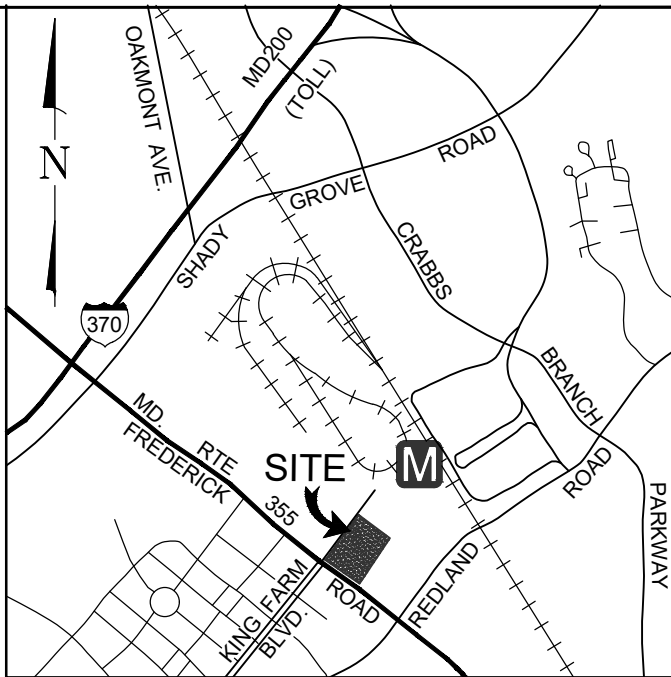


LIDL & THE HENSON AT SHADY GROVE METRO STP#2022-00434



VICINITY MAP
SCALE: 1"=2000'

MHG

Civil Engineers
Land Planners
Landscape Architects
Land Surveyors

9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301.670.0840
www.mhgpa.com

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Planning and Development Services
Received
12/6/2021
STP2022-00434

SHEET INDEX

- OVERALL

SP-0.01
SP-1.01
SP-1.11
SP-2.01
SP-2.02
LS-2.01

COVER SHEET
EXISTING CONDITIONS PLAN
SITE DEMOLITION PLAN
OVERALL SITE PLAN
OPEN SPACE EXHIBIT
SITE PHOTOMETRIC PLAN
- LIDL SITE

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LS-2.12
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SITE PLAN
LANDSCAPE PLAN
LANDSCAPE DETAILS
BUILDING FLOOR PLAN
BUILDING ELEVATIONS
- HENSON SITE

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SITE PLAN
LANDSCAPE PLAN
LANDSCAPE DETAILS & NOTES
HARDSCAPE PLAN
HARDSCAPE PLAN
HARDSCAPE DETAILS
HARDSCAPE DETAILS
HARDSCAPE DETAILS
LOWER PARKING FLOOR PLAN
GROUND LEVEL PARKING/LOBBY FLOOR PLAN
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FLOOR 3 PLAN
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FLOOR 5 PLAN
FLOOR 6 PLAN
ROOF/PENTHOUSE PLAN
BUILDING ELEVATIONS
BUILDING ELEVATIONS
BUILDING ELEVATIONS

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP G512 WSSC 221NW08

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N
DERWOOD

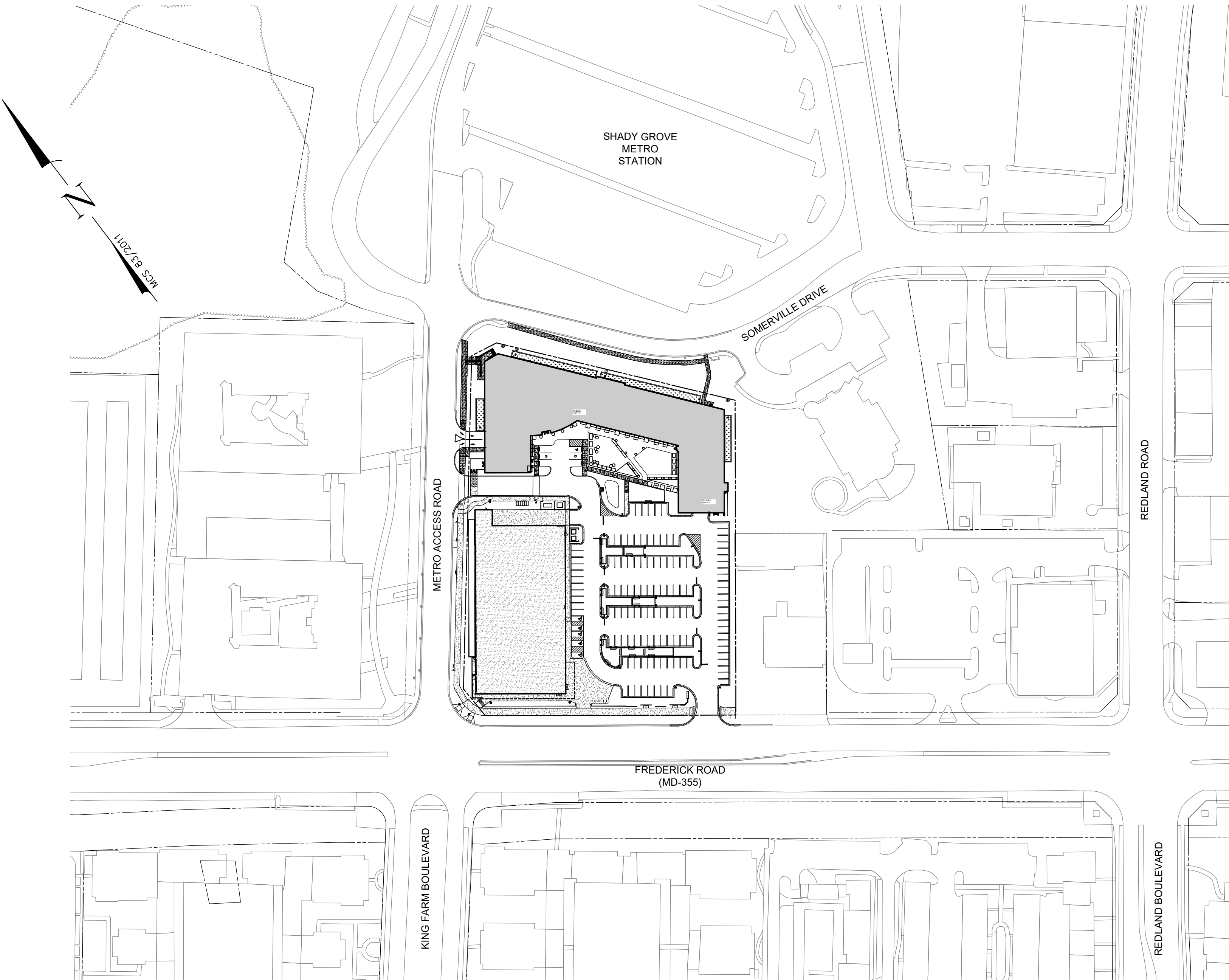
LIDL & THE HENSON
AT SHADY GROVE METRO

PROJ. MGR	PGL
DRAWN BY	PGL
SCALE	1"= 100'
DATE	12.02.2021

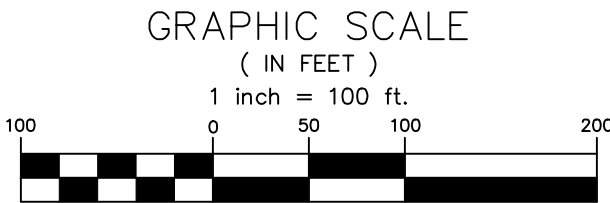
SITE PLAN COVER SHEET

SP-0.01

PROJECT NO.	96.419.21
SHEET NO.	1 OF 1



SURROUNDING AREA MAP



PROJECT TEAM

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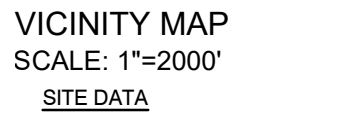
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[illegible]

PLAT 20049

PARCEL N
DERWOOD

PROJ. MGR	PGL
-----------	-----

SCALE 1" = 30'

05004

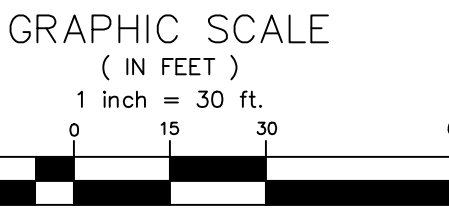
PROJECT NO. 96.419.21

SHEET NO. _____ OF _____

1. SEE VEHICLE AND BICYCLE PARKING BREAKDOWN, THIS SHEET.
2. AS PART OF THE PROJECT, A PARKING REDUCTION IN ACCORDANCE WITH 25.16.03.8.1.(a) IS REQUESTED. THE PARKING PROVIDED INCLUDES 129 SPACES ON THE LIDL SITE AND 181 SPACES ON THE HENSON SITE.
3. SHORT TERM BICYCLE PARKING INCLUDES 12 SPACES AT THE FRONT OF THE LIDL STORE AND 6 SPACES AT THE FRONT OF THE HENSON BUILDING.
4. LONG TERM BICYCLE PARKING INCLUDES 6 LOCKERS ON THE LIDL SITE AND 66 SPACES PROVIDED WITHIN THE HENSON PARKING GARAGE.
5. THE SPACE IS NOT REQUIRED ON THE RESIDENTIAL PORTION OF THE SITE. PURSUANT TO THE EXEMPTION FOR AFFORDABLE HOUSING UNDER 27.17.01.E, THEREFORE THE PUBLIC USE SPACE REQUIREMENT AND AMOUNT PROVIDED ARE BASED ON THE 106,287 SF (2.51 ac) LIDL PORTION OF THE SITE ONLY.
6. THE HEIGHT REQUIREMENT IS 35 FEET FOLLOWING LIDL BUILDING HEIGHT. THE HIGHEST POINT OF CURB GRADE AT MIDDLE FRONT OF BUILDING ALONG MD-302, HENSON BUILDING - HIGHEST POINT OF FLAT ROOF TO AVERAGE GRADE ALONG FRONT OF BUILDING (486.00). MAXIMUM HEIGHT NUMBERS ARE ROUNDED UP FOR FINAL AS-BUILT TOLERANCE.

BICYCLE PARKING CALCULATIONS - LONG TERM (MINIMUM)			
USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT	191 UNITS	1.0/3 UNIT	64.0
RETAIL (< 30,000 SF)	30,000 SF	2.00/12,000 SF	6.0
TOTAL (ROUNDED)			70 SPACES

1. THE EXISTING CONDITIONS AND PROPERTY BOUNDARY SHOWN ARE TAKEN FROM AN ALTA & TOPOGRAPHIC SURVEYS PREPARED BY MHG. LAST UPDATED IN APRIL OF 2020.
2. EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, MARKINGS BY MISS UTILITY ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
3. THE PROPERTY IS WITHIN THE ROCK CREEK WATERSHED.
4. THE PROPERTY DOES NOT CONTAIN "WATERS OF THE UNITED STATES", WETLANDS, STREAMS, SEEPS, SPRINGS, FLOODPLAINS OR THEIR ASSOCIATED BUFFERS.
5. THE PROPERTY IS NOT IDENTIFIED IN THE CITY OF ROCKVILLE'S HISTORIC BUILDINGS INDEX.
6. A NATURAL RESOURCES INVENTORY / FOREST STAND DELINEATION (NRI/FSI) FOR THIS PROPERTY WAS APPROVED ON AUGUST 3, 2020 UNDER FTPO#2020-00014
7. ALL NEW UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE WITH DESIGN PROGRESSION.
8. THE PROPERTY IS WITHIN THE WSSC WATER AND SEWER SERVICE AREA.
9. REFER TO THE ZONING DATA TABLE FOR DEVELOPMENT STANDARDS.



REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP GS12 WSSC 221NW08

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N
DERWOOD

LIDL & THE HENSON
AT SHADY GROVE METRO

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 30'

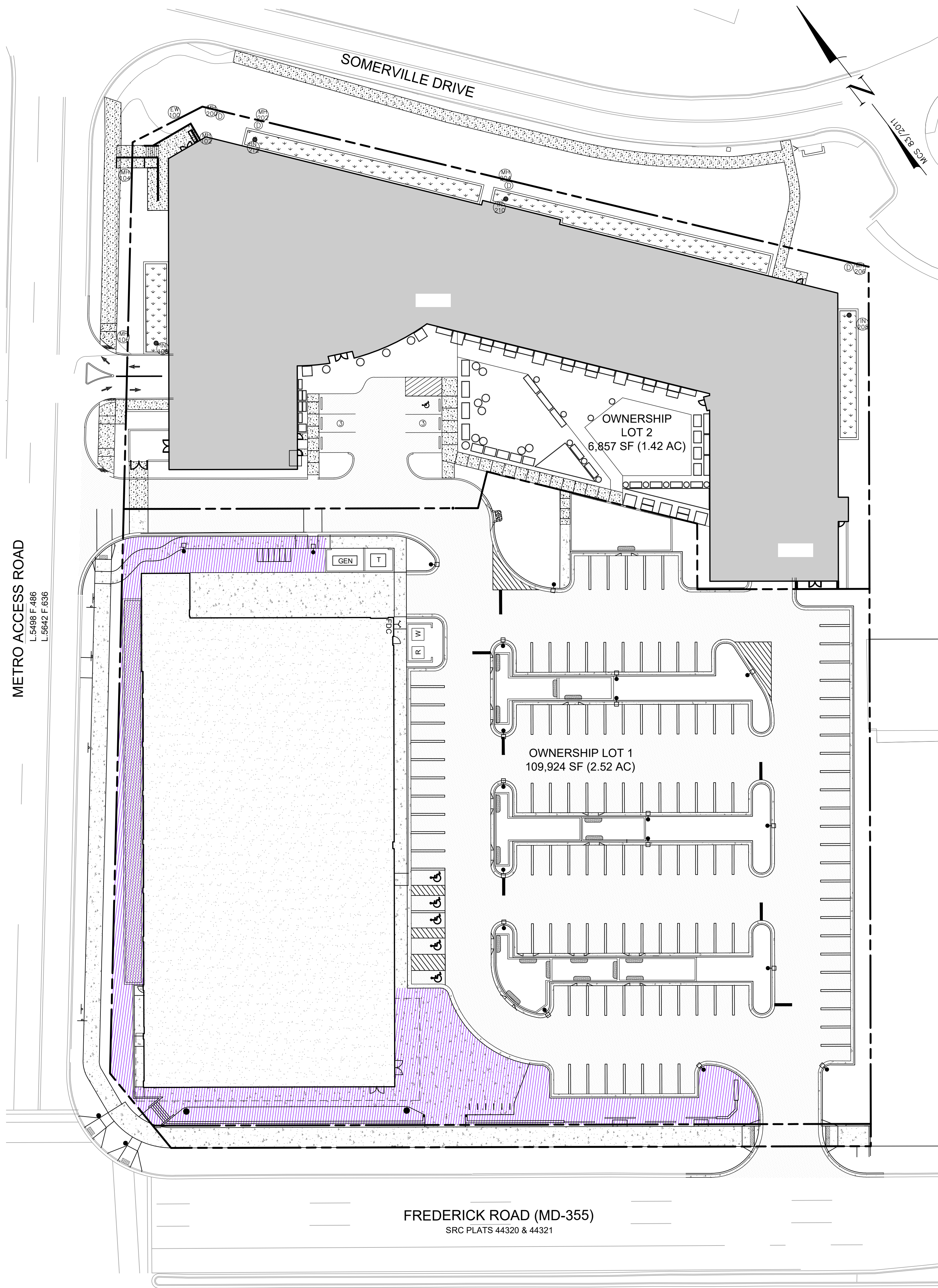
DATE 12.02.2021

OPEN AREA & PUBLIC
USE SPACE EXHIBIT

SP-2.02

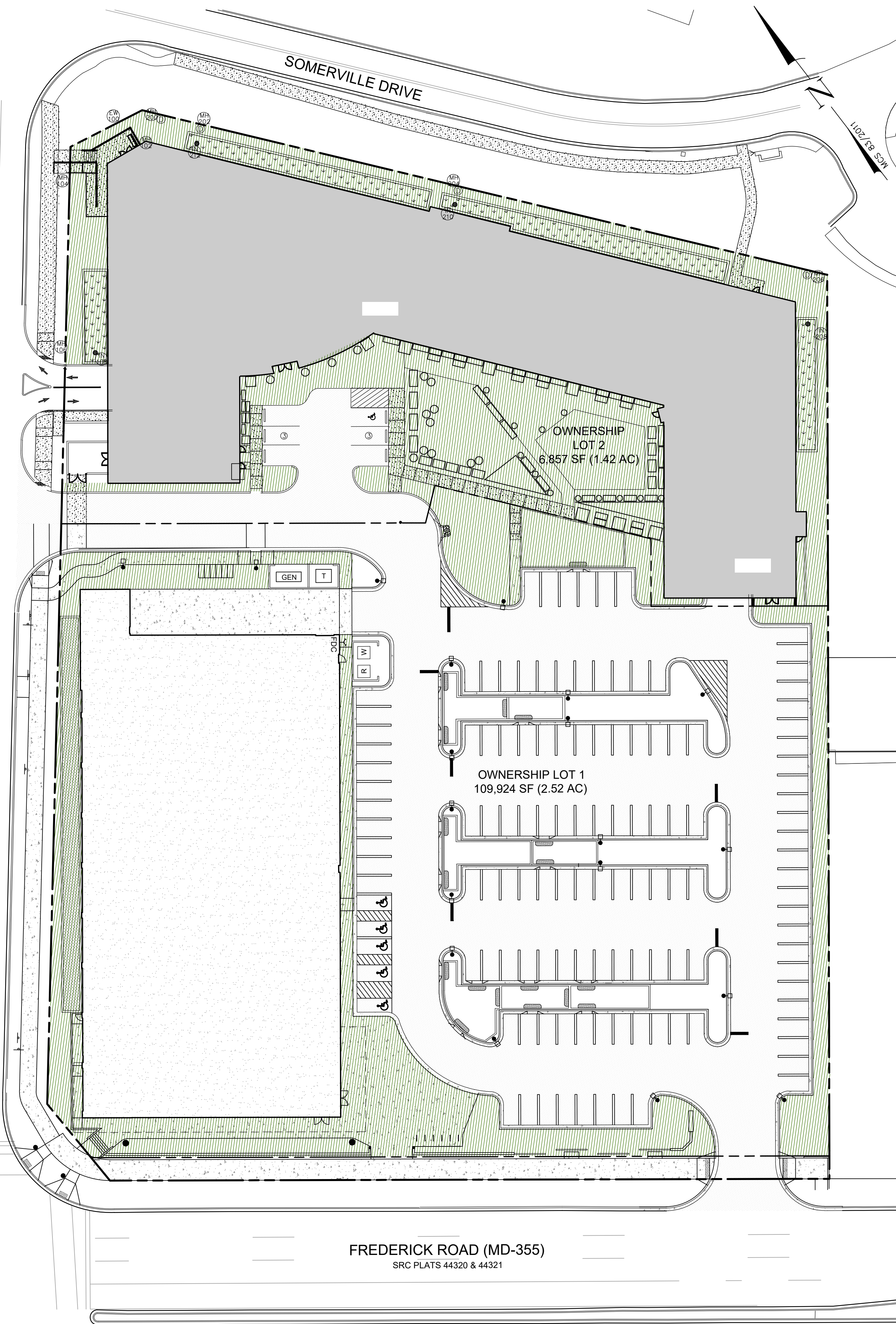
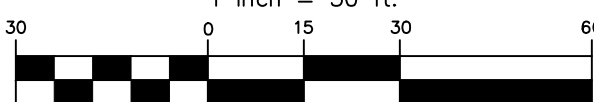
PROJECT NO. 96.419.21

SHEET NO. 1 OF 1



PUBLIC USE SPACE

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

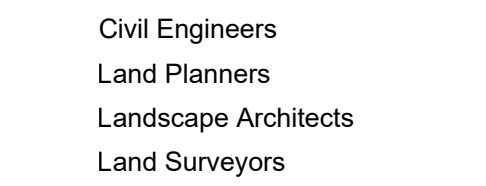


OPEN AREA

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Received

12/6/2021

STP2022-00434



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ARCH	ARCHITECTURAL
BACK	BACK OF CURB
BUILD	BUILDING
BOLD	BOTTOM OF STAIR
BS	BOTTOM OF WALL
CB	CURB & GUTTER
CG	CONCRETE
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
ELEC	ELECTRIC
EP	EDGE OF PAVING
EX	EXISTING
FC	FOREST CONSERVATION
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISHED FLOOR ELEVATION
FL	FLOW LINE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HR	HORIZONTAL RETENTION
MECH	MECHANICAL
NIC	NOT IN CONTRACT
PLUM	PLUMBING
RC	REINFORCED CONCRETE PIPE
REM	REMOVE
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
S	SANITARY SEWER
SWM	STORMWATER MANAGEMENT
SWM	SEWERSLACK
TBR	TO BE REMOVED
TC	TOP OF CURB
TS	TOP OF STAIR
TS	TOP OF WALL
TYP	TYPICAL
W	WATER

	CONTOUR (2FT)	
	CONTOUR (2FT)	
	SPOT ELEVATION	+ 03.25
	CURB & GUTTER	
	ASPHALT PAVING	
	CONCRETE PAVING	
	LIMITS OF DISTURBANCE	
	UTILITY DEMO	
	WATER LINE	
	FIRE HYDRANT	
	SEWER LINE	
	STORM DRAIN	
	NATURAL GAS	
	UNDERGROUND ELECTRIC	
	UNDERGROUND COMMUNICATION	
	LIGHT POLE	
	PROPERTY BOUNDARY	
	EASEMENT	

[illegible]

PLAT 20049

PARCEL N
DERWOOD

PROJ. MGR PGL

SCALE 1"= 30'

DATE 12.02.2021

CP 11

SD 2 11

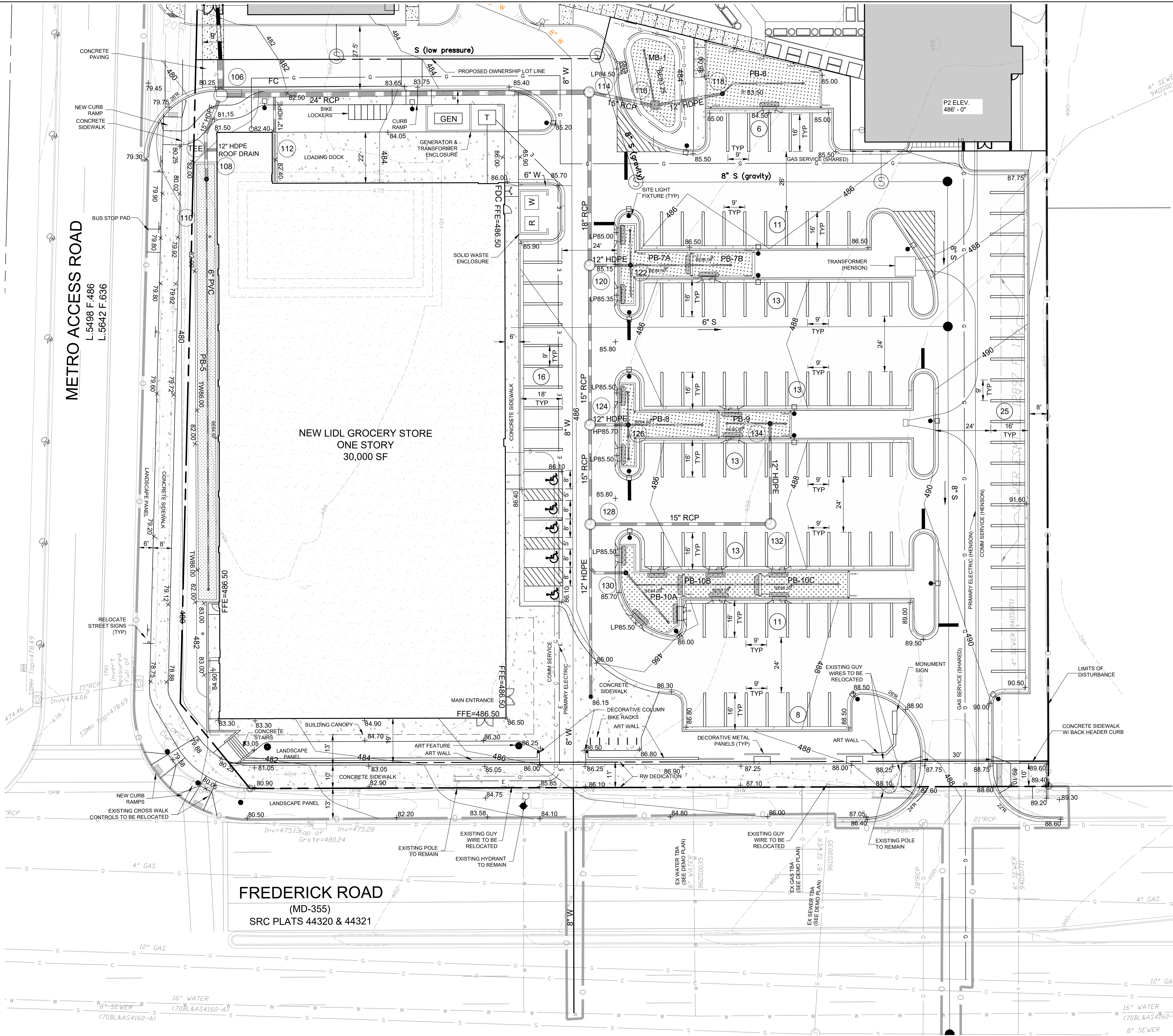
PROJECT NO. 55-155-1

SHEET NO. 1 OF 1

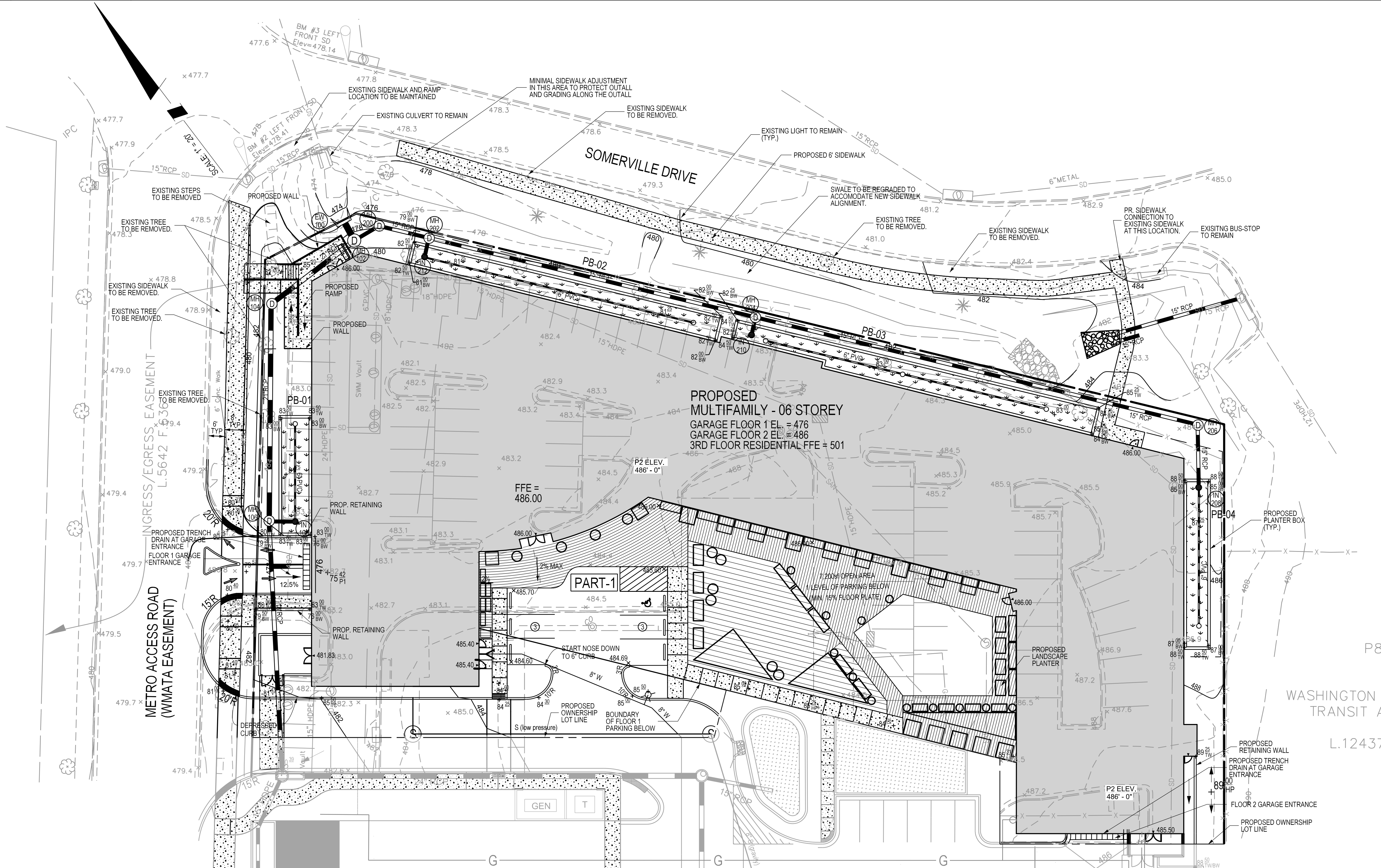
SP-2.11

PROJECT NO. 96.419.21

SHEET NO. 1 OF 1



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LEGEND	
LOT LINES	EXISTING CURB
BOUNDARY LINES	PROPOSED CURB
LIMIT OF DISTURBANCE (LOD)	PROPOSED BUILDING (BLDG)
EXISTING STORM DRAIN, INLET, & MANHOLE	PROPOSED FULL DEPTH PAVEMENT (HEAVY DUTY)
PROPOSED STORM DRAIN, INLET, & MANHOLE	PROPOSED SIDEWALK
EXISTING SEWER LINE, MANHOLE & DIRECTION	EXISTING FENCE
PROPOSED SEWER LINE, MANHOLE & DIRECTION	EXISTING CONTOURS
EXISTING WATER LINE, BEND, REDUCER & CAP	PROPOSED CONTOURS
EXISTING VALVE & FIRE HYDRANT	EXISTING & PROPOSED SPOT ELEVATIONS
PROPOSED VALVE & FIRE HYDRANT	EXISTING & PROPOSED DRAINAGE FLOW
EXISTING UNDERGROUND TELE, ELEC, GAS, CATV	PROPOSED HANDICAP PARKING SPACE
EXISTING OVERHEAD TELE, ELEC, CATV	BENCH MARK
PROPOSED PLANTER WALL/RETAINING WALL	EXISTING UTILITY POLE
PROPOSED SWM ESD	EXISTING & PROPOSED POLE LIGHT

MATCHLINE SHEET SP-2.11

Planning and Development Services
Received
12/6/2021
STP2022-00434

BEFORE BEGINNING CONSTRUCTION
CONTACT
"MISS UTILITY"
AT
WWW.MISSUTILITY.NET
OR
1-800-257-7777
OR 811
AT LEAST 48 HOURS
PRIOR TO EXCAVATION

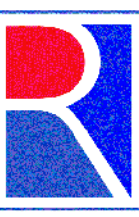
SOLTESZ, INC.
ROCKVILLE OFFICE
2 Research Place, Suite 100 Rockville, MD 20850 P.301.948.2750 F.301.948.9067
Engineering // Surveying // Planning // Environmental Sciences www.solteszco.com

OWNER/DEVELOPER FOR PART-1
FOUNDATION HOUSING
11810 GRAND PARK AVENUE, SUITE 600
NORTH BETHESDA, MD 20852
PHONE # 301-998-0403
CONTACT PERSON:
JASON GOLDBLATT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE NO. 30287
EXPIRATION DATE: 5-18-2022
TIMOTHY J. STEMANN
NAME



NO.	REVISIONS AFTER PLAN APPROVAL	P.E. INITIAL	DATE



DESIGNED ZR
DRAFTED ZR
CHECKED JS

DEPARTMENT OF PUBLIC WORKS
CITY OF
ROCKVILLE
111 MARYLAND AVE
ROCKVILLE, MARYLAND

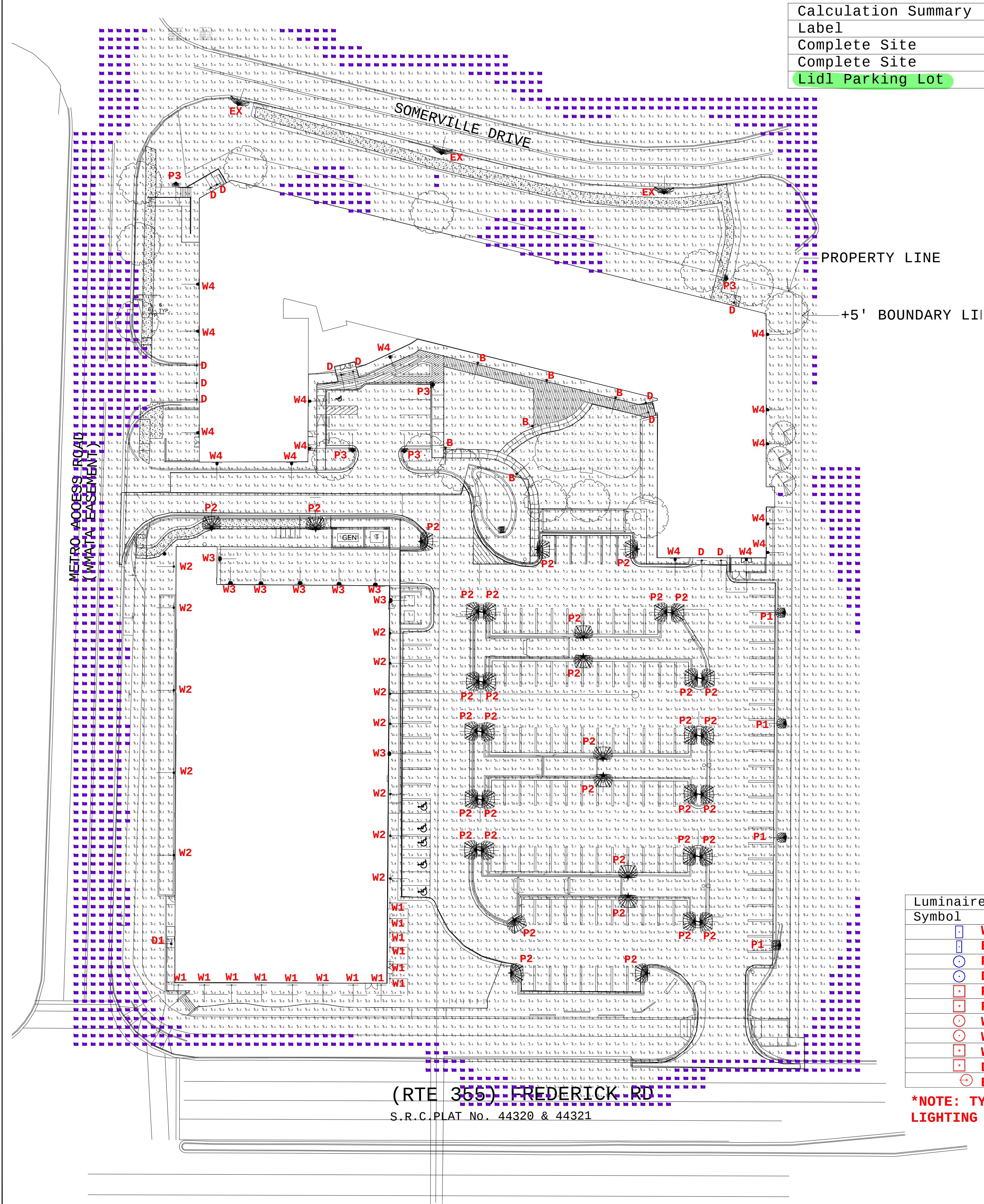
DESIGN PLAN APPROVAL
DIRECTOR OF PUBLIC WORKS
PLAN APPROVAL DATE

AS BUILT PLAN APPROVAL
CHIEF CONSTRUCTION MANAGEMENT
PLAN APPROVAL DATE

SITE PLAN
PART 1 - MULTIFAMILY BUILDING
SITE PLAN VIEW

THE HENSON AT SHADY GROVE
15931 FREDERICK ROAD, DERWOOD MD 20855
SUBDIVISION: 0001, PARCEL NUMBER: N244
CITY OF ROCKVILLE, MARYLAND

DATE SUBMITTED:
12/3/2021
SCALE
1" = 20'
SHEET
SP 2.21
FILE #



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Complete Site	Illuminance	Fc	3.23	42.4	0.0	N.A.
Complete Site	Illuminance	Fc	6.41	42.4	0.0	N.A.
Lidl Parking Lot	Illuminance	Fc	7.80	21.1	0.0	N.A.

Luminaire Schedule							
Symbol	Qty	Label	LLF	Wattage	Description	Mounting Height	Manufacturer
W4	15	WST_LED_P2_40K_VF_MVOLT	0.900	25	EX WALL MTD	15'-0"	Lithonia Lighting
B	6	NT-X-LG4700-30-UNV	0.900	14.4	EX BOLLARD	4'-0"	Selux
P3	5	QHZL-X-R3-5G700-30-XX-UNV	0.900	64.259	EX POLE	14'-0"	Selux
D	12	S5515W	0.900	3.6	EX DOWNLIGHT	12'-8"	Sistemalux
P1	4	PAF3-167W-50K-T3-VISOR	0.800	178.8	POLE 167W T3	15'-0"	Pantheon
W2	36	PAF3-99W-50K-T4-C	0.900	104.8	POLE 99W T4	15'-0"	Pantheon
P1	14	SP-00744 ~ SGE4LED FX-15L35KDX	0.900	13.1	TYPE F8	9'-0"	Spectrum Lighting
W2	12	PWC1-D-41K-WB-WB	0.900	41.22	TYPE F3	9'-0"	Pantheon
W3	8	PWP1-S37-50K-T4	0.900	41.6	TYPE F2'	9'-0"	Pantheon
D1	1	NC2-431L1540FSWF	0.900	16.87	CANOPY DL	13'-0"	Nora Lighting
EX*	3	LIAM-120_277-CSL-M110-30K-CRI	1.000	92	EX POLE	15'-0"	Lumenicon

*NOTE: TYPE EX FIXTURE IS AN EQUIVALENT. ACTUAL FIXTURE IS QUALITY LIGHTING CAT:#123-20-VR-HPS-150

Lidl Parking Lot (Derwood) Lighting Calculations
James Posey Associates
James Kang, EIT
September 29, 2021



Civil Engineers
Land Planners
Landscape Architects
Land Surveyors

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REVISIONS		
NO.	DESCRIPTION	DATE

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TAX MAP G512 WSSC 221NW08

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N
DERWOOD

LIDL & THE HENSON
AT SHADY GROVE METRO

PROJ. MGR PJM

DRAWN BY JHK

SCALE NOT TO SCALE

DATE 09.29.2021

SITE PHOTOMETRIC PLAN

LS-2.01

PROJECT NO. 96.419.21

SHEET NO. 1 OF 1