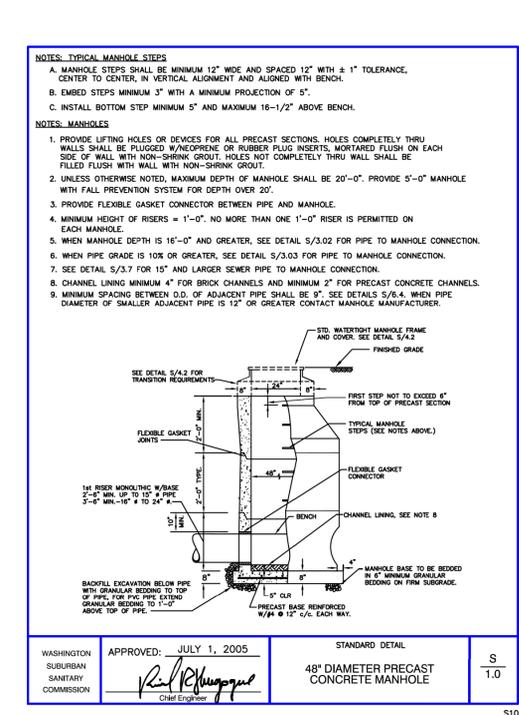
MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
COMBINATION CONCRETE CURB AND GUTTER TYPE A
STANDARD NO. MC-100.01



- GENERAL NOTES**
1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION, AND EXPANSION JOINT LOCATIONS.
 2. MOUNTABLE CURB SHALL ONLY BE USED ON TERTIARY STREETS OR ON SECONDARY RESIDENTIAL CUA-DE-SACS 500 FEET OR LESS IN LENGTH, MEASURED FROM THE LAST INTERSECTING STREET.
 3. WHENEVER STANDARD MC-100.01 IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-104.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
 4. TRANSITION BETWEEN STANDARD MC-104.01 AND MC-100.01 OR MC-101.01 SHALL BE ACCOMPLISHED HOLDING THE FLOW LINE SLOPE CONSTANT.
 5. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
 6. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED	DATE	REVISOR	DATE	REVISION
4/4/06	4/2/08			

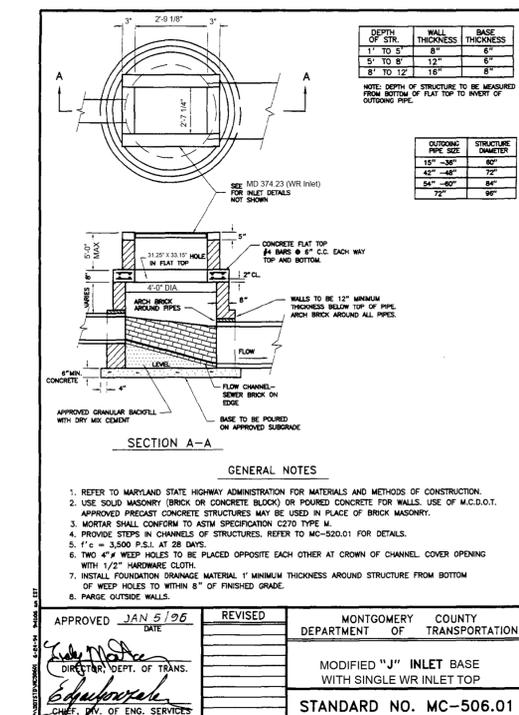
MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
MOUNTABLE CONCRETE CURB AND GUTTER TYPE F
STANDARD NO. MC-104.01



- NOTES - TYPICAL MANHOLE STEPS**
- MANHOLE STEPS SHALL BE MINIMUM 12" WIDE AND SPACED 12" WITH A 1" TOLERANCE, CENTER TO CENTER, IN VERTICAL ALIGNMENT AND ALIGNED WITH BENCH.
 - EMBED STEPS MINIMUM 3" WITH A MINIMUM PROJECTION OF 5".
 - INSTALL BOTTOM STEP MINIMUM 5" AND MAXIMUM 16-1/2" ABOVE BENCH.
- NOTES - MANHOLES**
1. PROVIDE LIFTING HOLES OR DEVICES FOR ALL PRECAST SECTIONS. HOLES COMPLETELY THRU WALLS SHALL BE PLUGGED WITH W/PCORNE OR RUBBER PLUG INSERTS. MORTARED FLUSH ON EACH SIDE OF WALL WITH NON-SHRINK GROUT. HOLES NOT COMPLETELY THRU WALL SHALL BE FILLED FLUSH WITH WALL WITH NON-SHRINK GROUT.
 2. UNLESS OTHERWISE NOTED, MAXIMUM DEPTH OF MANHOLE SHALL BE 20'-0". PROVIDE 5'-0" MANHOLE WITH FALL PREVENTION SYSTEM FOR DEPTH OVER 20'.
 3. PROVIDE FLEXIBLE GASKET CONNECTOR BETWEEN PIPE AND MANHOLE.
 4. MINIMUM HEIGHT OF RISERS = 1'-0". NO MORE THAN ONE 1'-0" RISER IS PERMITTED ON EACH MANHOLE.
 5. WHEN MANHOLE DEPTH IS 16'-0" AND GREATER, SEE DETAIL S/3.02 FOR PIPE TO MANHOLE CONNECTION.
 6. WHEN PIPE GRADE IS 10% OR GREATER, SEE DETAIL S/3.03 FOR PIPE TO MANHOLE CONNECTION.
 7. SEE DETAIL S/3.7 FOR 15" AND LARGER SEWER PIPE TO MANHOLE CONNECTION.
 8. CHANNEL LINING MINIMUM 4" FOR BRICK CHANNELS AND MINIMUM 2" FOR PRECAST CONCRETE CHANNELS.
 9. MINIMUM SPACING BETWEEN D.O. OF ADJACENT PIPE SHALL BE 6". SEE DETAILS S/6.4, WHEN PIPE DIAMETER OF SMALLER ADJACENT PIPE IS 12" OR GREATER CONTACT MANHOLE MANUFACTURER.

APPROVED	DATE	REVISOR	DATE	REVISION
JULY 1, 2005				

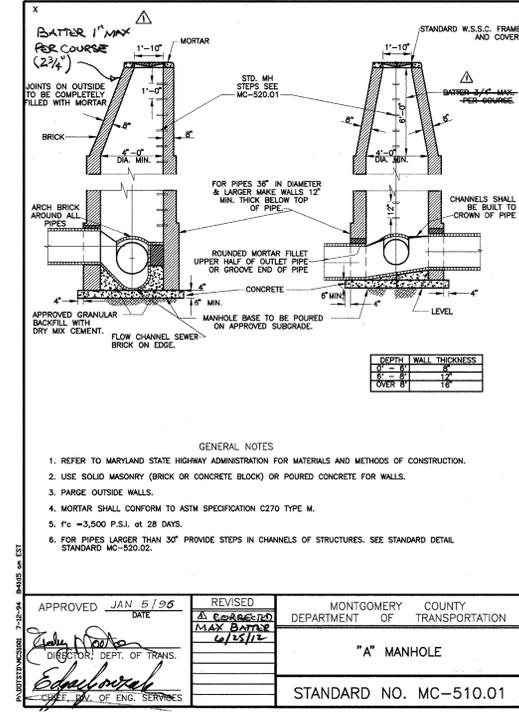
WASHINGTON SUBURBAN SANITARY COMMISSION
STANDARD DETAIL
48" DIAMETER PRECAST CONCRETE MANHOLE
S/1.0



- GENERAL NOTES**
1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION FOR MATERIALS AND METHODS OF CONSTRUCTION.
 2. USE SOLID MASONRY (BRICK OR CONCRETE BLOCK) OR POURED CONCRETE FOR WALLS. USE OF M.C.D.O.T. APPROVED PRECAST CONCRETE STRUCTURES MAY BE USED IN PLACE OF BRICK MASONRY.
 3. MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270 TYPE M.
 4. PROVIDE STEPS IN CHANNELS OF STRUCTURES. REFER TO MC-520.01 FOR DETAILS.
 5. F_c = 3,500 P.S.I. AT 28 DAYS.
 6. TWO 4" WEEP HOLES TO BE PLACED OPPOSITE EACH OTHER AT CROWN OF CHANNEL COVER OPENING WITH 1/2" HARDWARE CLOTH.
 7. INSTALL FOUNDATION DRAINAGE MATERIAL 1" MINIMUM THICKNESS AROUND STRUCTURE FROM BOTTOM OF WEEP HOLES TO WITHIN 8" OF FINISHED GRADE.
 8. PARGE OUTSIDE WALLS.

APPROVED	DATE	REVISOR	DATE	REVISION
JAN 5/06				

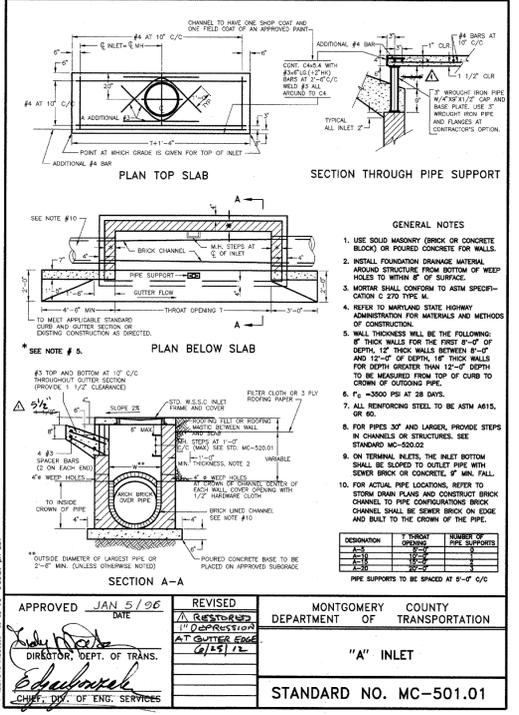
MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION
MODIFIED "J" INLET BASE WITH SINGLE WR INLET TOP
STANDARD NO. MC-506.01



- GENERAL NOTES**
1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION FOR MATERIALS AND METHODS OF CONSTRUCTION.
 2. USE SOLID MASONRY (BRICK OR CONCRETE BLOCK) OR POURED CONCRETE FOR WALLS.
 3. PARGE OUTSIDE WALLS.
 4. MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270 TYPE M.
 5. F_c = 3,500 P.S.I. AT 28 DAYS.
 6. FOR PIPES LARGER THAN 30" PROVIDE STEPS IN CHANNELS OF STRUCTURES. SEE STANDARD DETAIL STANDARD MC-520.02.

APPROVED	DATE	REVISOR	DATE	REVISION
JAN 5/06				

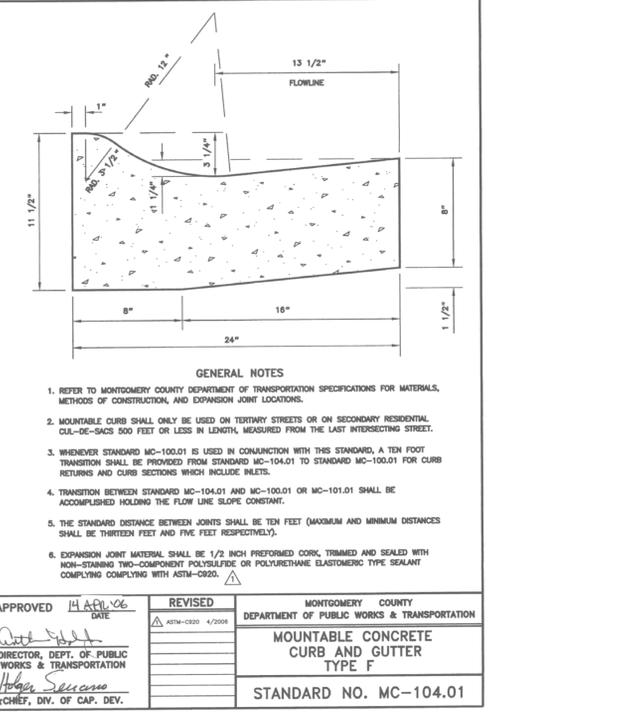
MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION
"A" MANHOLE
STANDARD NO. MC-510.01



- GENERAL NOTES**
1. USE SOLID MASONRY (BRICK OR CONCRETE BLOCK) OR POURED CONCRETE FOR WALLS.
 2. INSTALL FOUNDATION DRAINAGE MATERIAL AROUND STRUCTURE FROM BOTTOM OF WEEP HOLES TO WITHIN 8" OF FINISHED GRADE.
 3. MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270 TYPE M.
 4. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION FOR MATERIALS AND METHODS OF CONSTRUCTION.
 5. WALL THICKNESS WILL BE THE FOLLOWING: 8" THICK WALLS FOR THE FIRST 8'-0" OF DEPTH, 12" THICK WALLS BETWEEN 8'-0" AND 12'-0" OF DEPTH, 16" THICK WALLS FOR DEPTHS GREATER THAN 12'-0" DEPTH. TO BE MEASURED FROM TOP OF CURB TO CROWN OF OUTGOING PIPE.
 6. F_c = 3,500 P.S.I. AT 28 DAYS.
 7. ALL REINFORCING STEEL TO BE ASTM A615, OR EQ.
 8. FOR PIPES 30" AND LARGER, PROVIDE STEPS IN CHANNELS OR STRUCTURES. SEE STANDARD MC-520.02.
 9. ON INTERNAL INLETS, THE INLET BOTTOM SHALL BE SLOPED TO OUTLET PIPE WITH SLOPE BRICK OR CONCRETE, 6" MIN. FALL.
 10. FOR ACTUAL PIPE LOCATIONS, REFER TO CHANNEL DRAIN PLANS AND CONSTRUCT BRICK CHANNEL SHALL BE SLOPED ON EDGE AND BUILT TO THE CROWN OF THE PIPE.

APPROVED	DATE	REVISOR	DATE	REVISION
JAN 5/06				

MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION
"A" INLET
STANDARD NO. MC-501.01



- GENERAL NOTES**
1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION, AND EXPANSION JOINT LOCATIONS.
 2. MOUNTABLE CURB SHALL ONLY BE USED ON TERTIARY STREETS OR ON SECONDARY RESIDENTIAL CUA-DE-SACS 500 FEET OR LESS IN LENGTH, MEASURED FROM THE LAST INTERSECTING STREET.
 3. WHENEVER STANDARD MC-100.01 IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-104.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
 4. TRANSITION BETWEEN STANDARD MC-104.01 AND MC-100.01 OR MC-101.01 SHALL BE ACCOMPLISHED HOLDING THE FLOW LINE SLOPE CONSTANT.
 5. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
 6. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED	DATE	REVISOR	DATE	REVISION
4/4/06	4/2/08			

MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
MOUNTABLE CONCRETE CURB AND GUTTER TYPE F
STANDARD NO. MC-104.01

The original of this drawing document was prepared by SOLTESZ and/or its transmittal electronically. SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A list of the information contained herein is provided. SOLTESZ cannot be held responsible for the accuracy of any information that has been transmitted by electronic means.

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.soltesz.com

- Rockville
- Lanham
- Waldorf
- Leonardtown
- Frederick

NO.	REVISIONS	BY	DATE
18 MARCH 2016	CAD STANDARDS VERSION: V8 - 2000		
DESIGNED: JLF	TECHNICIAN: AH	CHECKED: JLF	

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER
KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

TAX MAP
FS 562
GS 122

ZONING CATEGORY:
PD-KF

WSSC 200' SHEET
221 NW 9
221 NW 8

SITE DATUM
HORIZONTAL: NAD 83:01
VERTICAL:

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017

SITE DETAILS

KING FARM
INGLESIDE AT KING FARM
PHASE 2
CITY OF ROCKVILLE, MARYLAND
4TH ELECTION DISTRICT

C-6

1" = NTS

SHEET 6 OF 8

PROJECT NO. 1424-04-00

Hoop Rack

DOCUMENTS DOWNLOADS GET QUOTE

Home > Products > Commercial Bike Racks > Hoop Rack

Simple Security

The Hoop Rack is a proven design that provides high security and easy bike parking. The Hoop Rack uses thick pipe construction and the full radius of the bend makes the Hoop an attractive and functional bike rack. This bike rack can also be put on rails for mobility and is popular in bike corrals.

Parks two bikes.

ORDER NOW

2.2 Materials

A. 1.5" schedule 40 uncoated pipe (1.90" OD)
 B. Installation Methods. In-ground mount is embedded into concrete base. Flange mount has two 2.5" x 6" x .25" feet - 4 anchors. In-ground mount, foot mount, and rail mount models are available.
 C. Rail Racks: Hoops are bolted to two parallel rails. Hoops can be left free standing or anchored to the ground. See Rail Racks section below. Rail material is AISI C3 x 4.1 steel channel.

2.3 Finishes

A. A hot-dipped galvanized finish performed after fabrication.
 B. Over 250 high quality TGIC powder-coated colors are available from Dero Bike Rack Co.
 1. A TGIC powder coat finish is available.
 2. For powder coated/painted racks, the following specifications are required: Part is prepared for painting with hard sandblasting. An epoxy primer is electrostatically applied. A final TGIC, UV resistant polyester powder coat is applied. Final coating mil thickness shall be no less than 6 mils.
 C. A 304 grade stainless steel finish is also available. Either a satin #4 finish or high luster electropolish finish. Both finish options include the Spectra Shield finish for maximum corrosion protection.
 D. Six durable thermoplastic colors are available.
 E. A rubbery PVC dip is available in many colors. Black is standard.

2.4 Hoop Bike Rack

A. Setbacks

1. Wall Setback: For Hoops set parallel to the wall, a minimum of 24" should be left between the wall and the rack. 36" is the recommended setback. For Hoops installed perpendicular to the wall, a 28" setback is the minimum distance. 36" is recommended.
2. Distance Between Racks: 24" is the minimum distance between racks. 36" is recommended.
3. Street Setback: 24" is the minimum distance between the street and the rack. 36" is recommended.
4. The foot-mounted Hoop Rack has a 2.5" x 6" x .25" foot which is installed onto a concrete base with 4 masonry anchors. The foot-mounted Hoop Rack is generally less expensive to install and easier to remove than the in-ground mount model, while still maintaining the same degree of security.

NYLOPLAST DRAIN BASIN WITH DOME GRATE

(1, 2) INTEGRATED DUCTILE IRON GRATE TO MATCH BASIN C.D.

(3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS/TAKE OFF)

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" x 30" FOR CORRUGATED HOPE (2" HANCOCK DUAL WALL, 2" HANCOCK SINGLE WALL), N-12 HP, PVC SEWER (EX. SDR 35), PVC DWV (EX. SCH 40), PVC C800/C905, CORRUGATED & RIBBED PVC

WATER TIGHT JOINT (CORRUGATED HOPE SHOWN)

(5) ADAPTER ANGLES VARIABLE 0° - 360° ACCORDING TO PLANS

(6) MIN. ON 8"-24", 6" MIN ON 30"

(7) VARIABLE SUMP DEPTH ACCORDING TO PLANS (6" MIN. ON 8"-24", 10" MIN. ON 30" BASED ON MANUFACTURING REQ.)

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

1 - 8" x 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A88 GRADE 70-60-05.

2 - 8" x 10" DOME GRATES FIT ONTO THE DRAIN BASIN WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 700-110-06.

3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 700-110-06.

4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HOPE (2" HANCOCK DUAL WALL), N-12 HP & PVC SEWER (EX. SDR 35).

5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 700-110-06.

6 - 8" x 30" DOME GRATES HAVE NO LOAD RATING.

DRAWN BY: EBC	DATE: 3-28-16	MATERIAL: NYLOPLAST	3130 VERONA AVE BURLINGAME, CA 94010 PH: (770) 933-2442 FAX: (770) 933-2449 www.nyloplast.com
DESIGNED BY: EBC	PROJECT NO: NAME	TITLE: DRAIN BASIN WITH DOME GRATE QUICK SPEC INSTALLATION DETAIL	DWG NO: 700-110-07 REV: B
DATE: 3-28-16	DWG SIZE: A	SCALE: 1/40	SHEET: 1 OF 1

WHEN ARE INLINE DRAINS USED?

2708AG_X
2710AG_X
2712AG_X
2715AG_X
2718AG_X
2724AG_X
2730AG_X

TYPICAL INSTALLATIONS

TYPICAL INSTALLATION OF NYLOPLAST DRAIN BASIN AND INLINE DRAIN

WHEN ARE DRAIN BASINS USED?

2808AG_X
2810AG_X
2812AG_X
2815AG_X
2818AG_X
2824AG_X
2830AG_X

1 - STRUCTURES & ADAPTERS AVAILABLE IN SIZES 8" - 30"
 2 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 700-110-06
 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 700-110-06

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY: EBC	DATE: 6-10-06	MATERIAL: NYLOPLAST	3130 VERONA AVE BURLINGAME, CA 94010 PH: (770) 933-2442 FAX: (770) 933-2449 www.nyloplast.com
DESIGNED BY: EBC	PROJECT NO: NAME	TITLE: 8" - 30" IN-TYPICAL INSTALLATION OPTIONS	DWG NO: 700-110-042 REV: D
DATE: 6-10-06	DWG SIZE: A	SCALE: 1/40	SHEET: 1 OF 1

RAILING ON TOP OF RETAINING WALL

RESIDENTIAL WELDED STEEL PANEL PRE-ASSEMBLED

MONTAGE MAJESTIC 2 1/2" RAIL

DR: CK	SH: 1 of 1	SCALE: DO NOT SCALE	1555 N. Mingo Tulsa, OK 74116 1-888-313-3422 www.ameristar.com
DATE: 7-19-11	REV: c		

MICRO-BIORETENTION

MICRO-BIORETENTION TYPICAL SECTION

N.T.S.

NOTES: 1. FINAL RECOMMENDATION FOR IMPERVIOUS LINER AND ADDITIONAL UNDERDRAIN GRAVEL TO BE DETERMINED BY ONSITE GEOTECHNICAL ENGINEER BASED ON FIELD SOIL CONDITIONS.
 2. SEE LANDSCAPE SHEETS 15 AND 16 FOR PLANTING TYPES AND LOCATIONS

PLANTER BOX

SWM PLANTER BOX TYPICAL SECTION

NOT TO SCALE

NOTE: 1. GEOTECHNICAL ENGINEER TO APPROVE SUBGRADE
 2. PROVIDE WATERPROOFING MEMBRANE BETWEEN PLANTER BOX AND FOUNDATION
 3. SEE LANDSCAPE SHEETS 15 AND 16 FOR PLANTING TYPES AND LOCATIONS

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.soltesz.com

Rockville
Lanham
Waldorf
Leonardtown
Frederick

NO.	REVISIONS	BY	DATE

DATE: 18 MARCH 2016	CAD STANDARDS VERSION: V8 - 2000	BY: JLF	DATE:
DESIGNED: JLF	TECHNICIAN: AH	CHECKED: JLF	

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER

KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

TAX MAP
FS 562
GS 122

ZONING CATEGORY:
PD-KF

WSSC 200' SHEET
221 NW 9
221 NW 8

SITE DATUM
HORIZONTAL: NAD 83/01
VERTICAL:

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017

SITE DETAILS

INGLESIDE AT KING FARM

PHASE 2

CITY OF ROCKVILLE, MARYLAND
4TH ELECTION DISTRICT

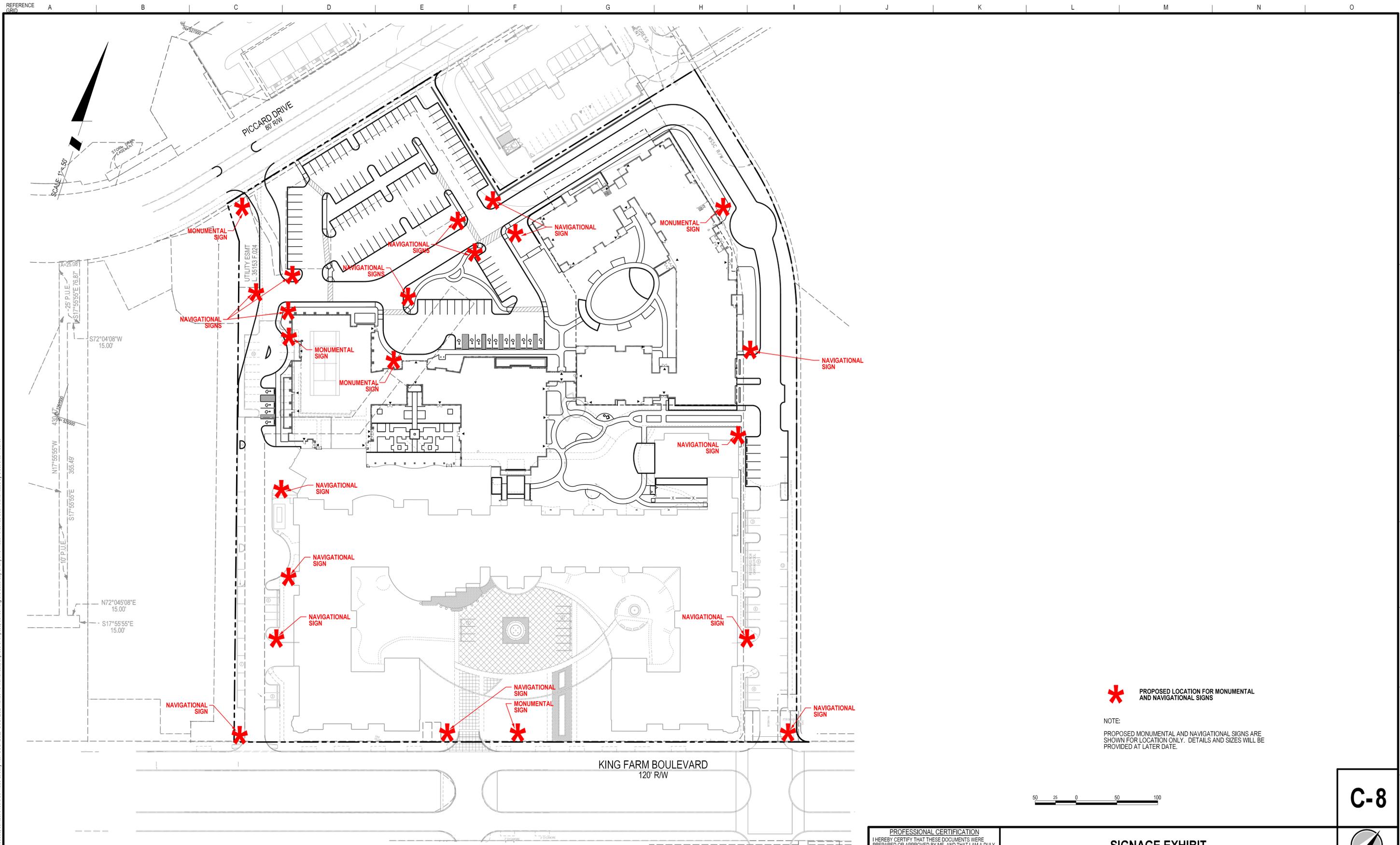
1" = 30'

SHEET 7 OF 8

PROJECT NO. 1424-04-00

P:1801-00114240400_Phase_2ENGINEERSHEETS07 Sit Det_2.sht Scale=30.0000 R/In. User=APatel PLTdrv=PDF_Grey_300.pltcty Pentb=TEXT_SUB.tbl 3/18/2016 4:18:29 PM

The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A statement of the information contained herein is provided, in whole or in part, for informational purposes only. SOLTESZ, SOLTESZ logo, and SOLTESZ are trademarks of Soltesz, Inc. All other trademarks are the property of their respective owners.



The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A verification of the information contained herein is required. Contact should be made directly with SOLTESZ. SOLTESZ makes no warranty, express or implied, concerning the accuracy of any information that has been transmitted by electronic means.

*** PROPOSED LOCATION FOR MONUMENTAL AND NAVIGATIONAL SIGNS**

NOTE:
PROPOSED MONUMENTAL AND NAVIGATIONAL SIGNS ARE SHOWN FOR LOCATION ONLY. DETAILS AND SIZES WILL BE PROVIDED AT LATER DATE.



C-8

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31798 EXPIRATION DATE: 07/10/2017



SIGNAGE EXHIBIT

KING FARM
INGLESIDE AT KING FARM
PHASE 2
CITY OF ROCKVILLE, MARYLAND
4TH ELECTION DISTRICT



Rockville
Lanham
Waldorf
Leonardtown
Frederick

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER

KING FARM PRESBYTERIAN RETIREMENT COMMUNITY, INC.
3050 MILITARY ROAD, NW
WASHINGTON, DC 20015
202-363-8310

TAX MAP
FS 562
GS 122

ZONING CATEGORY:
PD-KF

WSSC 200' SHEET
221 NW 9
221 NW 8

SITE DATUM
HORIZONTAL: NAD 83/81
VERTICAL:

NO.	REVISIONS	BY	DATE
DATE:	18 MARCH 2016	CAD STANDARDS VERSION:	V8 - 2000
DESIGNED:	JLF	TECHNICIAN:	AH
CHECKED:	JLF		

1" = 50'
SHEET 8
OF 8
PROJECT NO. 1424-04-00