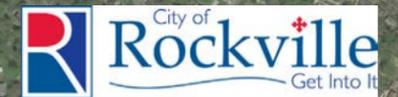


EAST ROCKVILLE DESIGN GUIDELINES
Rockville, Md.



January 24, 2019

Draft for Discussion



SENT PREVIOUSLY

1. Site Visit..... 3
 Site Tour Photos 3

2. Background Review 6

2A. Relevant Plans and Policies..... 6
 Rockville Plans and Documents 6

2C. Best Practices..... 7
 Analysis of Urban Codes..... 7
 Analysis of ADU Codes 9
 Analysis of Architectural Standards 11

3. Existing Conditions and Issue Analysis 13

3A. Inventory of Neighborhood 13
 East Rockville Context 13
 Rockville Planning Areas 14
 Planning Area: East Rockville Boundary 15
 Subdivisions of East Rockville 16
 Topography and Slope 17
 Lot Slope Analysis..... 18
 Existing Zoning (2016)..... 19
 Alley-served vs. Front-loaded Lots 20
 Narrow and Deep vs. Wide and Shallow Lots 21
 Owner Occupied vs Renter Occupied Lots..... 22
 Age of Structures 23
 Speed Limits..... 24
 Traffic Counts (2004)..... 25
 Vacant Lots 26

3B. Analysis of Recently-Built Projects Issues
 Recent Builds & Additions 27

3C. Analysis of Issues 27

3D. Analysis of Lot Types..... 37
 Lot Types 37
 Outlier Lots and Why 39

4A. Community Engagement Workshop (Oct. 25, 2018)

ATTACHED

5A. Design Guidelines..... 40
 General Notes & Definitions 41
 Building Orientation (Issue 1) 42
 Building Placement (Issue 2)..... 43
 Lot Coverage (Issue 3) 44
 Parking, Garages & Pavement (Issue 4)..... 45
 Additions (Issue 5)..... 46
 Building Massing & Scale (Issue 6)..... 47
 Building Height (Issue 7)..... 48
 Building Articulation (Issue 8) 50
 Building Materials (Issue 9) 51
 Porches & Stoops (Issue 10) 52
 Roof Pitch (Issue 11)..... 53
 Windows & Doors and Landscaping (Issues 12 & 13)..... 54

TO COME

Recommended Changes to Zoning 55

4B. Community Engagement Meeting (Jan. 24, 2019)

5B. Revised Guidelines (Date TBD)

6. Adoption Process

7. Final Revisions and Deliverables

x. Appendices.....

Bibliography.....

Urban Code Sample Pages.....
 Code Sample Pages.....
 SmartCode
 Leander SmartCode.....
 Cincinnati Form-Based Code
 High River Land Use Bylaw.....
 Edmonton Mature Neighborhood Overlay
 Westmount Architectural Heritage Area Direct Control
 Character Home Retention Incentive DC District

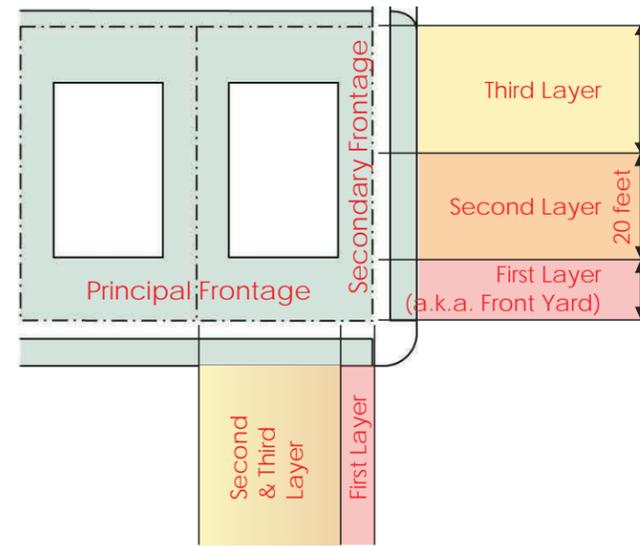
ADU Code Sample Pages
 Gaithersburg Urban Cottage Text Amendment.....
 Austin ADU Code.....
 Fayetteville ADU Code.....
 Portland ADU Code.....
 Vancouver ADU Code.....
 Garden Suites: How-to Guide
 Flag Shaped Lots Pilot Program

Architectural Code Sample Pages
 SmartCode Architectural Standards
 Kentlands Code
 Norfolk Neighborhoods Pattern Book.....
 Gulf Coast Neighborhoods Pattern Book

GENERAL NOTES

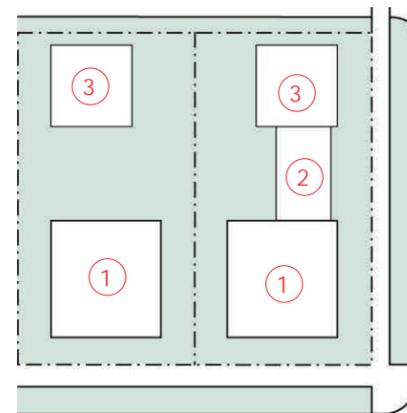
- These standards shall apply to all new construction whether whole building or additions to existing buildings.
- Any new development within an historic district, or any addition to a structure that has been designated as an historic structure, shall be subject to approval by the Historic District Commission (HDC).
- Provisions of this Code are activated by "shall" when required; "should" when recommended.

DEFINITIONS: LAYERS



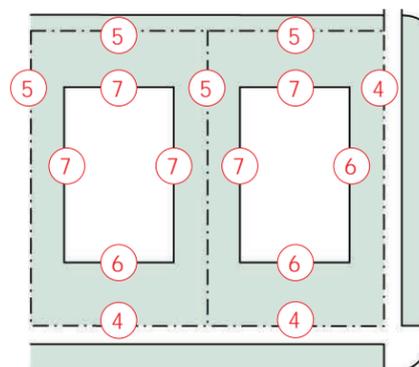
Layer (First, Second and Third).
A range of depth of a lot within which certain elements are permitted.

DEFINITIONS: BUILDING DISPOSITION



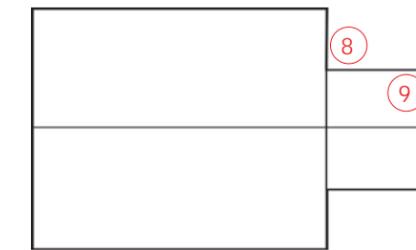
- 1. Principal Building.** The main building on a lot, usually located toward the Frontage.
- 2. Backbuilding.** A single-story structure connecting a Principal Building to an Accessory Building.
- 3. Accessory Building.** An Accessory Building is located toward the rear of the lot and sometimes connected to the Principal Building by a Backbuilding.

DEFINITIONS: FRONTAGE & LOT LINES, FAÇADES & ELEVATIONS



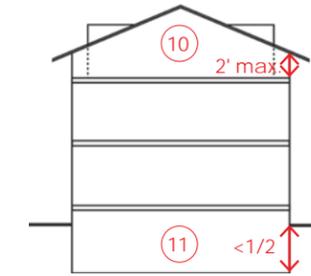
- 4. Frontage.** The area between a building Façade and the vehicular lanes, inclusive of its built and planted components. On a corner lot, the primary Frontage is the Frontage which faces the more primary street (typically the street with the narrower Frontage).
- 5. Lot Line.** The boundary that legally and geometrically demarcates a Lot.
- 6. Façade.** An exterior wall of a building facing a Frontage Line.
- 7. Elevation.** An exterior wall of a building not a facing a Frontage Line.

DEFINITIONS: BUILDING COMPOSITION



- 8. Inside Corner**
- 9. Outside Corner**

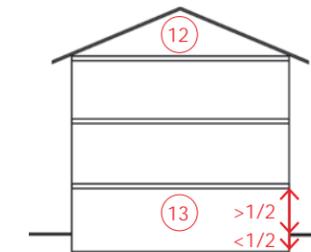
DEFINITIONS: BUILDING HEIGHT



10. Half-story. A story under a gable, hip, or gambrel roof, the wall plates of which on the least two (2) opposite exterior walls are not more than 2 feet above the floor of such story.

11. Cellar. That portion of a building below the first-floor joists at least half of whose clear ceiling height is below the level of the adjacent ground (compare with Basement).

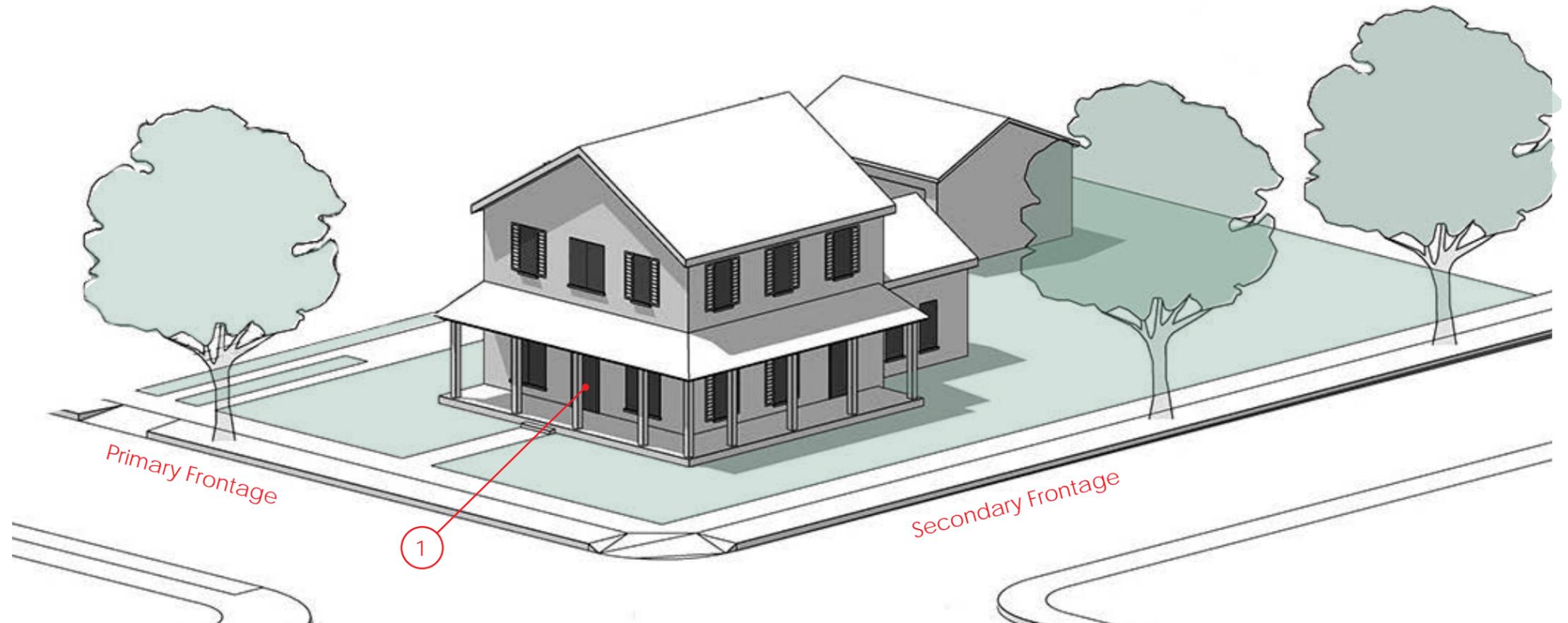
12. Attic. The interior part of a building contained within a pitched roof structure.



13. Basement. That portion of a building below the first-floor joists, at least half of whose clear ceiling height is above the level of the adjacent finished grade (compare with Cellar).

BUILDING ORIENTATION (ISSUE 1)

- 1 The front door shall face the Primary Frontage. On corner lots, the front door may face either the Primary Frontage or the Secondary Frontage.



BUILDING PLACEMENT (ISSUE 2)

- 1 One Principal Building at the Frontage may be built on each lot. Accessory Buildings to the rear of the Principal Building are also permitted.
- 2 Façades shall be set back a maximum of 25 feet from the front lot line. An exception for as much as an additional 5 feet may be granted at the discretion of the reviewer for reasons of merit, such as saving a large tree.
- 3 Alternatively, where a Principal Building is proposed on a lot between two adjacent lots with existing Principal Buildings the proposed Principal Building may be setback a distance between the front setbacks of the adjacent buildings.

The following may encroach into the required setback: porches (except enclosed porches), stoops, terraces, light wells, balconies, bay windows.

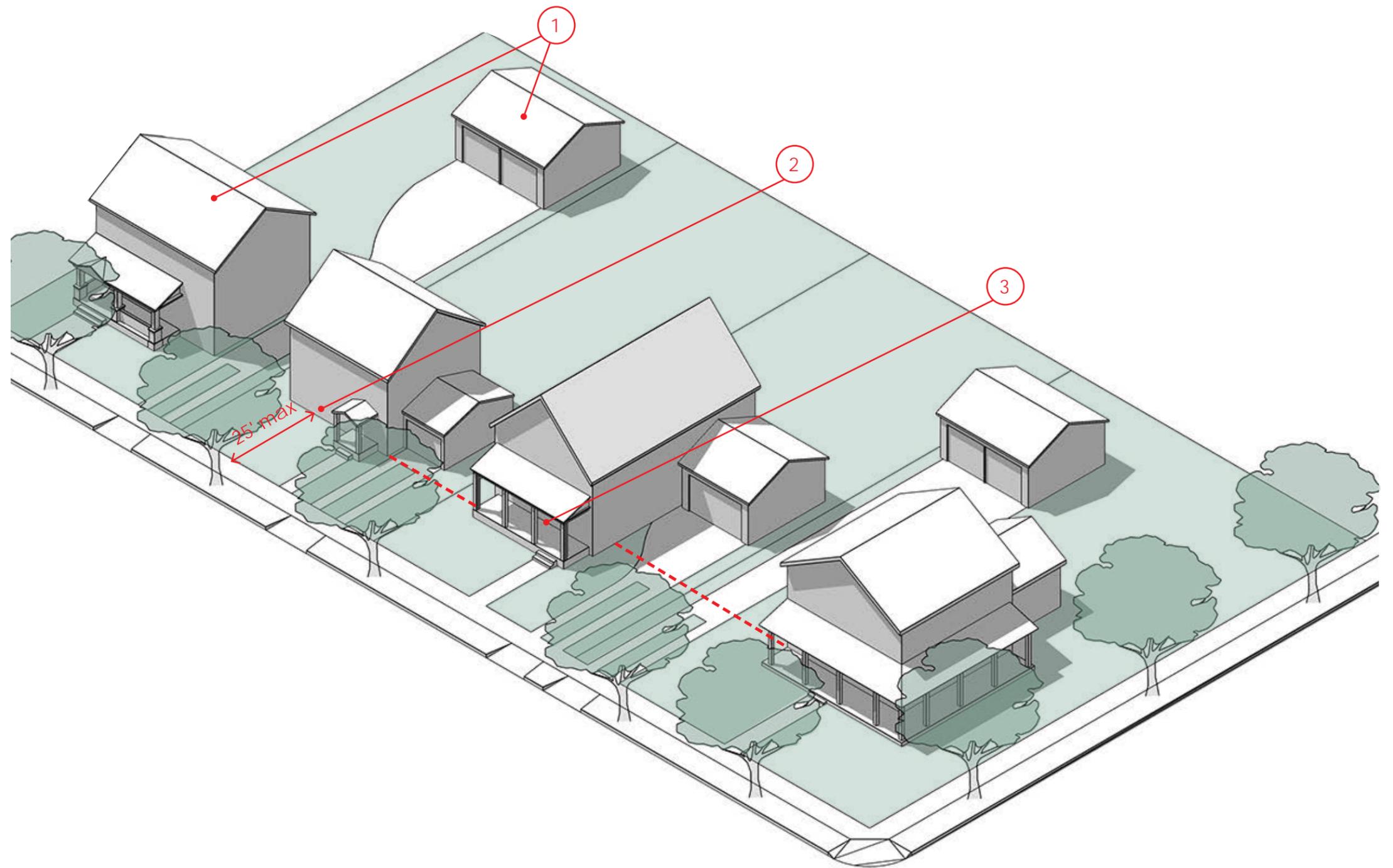
** Alternative: Façades shall be set back a maximum of 12 to 25 feet from the front lot line.

** Façades shall be built parallel to a rectilinear Frontage line or to the tangent of a curved Frontage line.

** Side setbacks for Principal Buildings shall be the minimum required by the building code.*

** Lots with slopes greater than 10% may request an exception to the setback requirements.

** The ground floor of the Principal Building shall be raised a minimum of two feet above the adjacent grade.



LOT COVERAGE (ISSUE 3)

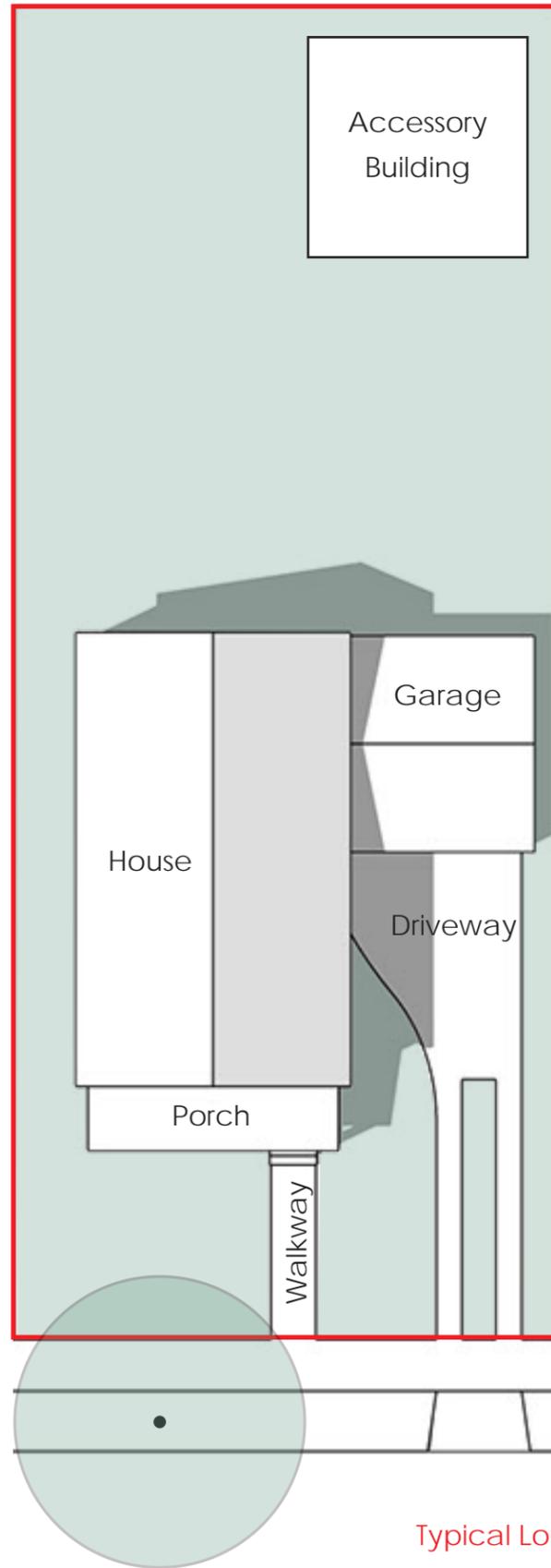
1 ** Lot Coverage shall be a maximum 35% of lot area. Coverage includes all impermeable surfaces with the exception of open porches facing Frontages and Accessory Dwelling Units.

— Property Line

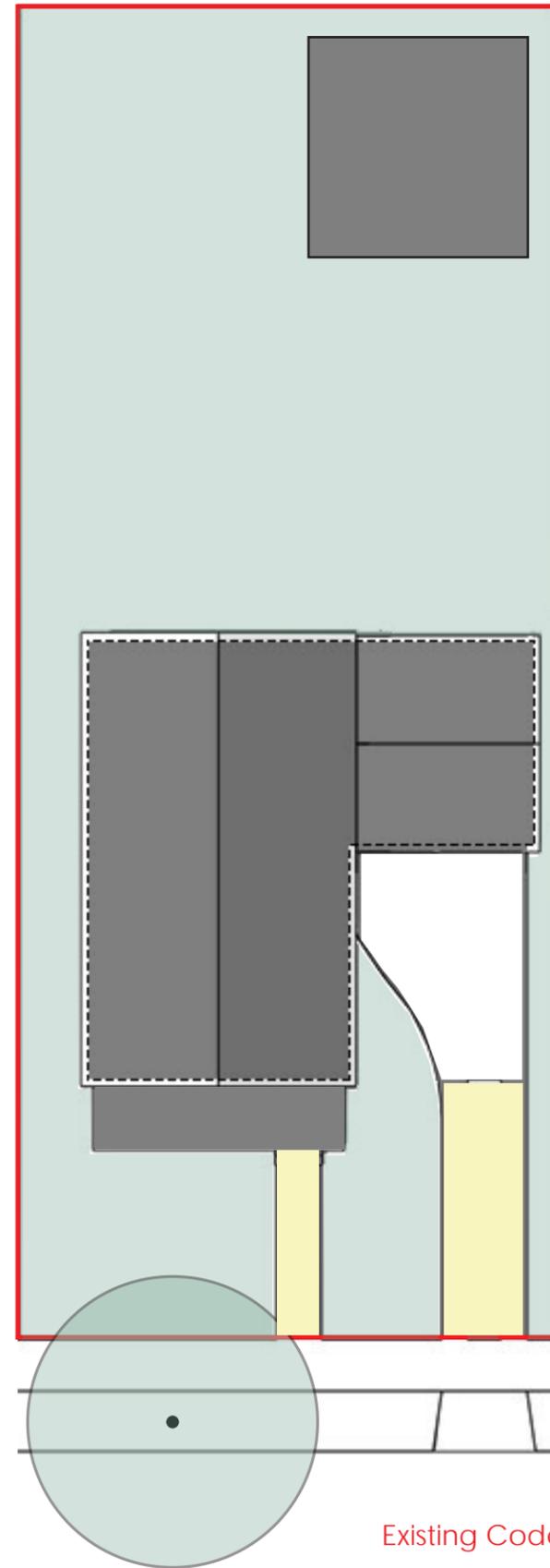
- - - Building Footprint

■ < 35% of Lot Area

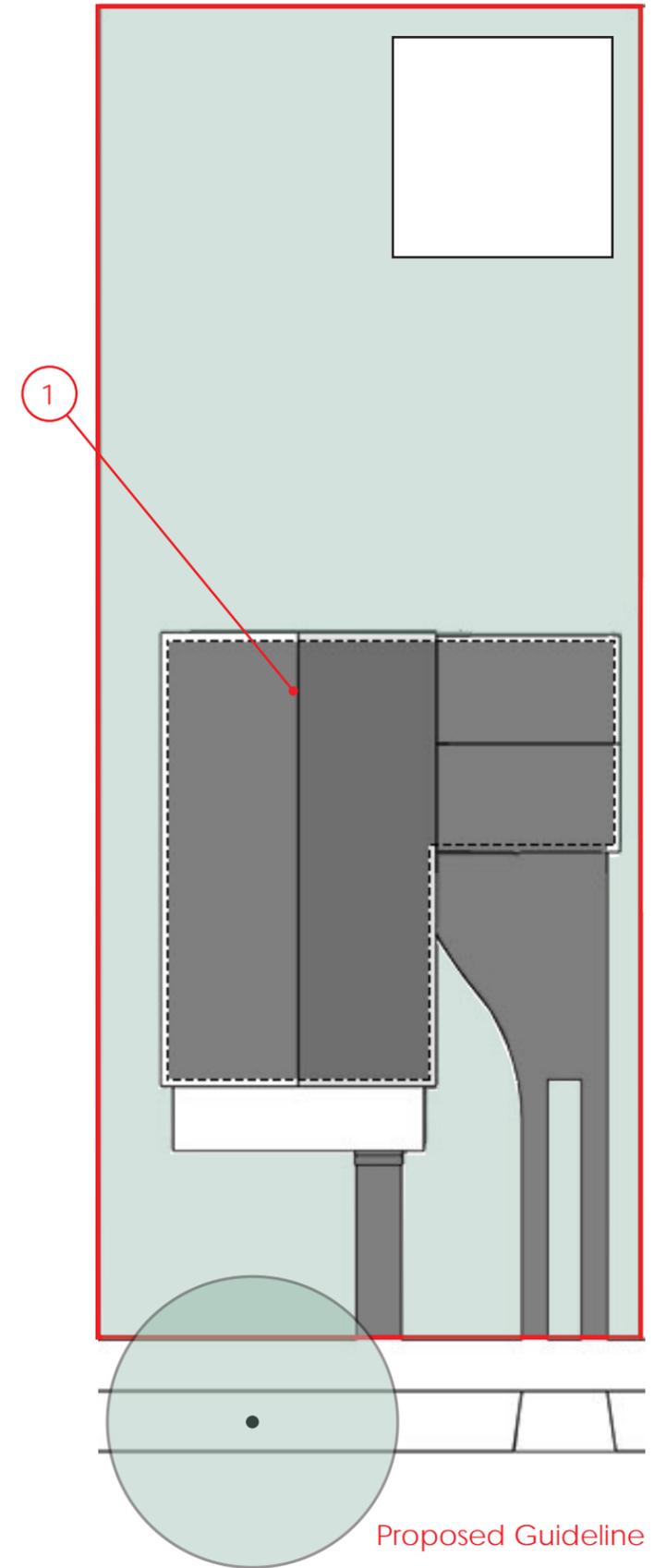
■ Impervious Area < 40% of Front Yard



Typical Lot



Existing Code

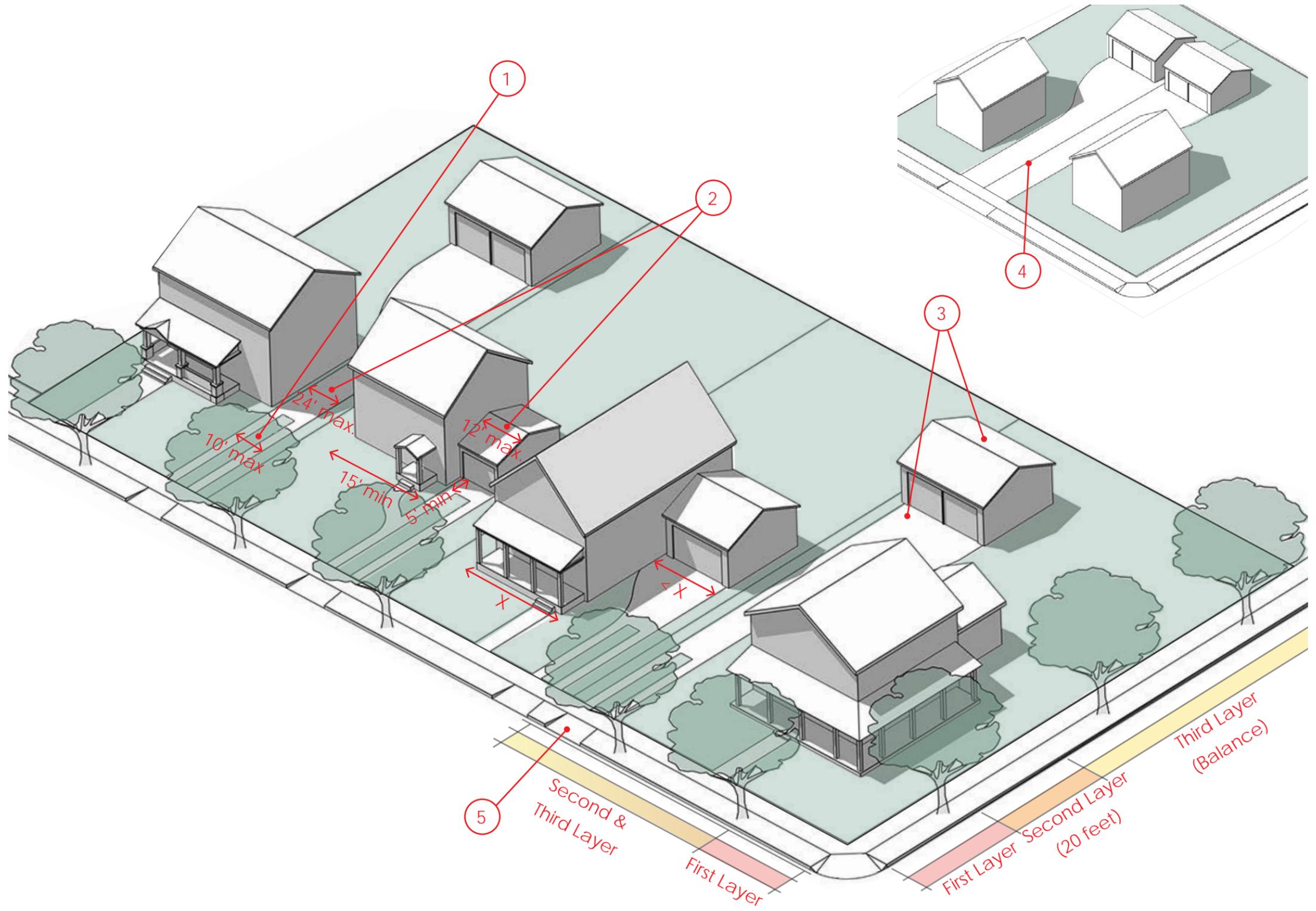


Proposed Guideline

PARKING, GARAGES & PAVEMENT (ISSUE 4)

- 1 In the First Layer, the following are permitted:
 - Driveways of 10 feet wide or less
 - Paved ruts
 In the First Layer, the following are prohibited:
 - Garages
 - Carports
 - Parking, when an alternative exists (except existing parking which may remain)
- 2 In the Second Layer, the following are permitted:
 - Driveways of 24 feet wide or less
 - Paved ruts
 - Parking
 - ** Garages and carports of 12 feet wide or less placed a minimum of 5 feet behind the Façade of the Primary Building, if facade is at least 15 feet wide
- 3 In the Third Layer, the following are permitted:
 - Driveways
 - Paved ruts
 - Parking
 - Garages
 - Carports
- 4 Shared driveways are permitted.
- 5 ** Curb cuts for private driveways shall not be widened or added where doing so would eliminate any on-street parking.

Layer	First	Second	Third
Pavement Width	12' Maximum	24' Maximum	No Maximum
Pavement Material	Shall be Pervious or Ruts	Should be Pervious or Ruts	Should be Pervious or Ruts
Parked Cars	None	50 % of Building Width	No Maximum
Garages	None	1 Bay max. & 5' min. Behind Façade	Unlimited



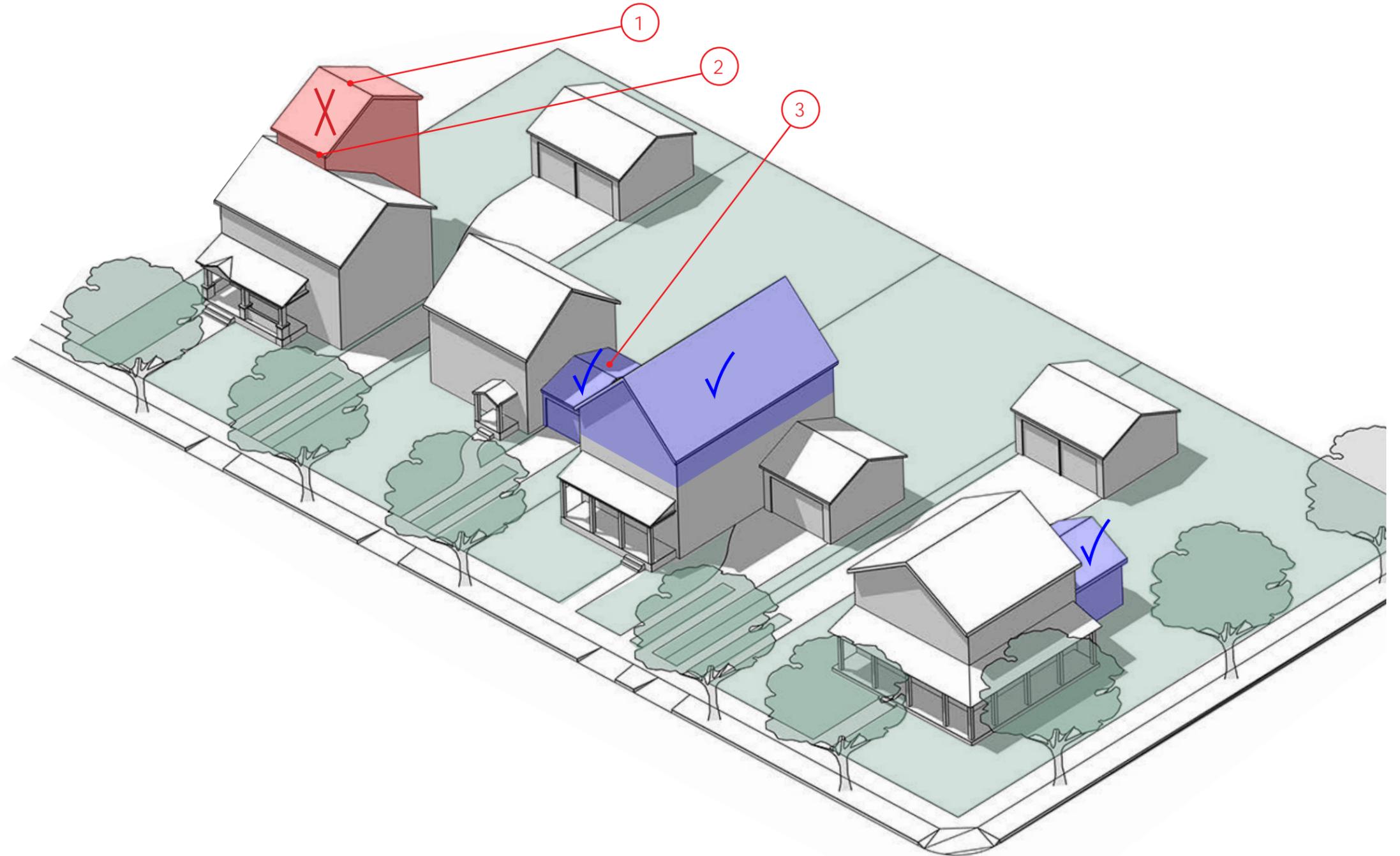
ADDITIONS (ISSUE 5)

- 1 The ridge of the roof of an addition shall not be higher than the ridge of the roof of the Principal Building unless the addition adds a full story to the Principal Building.
- 2 The eave of an addition shall not be higher than the eave of the Principal Building unless the addition adds a full story to the Principal Building.
- 3 Additions to an existing Principal Building shall be secondary in massing, scale and detail to the Principal Building.

Additional stories shall appear structurally feasible, i.e. openings should be directly above openings in the existing story below.

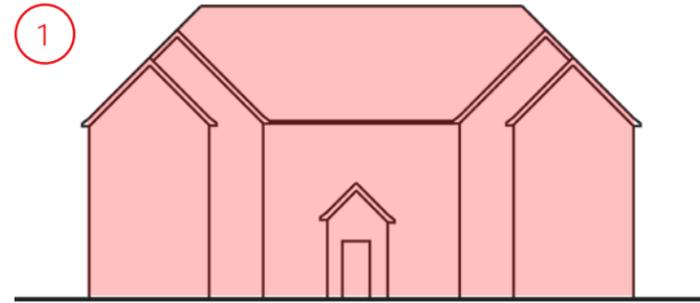
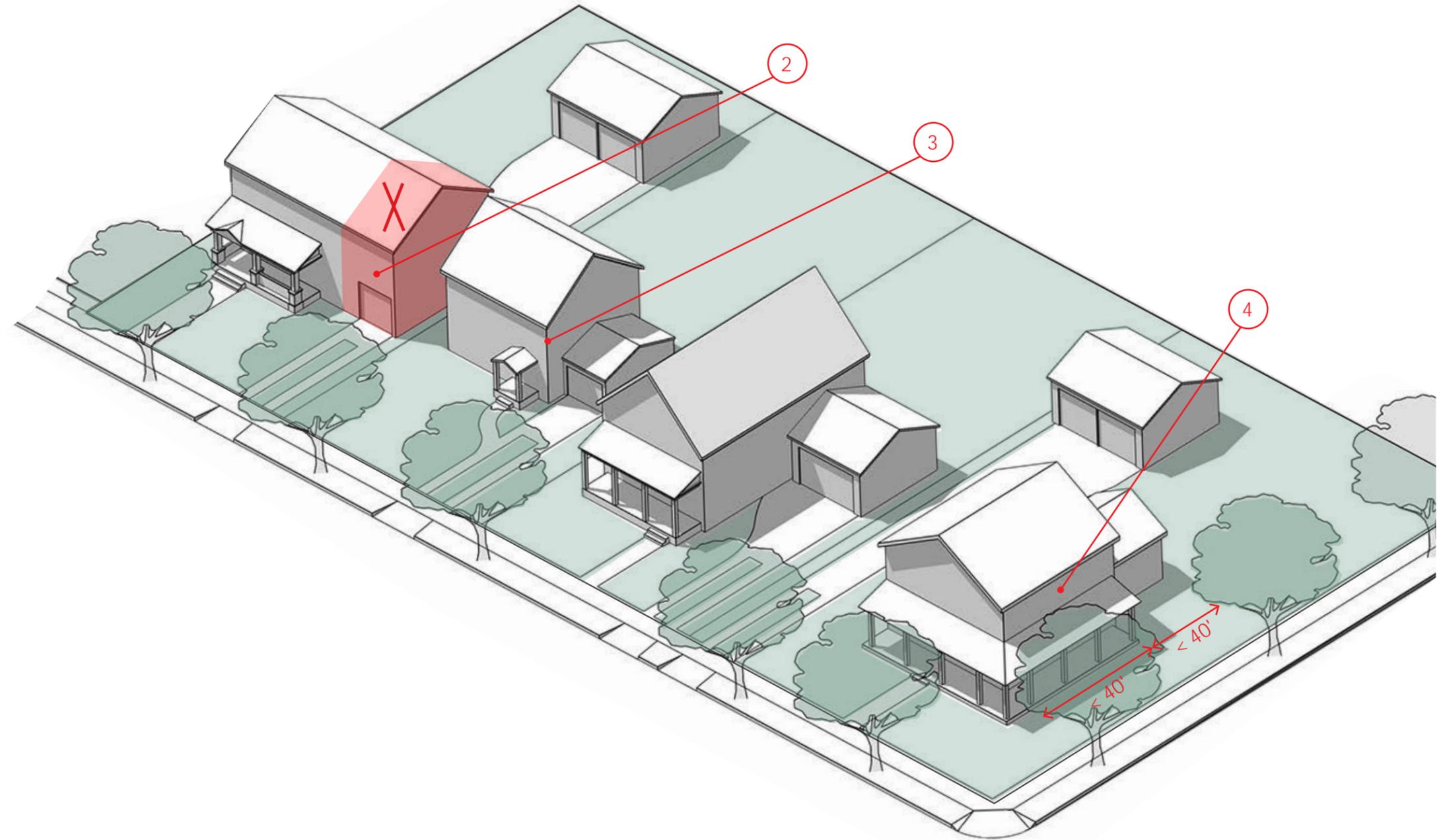
Façades of an additional story shall be the same material as the existing story below, or, an acceptable, appropriate transition between materials shall be included in the design.

Window proportions in additional stories shall match those of the predominant windows in the original structure. Alternatively, a style-based justification may be presented or if the windows in the original structure are of poor proportion, an administrative waiver may be requested from the Planning Director.

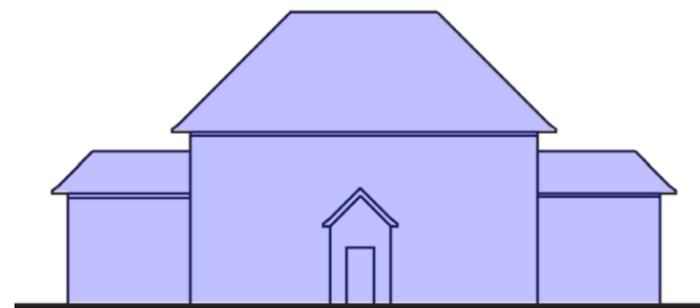


BUILDING MASSING & SCALE (ISSUE 6)

- 1 Building massing shall communicate hierarchy.
- 2 Garages shall not be in the primary mass of a building. Garages shall be beside or behind the Principal Building.
- 3 Buildings shall have simple massing (few Outside Corners), a similar overall height and similar floor-to-floor height.
- 4 No single plane of a Façade shall be more than 40 feet wide.



Don't

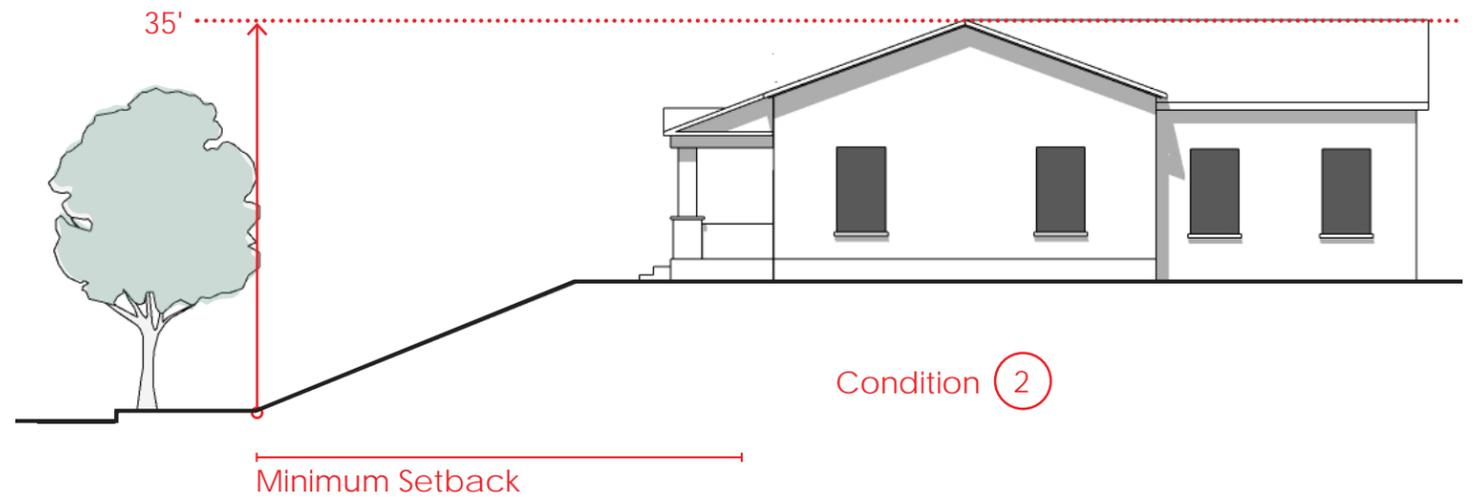
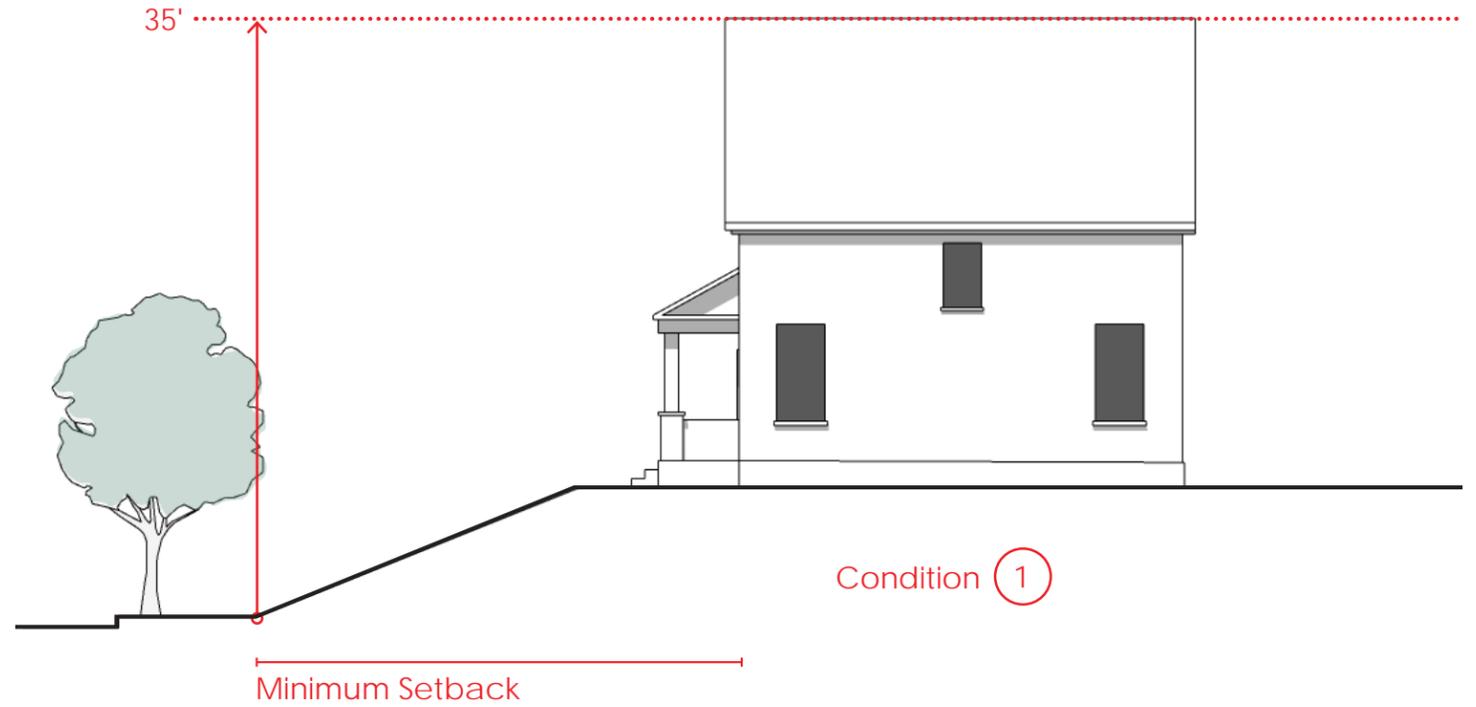


Do

BUILDING HEIGHT (ISSUE 7)

- 1 On lots which slope upward from the public right of way, height shall be measured from the average grade at the front property line.
- 2 ** On lots where this regulation reduces the permitted building height to fewer than 2 stories, a bonus to maximum lot coverage may be granted at the discretion of the Planning Director.

Buildings shall be limited to a maximum height of 35 feet. Height is measured to the peak of the roof.



Height – (Zoning Ordinance, §25.03.03.c.3. – Terms of Measurement)

(a) **Generally** – Except as otherwise provided, the height of a building is measured from the level of the approved street grade opposite the middle of the front of the building. The height is measured to:

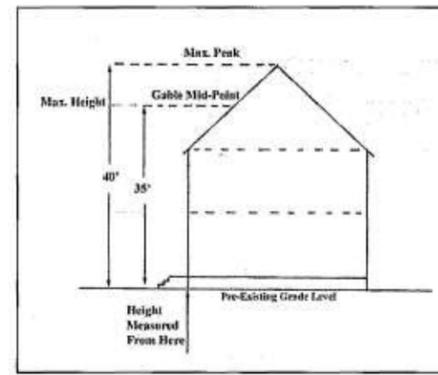
1. The highest point of roof surface of a flat roof;
2. The deck line of a mansard roof; or
3. The mean height level between the eaves and ridge or peak of a gable, hip, or gambrel roof, except as set forth in Section 25.10.09 (relating to special height provisions in the R-60, R-75, and R-90 zones)

(b) **Exceptions:**

1. **Greater Than 35' Setback** – If a building is set back 35 feet or more from the street line, the building height is measured from the average elevation of the finished grade along the front of the building.
2. **Corner Lot Exceeding 20,000 Square Feet** – On a corner lot exceeding 20,000 square feet of area, the height of a building may be measured from either adjoining street grade.
3. **Terraces above Street Grade** – If the building is located on a terrace above the street grade, the height is measured from the top of the terrace.
4. **Through Lots** – For a through lot, the height may be measured from either street grade, provided that the maximum height permitted on the higher street extends to a point 150 feet from the lower street line, at which point the

5. **Special Provision for Lots in the R-60, R-75, and R-90 Zones** – (from Section 25.10.09) –

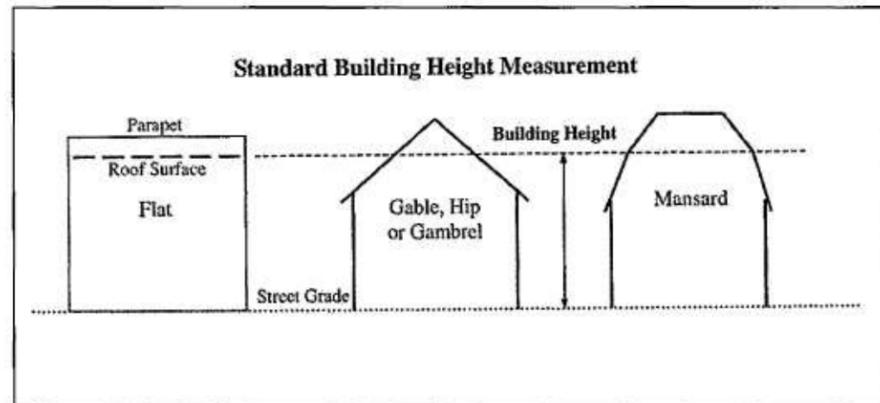
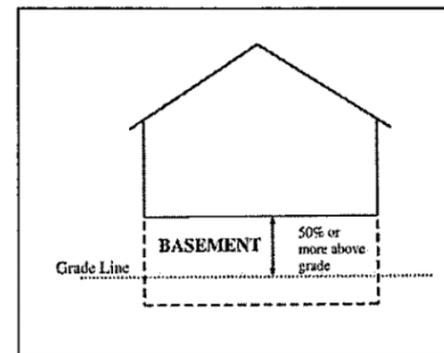
- a. **Height of Residential Buildings** – The height of residential dwellings in the R-60, R-75, and R-90 Zones is limited to 35 feet, measured at the mid-point of the front of the building from the surface of the pre-existing grade to the mid-point of a gable, hip, or mansard roof or to the roof surface of a flat roof. In the case of a gable, hip or mansard roof, the height to the peak of the roof cannot exceed 40 feet.
- b. In cases where the existing grade of the lot slopes below the street grade, building height will be measured from the finished street grade, provided that construction of the dwelling required re-grading of the lot for purposes of positive drainage of wastewater and stormwater to the street.



- **Pre-Existing Grade** (from Zoning Ordinance Definitions, §25.03.02) – The height of the ground prior to construction or earth moving by human means as of March 16, 2009.

Attic – The Rockville Code does not define attic. The Code does adopt the ICC International Building Code, 2015 Edition (Section 5-86). As “attic” is not one of the words modified by the City to replace any definitions in the IBC, the City would apply whatever definition of that term would be found in that Code. I do not have a copy of the 2015 version, however, to say what is that definition.

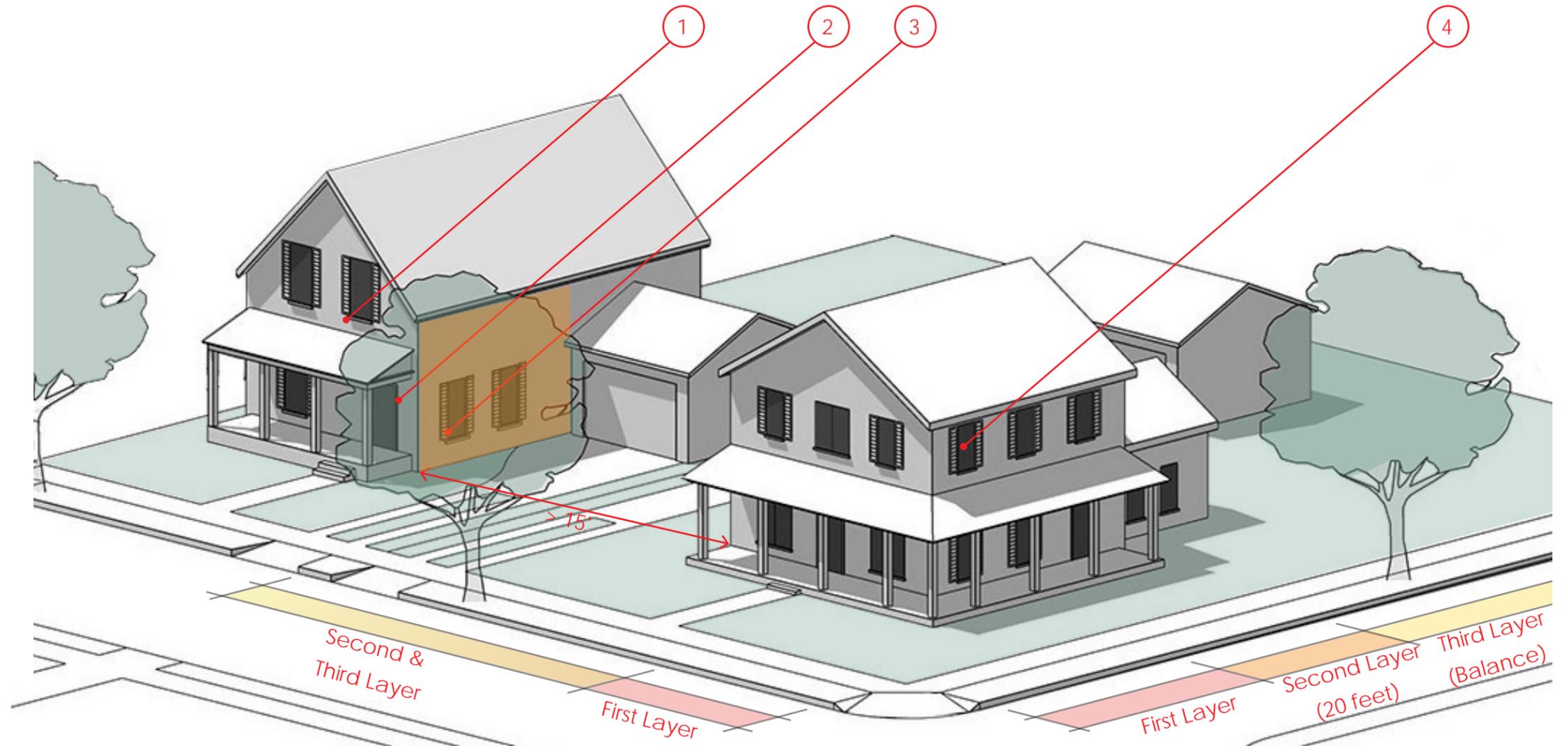
Basement (from Zoning Ordinance Definitions, §25.03.02) – That portion of a building below the first floor joists, at least half of whose clear ceiling height is above the level of the adjacent finished grade (compare with Cellar)



maximum height must be measured from the lower street.

BUILDING ARTICULATION (ISSUE 8)

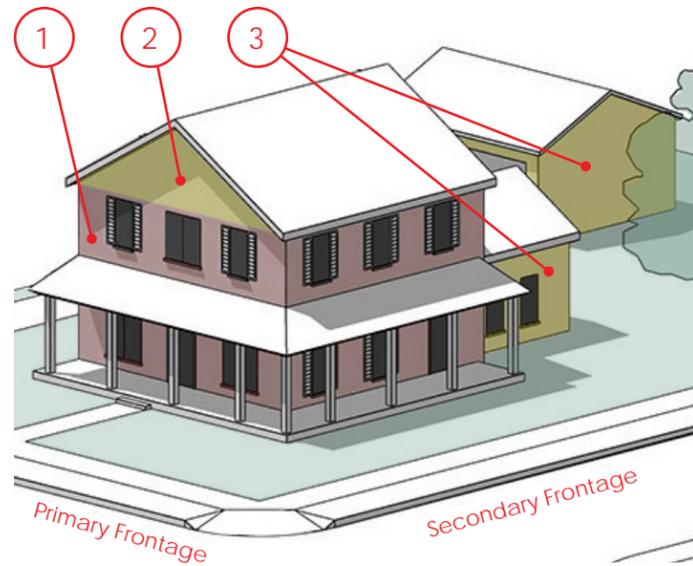
- 1 Façades shall be between 15% and 35% openings (openings being the combination of doors and windows, excluding garage doors) with the exception of sunrooms which are made of only windows and doors.
- 2 The front of the house and the location of the front door shall be clearly visible from the street.
- 3 Side elevations shall utilize one or more of the following methods to avoid large, blank walls:
 - Have a 4-foot deep, 10-foot long inset which interrupts any plane of 40 feet or greater.
 - Include windows. (If the Principal Building is more than 15 feet from an adjacent house, windows are required in the Second Layer on that side wall. These windows are required to follow the standards for windows facing Front-ages.)
- 4 On corner lots, both Façades shall be similarly designed and detailed. See also "Windows & Doors (Issue 12)" on page 54.



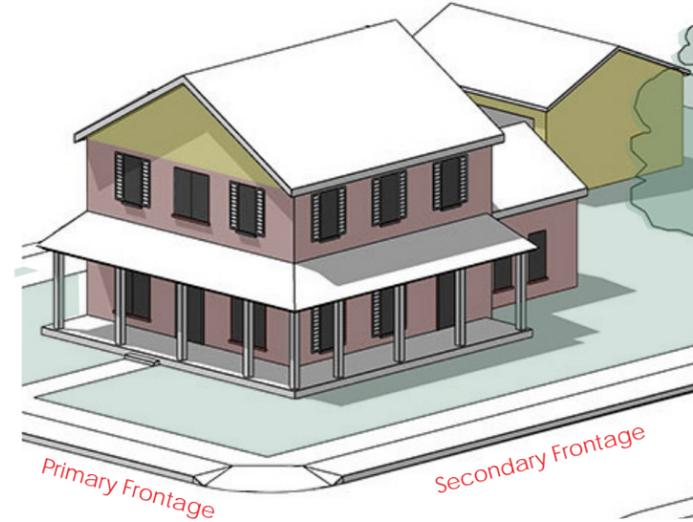
BUILDING MATERIALS (ISSUE 9)

- 1 The walls of the Principal Building shall be one of the following materials: brick (not simulated brick), stone (not simulated stone), painted wood, engineered wood or light weight cementitious siding (not vinyl siding), stucco.
- 2 Gable ends in the Principal Building shall be one of these materials as well, however, the material shall be of equal or lesser durability than the material of the Principal Building.
- 3 The walls of Backbuildings and Accessory Buildings shall be one of these materials as well, however, the material should be of equal or lesser durability than the material of the Principal Building.
- 4 ** It is recommended that if different materials are to be used on the same house the materials be used to differentiate the foundation, building walls and top (gable end for example) and/or the principle building, back building and outbuilding or similar such distinctions. It is generally recommended that materials not change at outside corners (brick front, siding side) as this makes the material appear more like wallpaper than the structure of the building.

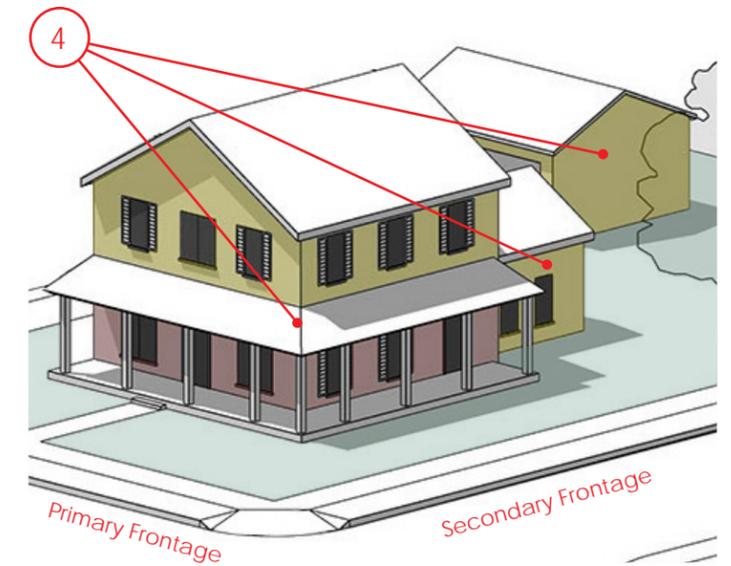
The foundation shall be masonry (including concrete).



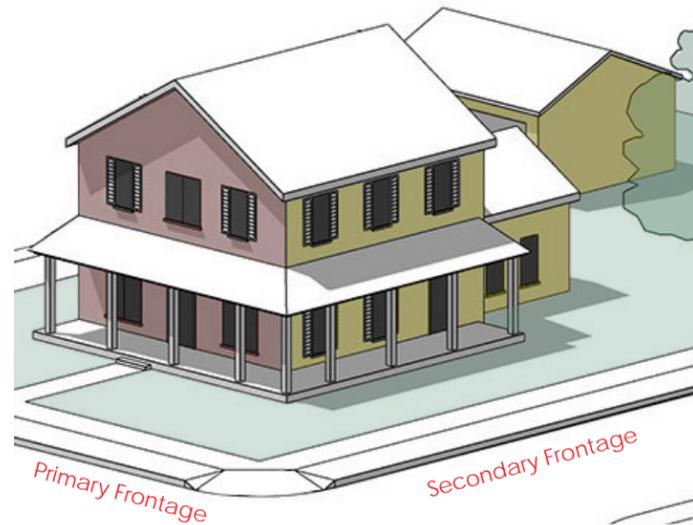
Do: Using one or two materials for the Principal Building and another material for the Backbuilding and Accessory Building is permitted.



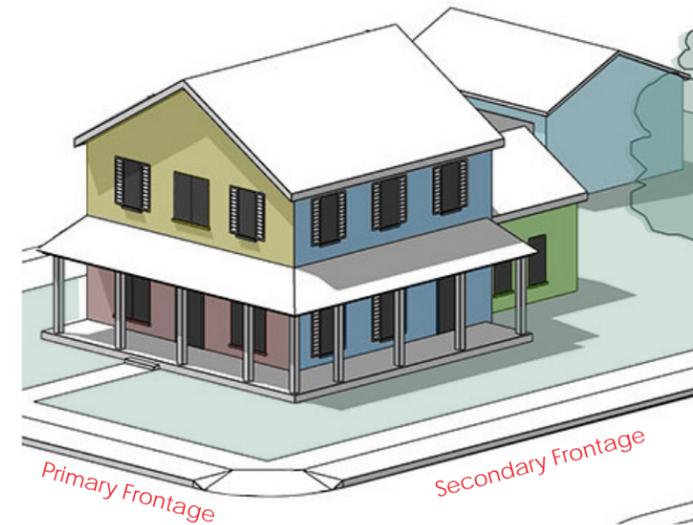
Do: Using one or two materials for the Principal Building and Backbuilding and another material the Accessory Building is permitted.



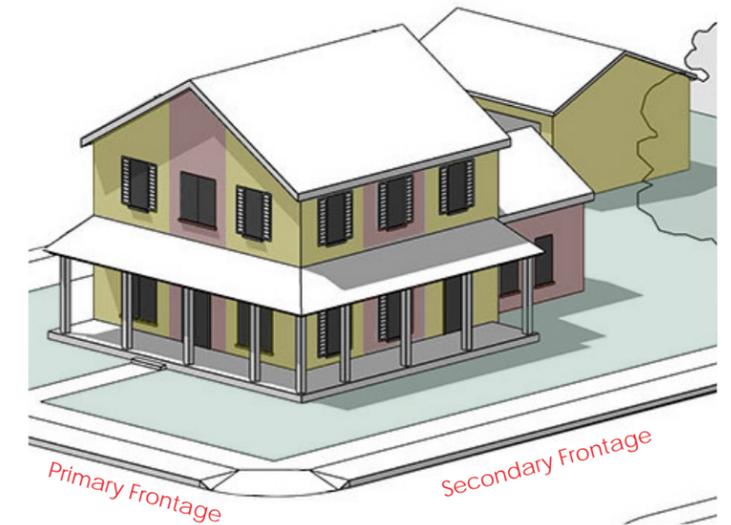
Do: Transitioning between materials between floors is permitted as long as the material on the bottom is the more durable of the two.



Don't: Material transitions around outside corners are not permitted.



Don't: Using more than two materials per Principal Building and one per each Backbuilding and Accessory building is not permitted.



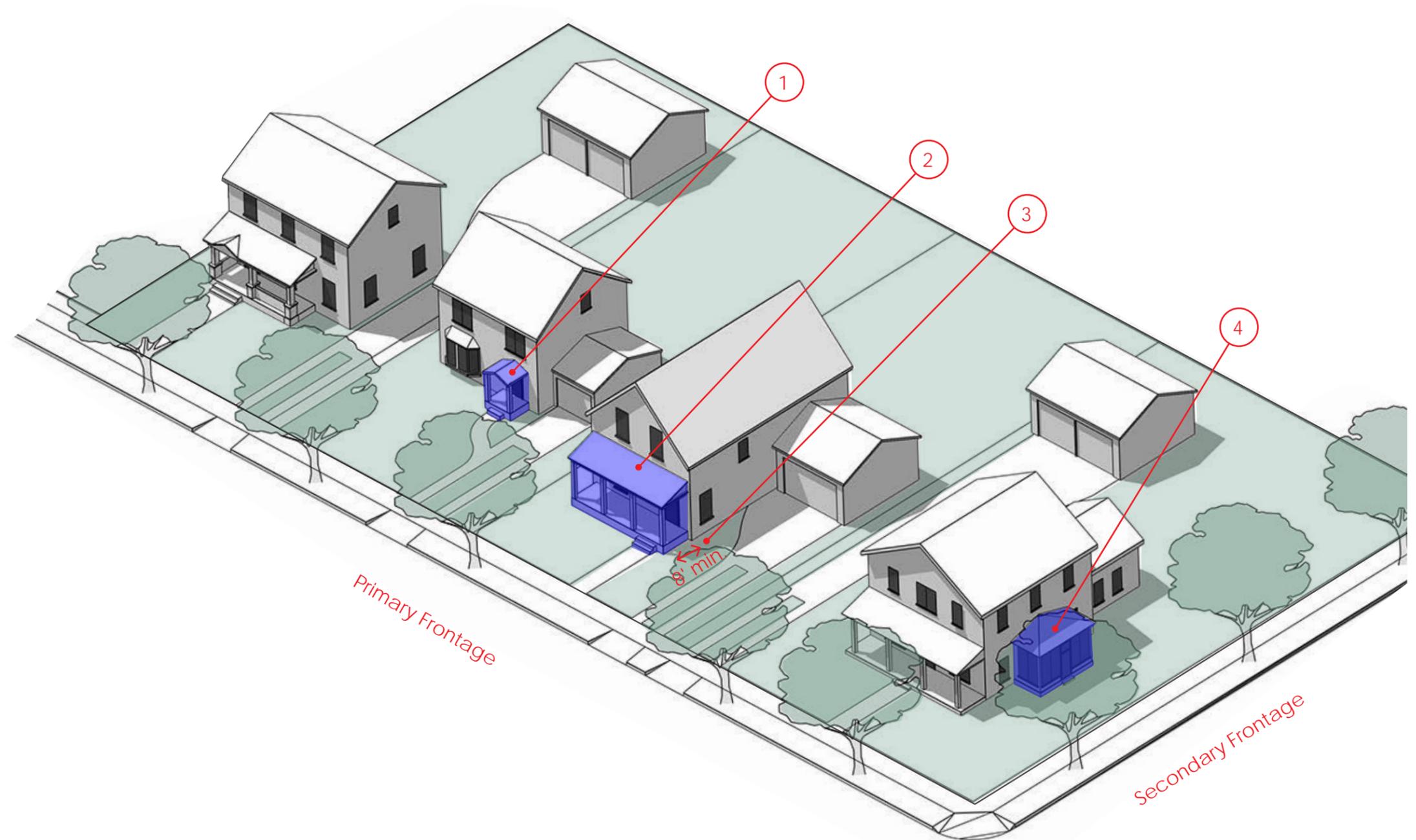
Don't: Single planes should not have transitions between materials.

PORCHES & STOOPS (ISSUE 10)

- 1 Covered Stoop
- 2 Open Porch
- 3 Porches and stoops shall be a minimum of 8 feet deep.
- 4 Enclosed porches shall not be in the First Layer of primary Frontages.

New Principal Buildings shall include a front porch or stoop.

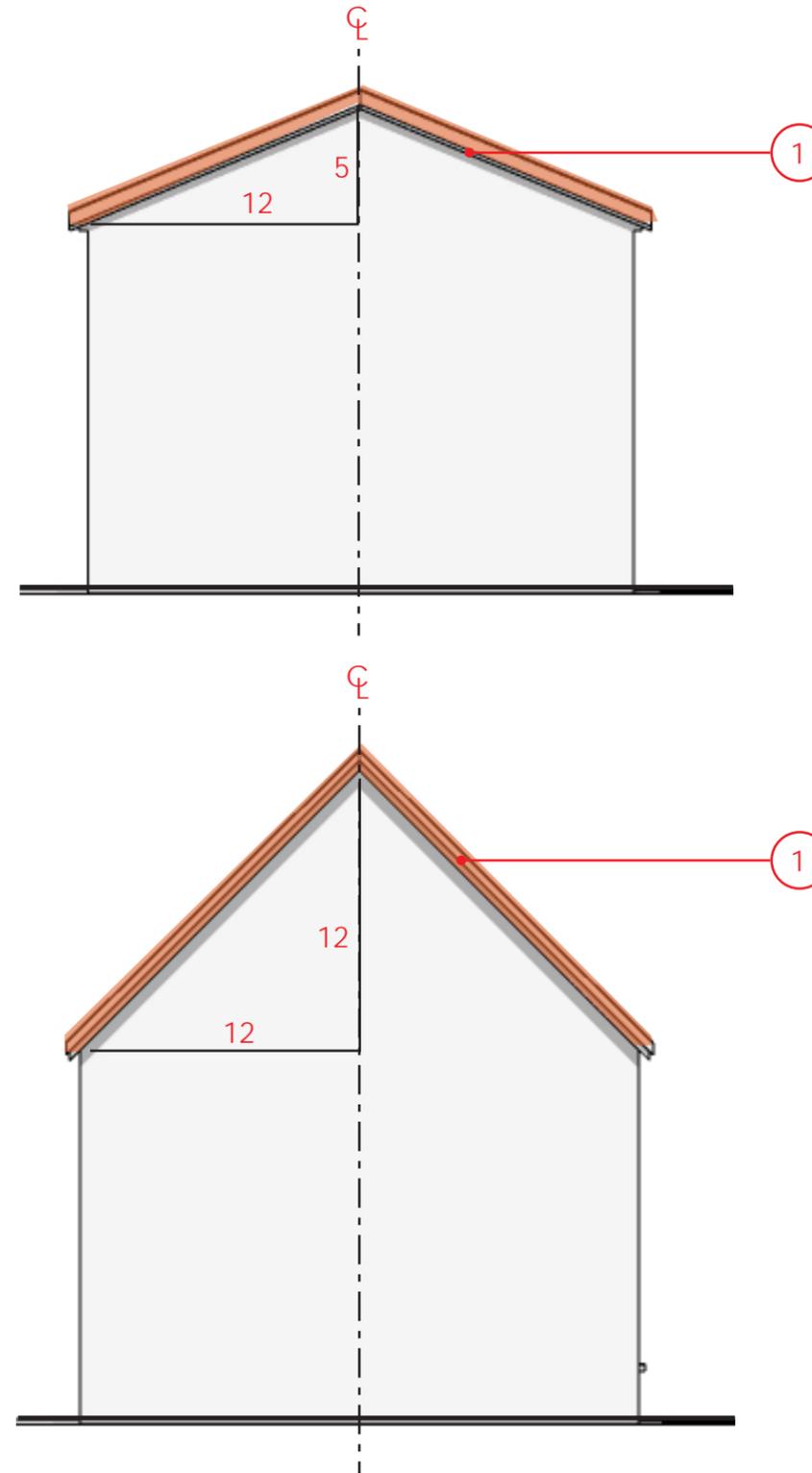
Porches may project into the front setback to a maximum of 12 feet.



ROOF PITCH (ISSUE 11)

- 1 Pitched roofs shall be symmetrically sloped. The slope shall be 5:12 to 12:12
- 2 Porch roofs and attached shed roofs shall be 2:12 to 4:12.

Roof pitches shall be style appropriate.



WINDOWS & DOORS

All openings including porches, windows and doors, as well as window panes, shall be vertical or square in proportion.

Windows on any given Façade shall be consistent with each other in size, proportion and style.

Sliding doors are not permitted in Façades facing Frontages.

Brick Mold and Openings in Masonry Walls. Masonry openings should have brick mold. Openings in other types of wall should never have brick mold. Brick mold should be wider than 2" and should be used on the top and sides of all masonry openings.

Door Surrounds in Masonry Walls. Brick should never be visible between a door and its casing, if any.

Casing Principles for Openings in Wood Walls. All doors and windows should have casing, specifically: a lintel (aka head), face frame (aka jamb) and sill. Casing should be at least 3-1/2" wide. Head casing should be wider and more elaborate when the jamb casing is only 3-1/2". Mullion casing should never be narrower than 3-1/2".

LANDSCAPING

** Existing trees over 6" Diameter at Breast Height (DBH) in the First Layer shall remain.

A minimum of two trees shall be planted in the First Layer for each 30 feet of Frontage width (existing trees may be counted).

Exposed foundation walls shall be screened with planting if concrete and should be screened with planting if brick or stone.

Chain link fences are not permitted in the First and Second Layer.

Fences in the First Layer shall not exceed 4 feet in height.

OTHERS?