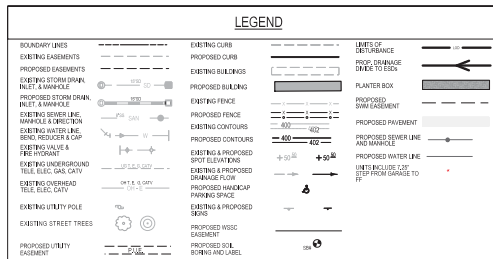


[illegible]

CIVIL ENGINEER  
SOLTESZ, INC.  
2 RESEARCH PLACE, SUITE 100  
ROCKVILLE, MD 20850  
PHONE: 301-948-2750  
ATTN: DAN PINO



SITE PLAN

- LANDSCAPE AND LIGHTING PLAN

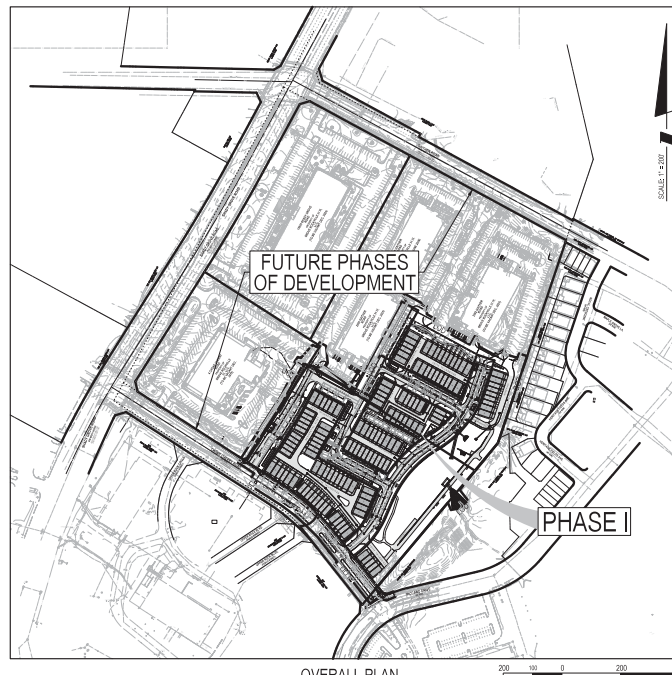
13. ESD LANDSCAPE PLAN  
14. ESD LANDSCAPE PLAN  
15. ESD LANDSCAPE PLAN  
16. ESD LANDSCAPE PLAN  
17. PHOTOMETRIC PLAN  
18. PHOTOMETRIC PLAN  
19. PHOTOMETRIC PLAN  
20. PHOTOMETRIC PLAN  
21. PHOTOMETRIC PLAN

13. ESD LANDSCAPE PLAN  
14. ESD LANDSCAPE PLAN  
15. ESD LANDSCAPE PLAN  
16. ESD LANDSCAPE PLAN  
17. PHOTOMETRIC PLAN  
18. PHOTOMETRIC PLAN  
19. PHOTOMETRIC PLAN  
20. PHOTOMETRIC PLAN  
21. PHOTOMETRIC PLAN

- PRELIMINARY BUILDING ELEVATIONS AND FLOOR PLANS

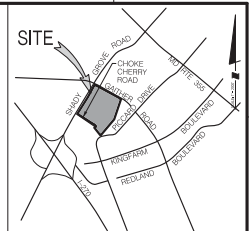
- |    |                                     |
|----|-------------------------------------|
| A1 | 16' UNIT- 4 STORY STRIP ELEVATIONS  |
| A2 | 16' UNIT- 3 STORY STRIP ELEVATIONS  |
| A3 | 16' UNIT- SIDES AND REAR ELEVATIONS |
| A4 | 16' UNIT- SIDES AND REAR ELEVATIONS |
| A1 | 20' UNIT- 4 STORY STRIP ELEVATIONS  |
| A4 | 20' UNIT- SIDES AND REAR ELEVATIONS |
| A1 | 16' FIRST FLOOR PLAN                |
| A2 | 16' SECOND FLOOR PLAN               |
| A3 | 16' THIRD FLOOR PLAN                |
| A4 | 16' FOURTH FLOOR PLAN               |
| A5 | 16' FOURTH FLOOR PLAN               |

- |    |                            |
|----|----------------------------|
| A1 | 20' LOWER LEVEL FLOOR PLAN |
| A2 | 20' LOWER LEVEL FLOOR PLAN |
| A3 | 20' LOWER LEVEL FLOOR PLAN |
| A4 | 20' FIRST FLOOR PLAN       |
| A5 | 20' SECOND FLOOR PLAN      |
| A6 | 20' THIRD FLOOR PLAN       |



## OVERALL PLAN

1. BOUNDARY INFORMATION BY SOLTEZ, INC. AUGUST, 2015, BASED ON AVAILABLE INFORMATION.
2. GRID COORDINATES ARE PER MARYLAND STATE PLANE DATUM (NAD 83).
3. TWO-FOOT CONTOUR INTERVAL, AERIAL TOPOGRAPHY PROVIDED BY MCKENZIE SNYDER INC. IN MARCH, 2015.
4. SUBJECT PROPERTY IS COMPRISED OF THREE RECORDED LOTS LOCATED AT 2 CHOKI CHERRY ROAD, 4 CHOKI CHERRY ROAD, 18265 SHADY GROVE ROAD, AND 2002 GAHOKER ROAD. LOT 5 AND PORTIONS OF LOT 6 AND 8 OF DANCAN TECHNOLOGICAL PARK SUBDIVISION.
5. SUBJECT PROPERTY IS ZONED M-X (MIXED USE EMPLOYMENT).
6. TOTAL GROSS TRACT AREA: 31.1 ACRES.
7. TOTAL PHASE 1 APPLICATION AREA: 11.28 ACRES.
8. PHASE 1 LOT AREA: 11.53 ACRES.
9. PHASE 1 LOT ON SITE: 10.84 ACRES.
10. SUBJECT PROPERTY IS LOCATED WITH WSSC GRID 221N009.
11. THE SITE IS WITHIN BOTH WATTS BRANCH WATERSHED AND MUDDY BRANCH WATERSHED.
12. THERE ARE NO WETLANDS ON THE PROPERTY. A PERENNIAL STREAM DAYLIGHTS AT A STORM DRAIN OUTFALL ALONG THE EASTERN BOUNDARY OF THE SITE.
13. THERE IS NO 100-YEAR FLOODPLAIN ON THE PROPERTY.
14. THE NATURAL RESOURCE INVENTORY / FROST 2016 STATE DELINEATION FOR SUBJECT PROPERTY WAS APPROVED ON APRIL 15, 2016. FROST P 2016-0013.
15. THE SITE IS NOT WITHIN THE ASSOCIATED CITY OF ROCKVILLE HISTORIC DISTRICT AND DOES NOT CONTAIN BUILDINGS OR STRUCTURES IN THE CITY OF ROCKVILLE HISTORIC BUILDING CATALOG.
16. WATER AND SEWER CAPACITY: W-1, S-1
17. ALL TOWNHOUSE CONSTRUCTION WILL BE SLAB ON GRADE.
18. THE FINAL SITE PLAN IS SUBJECT TO APPROVAL AND RECORDATION OF RIGHT-OF-WAY ABANDONMENT. PER CITY OF ROCKVILLE CODE OF ORDINANCES: CHAPTER 21 - ARTICLE V - DIVISION 2, FOR PROPERTY (RIGHT-OF-WAY) LOCATED ALONG CHOKI CHERRY ROAD.



**VICINITY MAP**  
SCALE: 1" = 2000'

| Shady Grove Neighborhood Center Project Data Table                         |                                         | MX2 Zone (Mixed Use Employment)    |                                    |
|----------------------------------------------------------------------------|-----------------------------------------|------------------------------------|------------------------------------|
|                                                                            | Required Development Standards          | Approved (Proposed Use) 12/27/2007 | Proposed with Change 1             |
| <b>Use Area</b>                                                            |                                         |                                    |                                    |
| Office                                                                     |                                         | 37.1 ac                            | 11.55 ac (250,267 sq ft)           |
| Office/ Retail Area                                                        |                                         |                                    | 32.27 ac (11,472 sq ft)            |
| Lot B                                                                      |                                         |                                    | 4.66 ac (202,400 sq ft)            |
| Lot C                                                                      |                                         |                                    | 4.31 ac (187,884 sq ft)            |
| Lot D                                                                      |                                         |                                    | 32.02 ac (139,719 sq ft)           |
| Area for Standardized City of Rockville Right-of-Way?                      |                                         |                                    | 10.80 ac (468,800 sq ft)           |
| Proposed Addition                                                          |                                         |                                    | 16.94 ac (744,640 sq ft)           |
| <b>Net Site Area</b>                                                       |                                         |                                    |                                    |
|                                                                            |                                         |                                    | 16.94 ac (744,640 sq ft)           |
| <b>MX2 Zone Development Standards (See 2011 Ord. 5)</b>                    |                                         |                                    |                                    |
| Maximum Building Height                                                    | 120'                                    | 40'                                | 40'                                |
| Min. Lot Width at Front Lot Line                                           | 100'                                    | 100'                               | 100'                               |
| <b>Open Area and Public Use Space</b>                                      |                                         |                                    |                                    |
| Open Area                                                                  | 20% (2.22 ac (97,643.7 sq ft))          | 30.4% (19.47 ac (842,946 sq ft))   | 30.5% (36.98 ac (1,618,706 sq ft)) |
| Open Area Required within Open Area                                        | 6% (3.16 ac (137,667 sq ft))            | 10.3% (12.37 ac (538,877 sq ft))   | 9.5-11.1% (44.48 ac sq ft)         |
| <b>Building Standards (Minimum)</b>                                        |                                         |                                    |                                    |
| Public Right-of-Way                                                        | N/A or 10' min. Easement                | N/A or 10' min. Easement           | N/A or 10' min. Easement           |
| Side setback                                                               | N/A or 10' min. Easement                | N/A or 10' min. Easement           | N/A or 10' min. Easement           |
| Recirculator vent shuttling                                                | Grades of 20' or 1/2 height of building | 20'                                | N/A                                |
| Non-recirculator vent shuttling                                            | N/A or 10' min. Easement                | 20'                                | N/A                                |
| Rear setback                                                               | Grades of 20' or 1/2 height of building | 20'                                | N/A                                |
| Recirculator vent shuttling                                                | Grades of 20' or 1/2 height of building | 20'                                | N/A                                |
| Non-recirculator vent shuttling                                            | N/A or 10' min. Easement                | 20'                                | N/A                                |
| <b>Proposed Non-Residential (Use)</b>                                      |                                         |                                    |                                    |
| Office                                                                     |                                         |                                    |                                    |
| Hotel                                                                      |                                         |                                    |                                    |
| Grocery                                                                    |                                         |                                    |                                    |
| Cafe                                                                       |                                         |                                    |                                    |
| Residential for Senior Adults and Persons with Disabilities / Nursing home |                                         | Up to 850,00 sq ft <sup>2</sup>    | N/A                                |
| <b>Proposed Residential (Use)</b>                                          |                                         |                                    |                                    |
| Multi-family                                                               |                                         | Up to 1,000 Units                  | N/A                                |
| Townhomes                                                                  |                                         | Up to 300 units                    | N/A                                |
| <b>MP's<sup>3</sup></b>                                                    |                                         |                                    |                                    |
| 12-15% of Units                                                            | Up to 250 Units (5.0 to 1,000 Units)    |                                    | (7 (7.0% of 136))                  |
| <b>Parking (See 26.05.02)</b>                                              |                                         |                                    |                                    |
| Required (Proportion to 1.0 or more buildings)                             | 2 parking spaces per Dwelling Unit      |                                    | 215                                |

This final site plan is subject to approval and modification of Right-of-Way Abandonment per City of Rockville Ordinance, Chapter 21 Article V, Division 2, for property (City of Rockville Right-of-Way) located along Choke Cherry Road.

The proposed parking layout cannot provide a minimum access to 100' (200' along, beginning from the closest ground point of any property in any residential zone where single and detached, semi-detached, attached, or townhouse development exists) or such additional is recommended in the proposal, without regard to the existing roads or other Transportation facilities. The project will also be subject to the city's property's location boundaries as applicable.

<sup>2</sup> Pursuant to Exhibit B (Parking Plan) as the Attached Project Plan 2/27/2011-00002

<sup>2</sup> This fact also plan is subject to approval and completion of Right-of-Way Abandonment, per City of Rockville Code of Ordinances, Chapter 21 - Article V - Division 2, B, per City of Rockville Right of Way) located along Chosee Creek Road.



**ROCKVILLE OFFICE**  
2 Research Place, Suite 100 Rockville, MD 20850 P.301.948.2750 F.301.948.9067  
Engineering // Surveying // Planning // Environmental Sciences [www.scfresco.com](http://www.scfresco.com)

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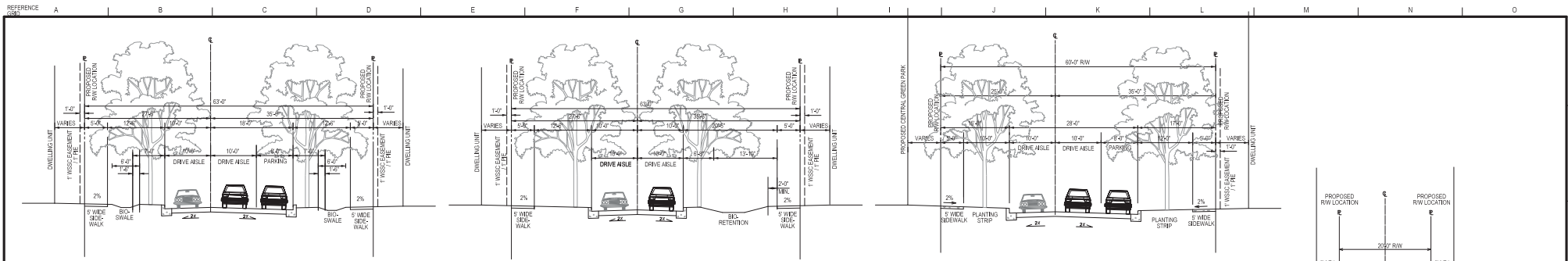
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
 PREPARED OR APPROVED BY ME, AND THAT I AM A  
 LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS  
 OF THE STATE OF MARYLAND.  
**LICENSE NO.** 17731 **EXPIRATION DATE:** 03/23/2016



SITE PLAN  
SHADY GROVE NEIGHBORHOOD CENTER  
PHASE I  
DANAC TECHNOLOGICAL PARK

CITY OF ROCKVILLE, MONTGOMERY COUNTY, MARYLAND

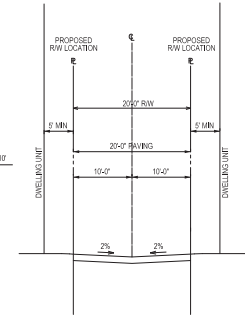




**STREET B, & D TYPICAL CROSS SECTION**  
SECONDARY RESIDENTIAL STREET  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 45

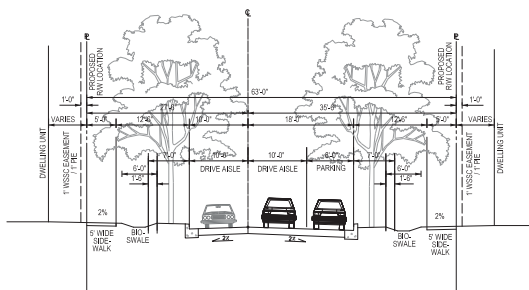
**STREET B TYPICAL CROSS SECTION WITH NO PARKING**  
SECONDARY RESIDENTIAL STREET  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 45

**STREET D TYPICAL CROSS SECTION WITH ONE-SIDED PARKING**  
SECONDARY RESIDENTIAL STREET  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 45

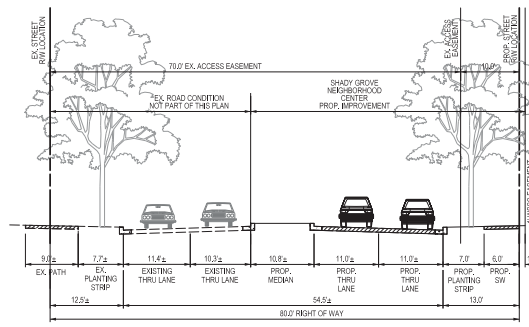


**RESIDENTIAL ALLEY TYPICAL CROSS SECTION**  
CITY OF ROCKVILLE STANDARD DETAIL 47

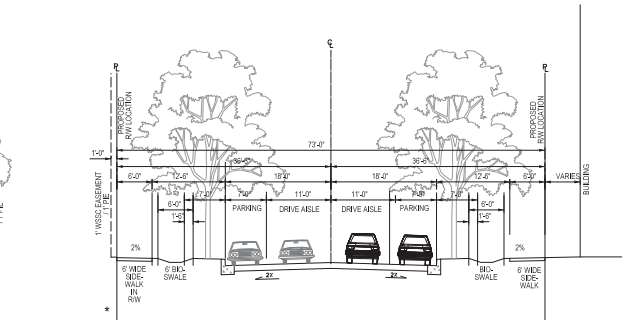
**STREET A CROSS SECTION AT PARK**  
SECONDARY RESIDENTIAL STREET  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 45



**STREET A TYPICAL CROSS SECTION**  
SECONDARY RESIDENTIAL STREET  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 45



**PROPOSED CHOCKEY ROAD CROSS SECTION - C**  
BUSINESS DISTRICT CLASS I  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 44



**STREET C TYPICAL CROSS SECTION AT ROAD INTERSECTION WITH TWO-SIDED PARKING**  
BUSINESS DISTRICT CLASS II  
MODIFIED CITY OF ROCKVILLE STANDARD DETAIL 44

\* SIDEWALK WIDTH TO BE 10' AT MULTI-FAMILY BUILDING, EXTEND TO FACE OF BUILDING AT RETAIL BUILDING.



**SOLTESZ**

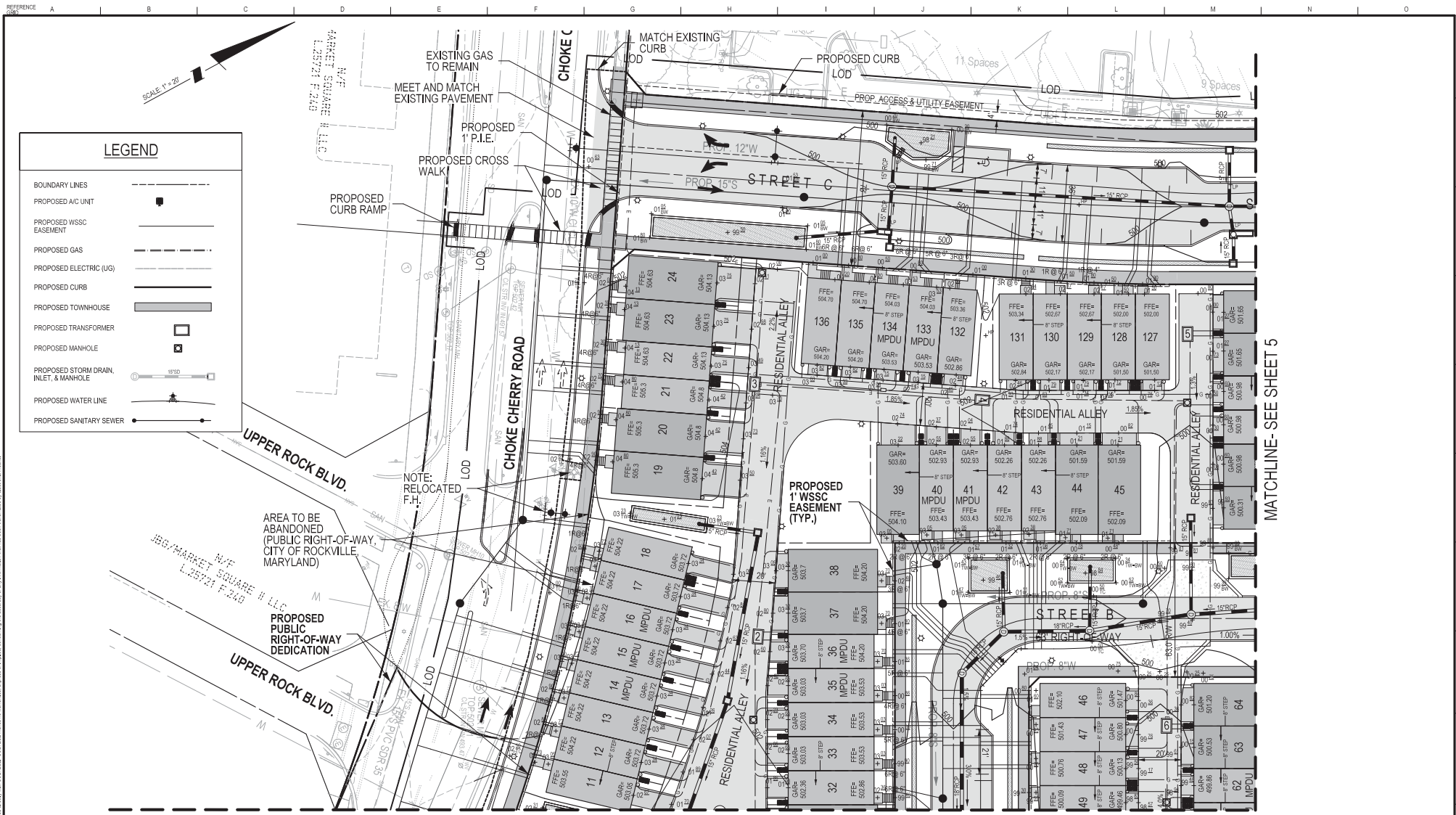
ROCKVILLE OFFICE  
2 Research Place, Suite 100 Rockville, MD 20850 P.301.948.2750 F.301.948.9067  
Engineering / Surveying / Planning / Environmental Sciences www.solteszco.com

| MISS UTILITY NOTE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  | OWNER/DEVELOPER/APPLICANT                                                                                                                                       |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY OCCURRENCES BY BORING TEST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN ON THE PLAN OF THIS PROJECT. ANY UTILITIES NOT SHOWN ON THE PLAN OF THIS PROJECT SHALL BE LOCATED BY THE CONTRACTOR BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN 10 FEET SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ANY UTILITIES NOT SHOWN ON THE PLAN OF THIS PROJECT SHALL BE LOCATED BY THE CONTRACTOR BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN 10 FEET SHALL BE MAINTAINED THROUGHOUT THE PROJECT. |  | GROVE ROCKVILLE 31.11 BL. IN. LLC<br>C/O LANTIAN DEVELOPMENT LLC<br>4341 MONTGOMERY AVENUE<br>BETHESDA, MD 20814<br>PHONE: 301-588-5500<br>ATTN: ROBERT ELLIOTT |  |

| PROFESSIONAL CERTIFICATION                                                                                                                                          |                             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|
| I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. | EXPIRATION DATE: 03/31/2020 |
| DATE: FEBRUARY 2020                                                                                                                                                 | BY: [Signature]             |

| PROPOSED STREET CROSS SECTIONS                                                                                                                                    |            |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|
| <b>SITE PLAN</b><br><b>SHADY GROVE NEIGHBORHOOD CENTER</b><br><b>PHASE I</b><br><b>DANAC TECHNOLOGICAL PARK</b><br>CITY OF ROCKVILLE, MONTGOMERY COUNTY, MARYLAND |            |
| SHEET                                                                                                                                                             | 2          |
| OF                                                                                                                                                                | 9          |
| PROJECT NO.                                                                                                                                                       | 3553-02-00 |





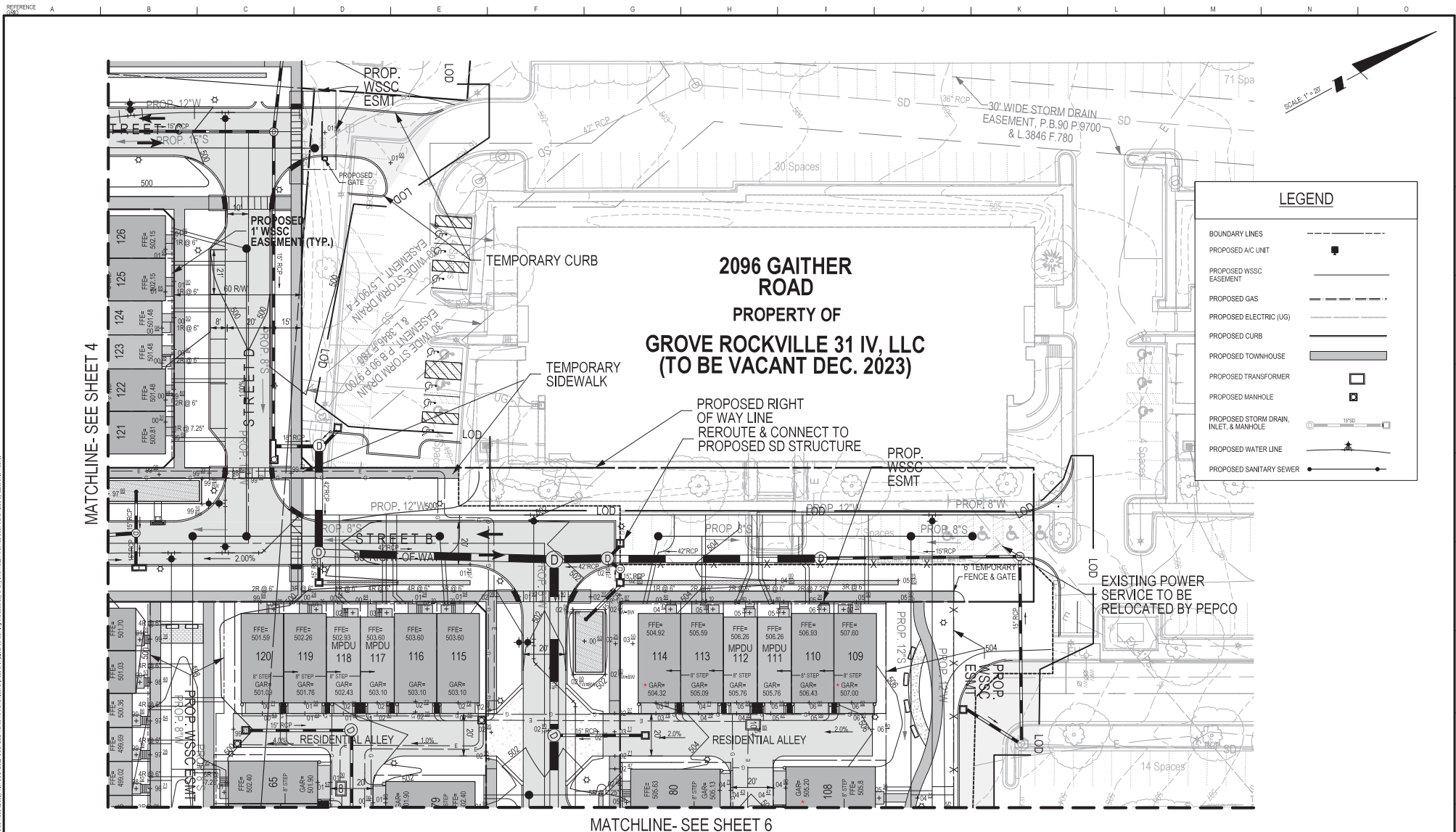
MATCHLINE- SEE SHEET 7



| MISS UTILITY NOTE                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  | OWNER/DEVELOPER/APPLICANT                                                                                                                                |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITIES COVERED BY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND ELEVATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND ELEVATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND ELEVATION OF ALL UTILITIES. |  | SHADY GROVE ROCKVILLE, LLC<br>C/O LANTIAN DEVELOPMENT LLC<br>4341 MONTGOMERY AVENUE<br>BETHESDA, MD 20814<br>PHONE: 301-588-5000<br>ATTN: ROBERT ELLIOTT |  |



|                                                                                                                                                                                                                                                           |  |              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------|
| <b>PROFESSIONAL CERTIFICATION</b><br>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.<br>LICENSE NO. 17731 EXPIRATION DATE: 03/31/2020 |  |              |
| <b>SITE AND GRADING PLAN</b><br><br><b>SITE PLAN</b><br><b>SHADY GROVE NEIGHBORHOOD CENTER</b><br><b>PHASE I</b><br><b>DANAC TECHNOLOGICAL PARK</b><br>CITY OF ROCKVILLE, MONTGOMERY COUNTY, MARYLAND                                                     |  |              |
| PROJECT NO. 3553-02-00                                                                                                                                                                                                                                    |  | SHEET 4 OF 9 |



MATCHLINE- SEE SHEET 4

MATCHLINE- SEE SHEET 6



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2 Research Place, Suite 100 Rockville, MD 20850 P.301.948.2750 F.301.948.9067  
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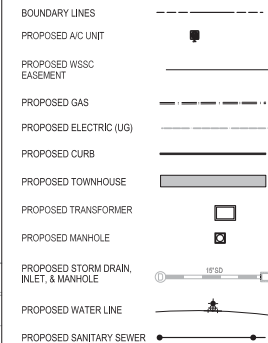
| NO. |  | REVISION                  |  | BY      |  | DATE          |  |
|-----|--|---------------------------|--|---------|--|---------------|--|
| 1   |  | ISSUED                    |  | JH      |  | FEBRUARY 2020 |  |
| 2   |  | CADD STANDARDS            |  | JH      |  | FEB - 2000    |  |
| 3   |  | TECHNICAL                 |  | DHP/UGS |  |               |  |
| 4   |  | CHECKED                   |  | JH      |  |               |  |
| 5   |  | DATE                      |  |         |  |               |  |
| 6   |  | MISS UTILITY NOTE         |  |         |  |               |  |
| 7   |  | OWNER/DEVELOPER/APPLICANT |  |         |  |               |  |
| 8   |  | MAP                       |  |         |  |               |  |
| 9   |  | TAX MAP                   |  |         |  |               |  |
| 10  |  | FS                        |  |         |  |               |  |
| 11  |  | ZONING                    |  |         |  |               |  |
| 12  |  | ZONING CATEGORY           |  |         |  |               |  |
| 13  |  | WSSC 300 SHEET            |  |         |  |               |  |
| 14  |  | 221 NW 9                  |  |         |  |               |  |
| 15  |  | SITE SKYVIEW              |  |         |  |               |  |
| 16  |  | HATCHES                   |  |         |  |               |  |
| 17  |  | VERTICAL                  |  |         |  |               |  |

| PROFESSIONAL CERTIFICATION                                                                                                                                          |                             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|
| I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. |                             |
| LICENSE NO. 17731                                                                                                                                                   | EXPIRATION DATE: 03/31/2020 |

| SITE AND GRADING PLAN                                                                                                                                             |                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------|
| <b>SITE PLAN</b><br><b>SHADY GROVE NEIGHBORHOOD CENTER</b><br><b>PHASE I</b><br><b>DANAC TECHNOLOGICAL PARK</b><br>CITY OF ROCKVILLE, MONTGOMERY COUNTY, MARYLAND |                           |
| SHEET<br><b>5</b><br>OF<br><b>9</b>                                                                                                                               | PROJECT NO.<br>3553-02-00 |

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Q:\35530200\_Phase I\ENGINEERING\Drawings\06\_SitePlan.dwg Scale: 20,000:1 P:\Users\JH\Drawings\06\_SitePlan.dwg PLOT DATE: 2/17/2020 5:46:22 PM



MATCHLINE- SEE SHEET 7

PNP

A horizontal number line with arrows at both ends. It is marked with the numbers -20, -10, 0, 10, 20, 30, and 40. The intervals between consecutive numbers are equal, representing increments of 10.



**LINOWES** | **BLOCHER LLP**  
AND  
ATTORNEYS AT LAW

**SOLTESZ**

**ROCKVILLE OFFICE**  
2 Research Place, Suite 100 Rockville, MD 20850 P.301.948.2750 F.301.948.9067  
Engineering // Surveying // Planning // Environmental Sciences [www.enrsource.com](http://www.enrsource.com)

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER/APPLICANT

GROVE ROCKVILLE 31, II, III, IV, LLC  
C/O LANTIAN DEVELOPMENT LLC  
4341 MONTGOMERY AVENUE  
BETHESDA, MD 20814  
PHONE: 301-388-5600  
ATTN: ROBERT ELLIOTT

MAP 5164 GRID A2 B2

|                                  |                         |
|----------------------------------|-------------------------|
| TAX MAP<br>FS 62                 | ZONING CATEGORY:<br>MXE |
| WSSC 200' SHEET<br>221 NW 9      |                         |
| SITE DATUM<br>HORIZONTAL: NAD 83 |                         |

PROFESSIONAL CERTIFICATION

PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 17731 EXPIRATION DATE: 03/23/2020



## SITE AND GRADING PLAN

SITE PLAN  
SHADY GROVE NEIGHBORHOOD CENTER  
PHASE I  
DANAC TECHNOLOGICAL PARK

CITY OF ROCKVILLE, MONTGOMERY COUNTY, MARYLAND

1" = 20'

SHEET 6

OF 9

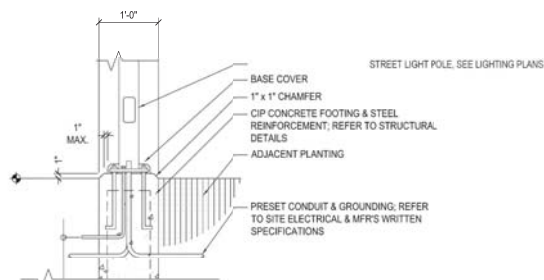
PROJECT NO.



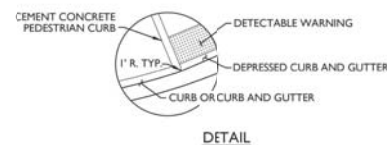
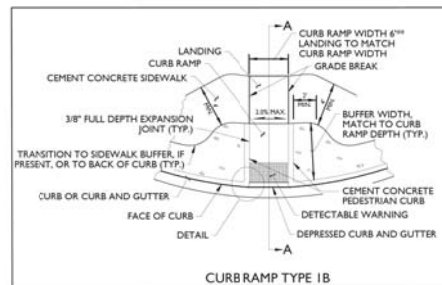


1. REFER TO WASHINGTON COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
2. THIS STANDARD SHALL BE USED ON PRIMARY RESIDENTIAL, ARTERIAL AND BUSSED DISTRICT ROADS AS WELL AS CURBS INCLUDING AND INLET TRENCHES.
3. WHICHEVER EXPANSION JOINT IS PRELIMINARY SHALL BE IN CONJUNCTION WITH THIS STANDARD, A TEN FEET TRANSFER SHALL BE PROVIDED FROM EXPANSION JOINT NO-13.01.01 TO EXPANSION JOINT NO-19.01 FOR CURB RETURN AND NO-13.01.01 TO EXPANSION JOINT NO-19.01 FOR DRIVEWAY.
4. THE STANDARD DISTANCE BETWEEN ARMS SHALL BE TEN FEET (NINETY AND NINETY INCHES) DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET (RESPECTIVELY).
5. EXPANSION JOINT MATERIAL SHALL BE 1/2" OR 3/4" PREHARDENED CURB, TIMBERED AND SUELS WITH TWO COAT TWO-COMPONENT POLYURETHANE OR POLYURETHANE ELASTOMERIC PUT SEALANT (COMPLYING WITH ASTM-D-690).

|                                                                                                                                                                            |                                           |                                                                                                                                                     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| APPROVED <u>11/11/06</u><br><u>DATE</u><br><u>[Signature]</u><br>DIRECTOR, DEPT. OF PUBLIC<br>WORKS & TRANSPORTATION<br><u>[Signature]</u><br>CH. ENGR., DIV. OF CAP. DEV. | REVISED<br><u>11/11/06</u><br><u>DATE</u> | MONTGOMERY COUNTY<br>DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION<br>COMBINATION CONCRETE<br>CURB AND GUTTER<br>TYPE A<br><br>STANDARD NO. MC-100.01 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|

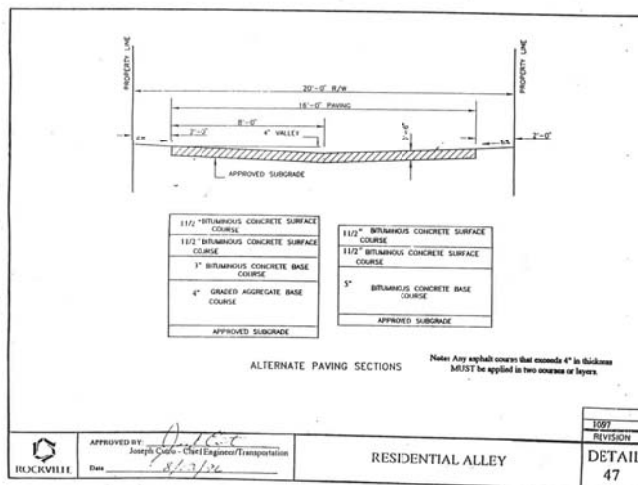
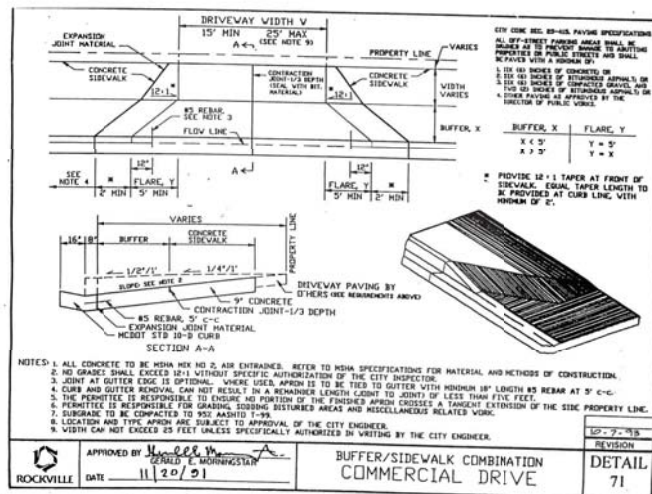


- NOTES:
1. FOOTING DESIGN BY OTHERS.
  2. VERIFY FOOTING DIAMETER W/ LIGHT MRF. & STRUCTURAL REQUIREMENTS.
  3. REFER TO SITE ELECTRICAL PLANS/SPECIFICATIONS & POLE MFR. FOR ADDITIONAL INFORMATION.



1. REFER TO HAWAII STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
2. REFER TO THE APPLICABLE HAWAII COUNTY DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS FOR DETAILS AT DRIVEWAYS.
3. EXPANDED JOINTS SHALL HAVE A MAXIMUM SPACING OF 100 FEET AND BE LOCATED AT POINTS OF DRAINAGE. EXPANDED JOINT MATERIAL SHALL BE 1/2" BEEN PREFORMED CONK, TRIMMED AND SEALED WITH HOT-CHARGED POLYURETHANE OR POLYBUTYLENE OR POLYESTER/EPOXY ELASTOMERIC TOLUENE SOLUBLE COMPLYING WITH ASTM-C-895.
4. SOURE THE CONCRETE TO A DEPTH OF 1/3 THE SLAB THICKNESS TO PROVIDE WORKED PLANE TRANSVERSE JOINTS AT 8'-0" INTERVALS.
5. REFER TO THE APPLICABLE ROAD SIGNED AND CURB AND GUTTER REQUIREMENTS FOR OTHER OPTIONS.
6. SECONDARY BENCH SHALL BE 4'-0" FOR SECONDARY AND TERTIARY ROADWAYS.

|                                                |                                     |                                                   |
|------------------------------------------------|-------------------------------------|---------------------------------------------------|
| APPROVED <i>H.A.P. Vile</i><br>DATE            | REVISED<br>BY <i>W.H. 1000</i> DATE | MONTGOMERY COUNTY<br>DEPARTMENT OF TRANSPORTATION |
| <i>Carl Hilly</i><br>DIRECTOR, DEPT. OF TRANS. |                                     | RESIDENTIAL SIDEWALK<br>CLOSED SECTION            |
| <i>Helen S. ...</i>                            |                                     | STANDARD NO. MC-110.0                             |



FINAL ADJUSTMENTS TO THE PAVEMENT DESIGN SECTIONS MAY BE REQUIRED BASED ON RESULTS OF CBR TEST TAKEN OF THE PAVEMENT SUBGRADES SOILS AT THE TIME OF CONSTRUCTION. THE ASPHALT CONCRETE AND BASE COURSE SHOULD BE IN ACCORDANCE WITH THE APPLICABLE MARYLAND STATE HIGHWAY ADMINISTRATION

- NOTES**
1. THE FIRST OR INTERMEDIATE SURFACE COURSE MUST BE PLACED AS SOON AS FIELD CONDITIONS ALLOW AFTER THE BITUMINOUS CONCRETE BASE HAS BEEN PLACED. NO TRAFFIC ALLOWED ON BASE COURSE UNTIL FIRST SURFACE COURSE HAS BEEN PLACED.
  2. CONTRACTOR TO PREPARE/SUBGRADE IN ACCORDANCE W/ SECTION 204 & 208 OF THE LATEST MDSHA STANDARDS & SPECIFICATIONS FOR CONSTRUCTION MATERIAL.
  3. PAVEMENT BEARING PER MONTGOMERY COUNTY - SUPPORT FIRE APPARATUS.



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|             |  |                     |  |                               |  |                   |  |              |  | <b>PROFESSIONAL CERTIFICATION</b><br>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.<br>LICENSE NO. 1771 EXPIRATION DATE: 03/31/2025 |  |       |  |  |  |  |  |  |  | <b>DETAILS</b> |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |    |  |
| NO. REVISED |  | DATE: FEBRUARY 2020 |  | LAD STANDARD VERSION: VB 1200 |  | REVIEWER: DNP/CSG |  | CHECKED: DNP |  | PROJECT NO. 3519                                                                                                                                                                                                                                         |  | DATE: |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | </ |  |

