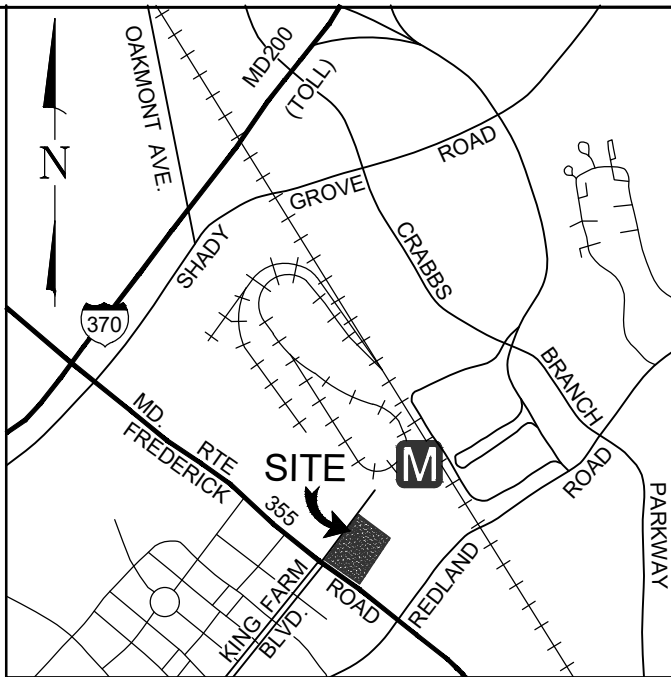
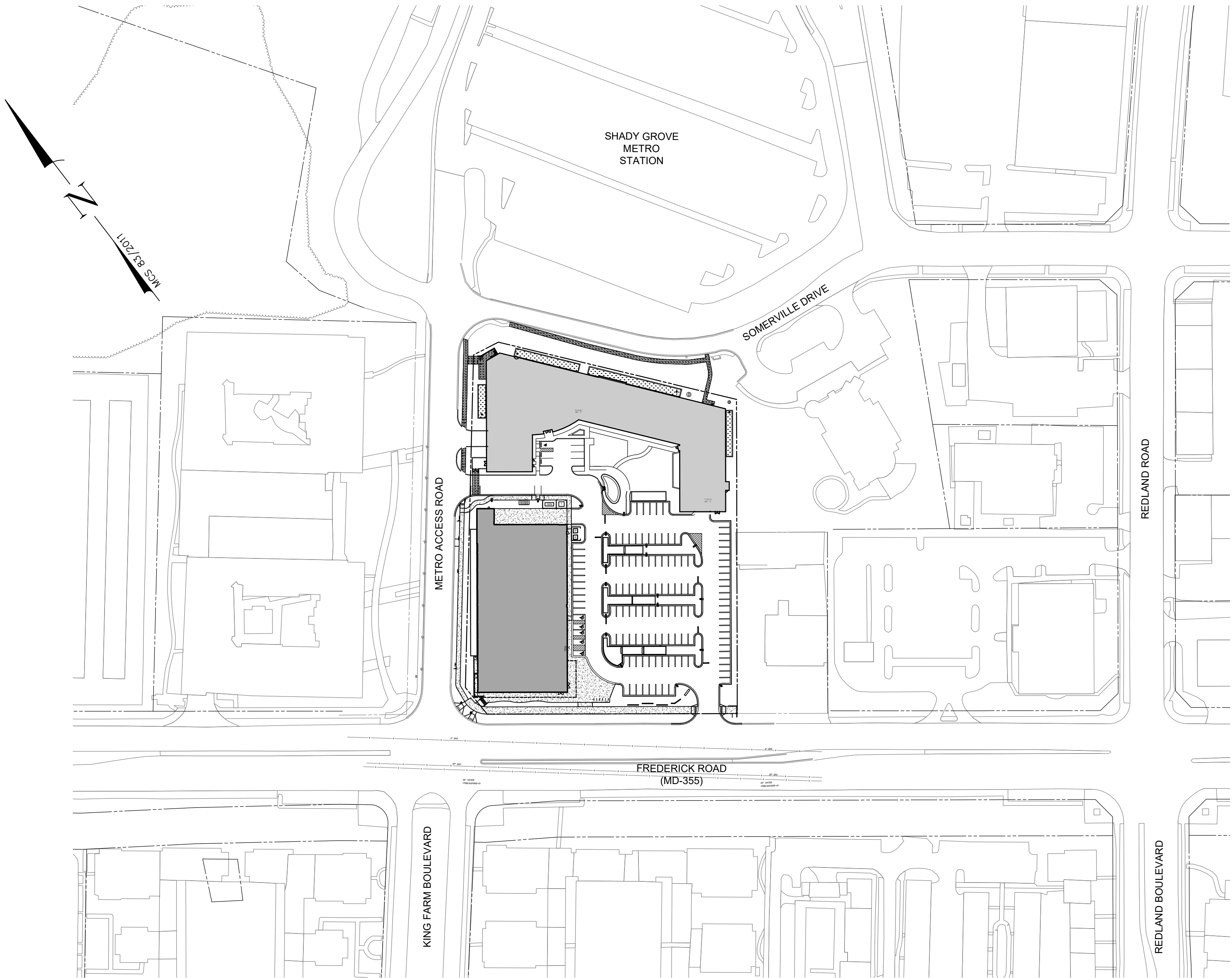


LIDL & THE HENSON AT SHADY GROVE METRO STP#2021XXXX

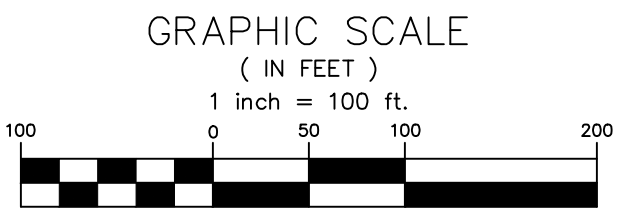


VICINITY MAP
SCALE: 1"=2000'

Planning & Development Services
Received
August 20, 2021



SURROUNDING AREA MAP



PROJECT TEAM

CONTRACT PURCHASER / DEVELOPER
LIDL US OPERATIONS, LLC
3500 S CLARK STREET
ARLINGTON, VA 22202
CONTACT: DUSTIN SCHADE
DUSTIN.SCHADE@LIDL.US

THE HENSON DEVELOPER
FOUNDATION HOUSING
11810 GRAND PARK AVE #600
NORTH BETHESDA, MD 20852
CONTACT: TODD TRAVIS
TODD@FOUNDATIONHOUSING.COM

LAND USE ATTORNEY
BREGMAN, BERBERT, SCHWARTZ & GILDAY, LLC
7315 WISCONSIN AVENUE, SUITE 800 WEST
BETHESDA, MD 20814
CONTACT: FRANCOISE M. CARRIER
FCARRIER@BREGMANLAW.COM

TRAFFIC ENGINEER
GOROVE SLADE
1140 CONNECTICUT AVE, NW SUITE 600
WASHINGTON, DC 20036
CONTACT: KAITE WAGNER
KLW@GOROVESLADE.COM

CIVIL ENGINEER (LIDL SITE)
MHG
9220 WIGHTMAN ROAD, SUITE 120
MONTGOMERY VILLAGE, MD 20832
CONTACT: PATRICK G. LA VAY
PLAVAY@MHGPA.COM

LANDSCAPE ARCHITECT (LIDL SITE)
MHG
9220 WIGHTMAN ROAD, SUITE 120
MONTGOMERY VILLAGE, MD 20832
CONTACT: DAVID POST
DPOST@MHGPA.COM

ARCHITECT (LIDL SITE)
ARCHITECTURE INCORPORATED
1902 CAMPUS COMMONS DRIVE, SUITE 101
RESTON, VA 20191
CONTACT: NICHOLAS CROWLEY
NICHOLASC@ARCHINC.COM

CIVIL ENGINEER (THE HENSON SITE)
SOLTESZ
2 RESEARCH PLACE, SUITE 100
ROCKVILLE, MD 20850
CONTACT: JYOTIKA SHARMA
JSHARMA@SOLTESZCO.COM

ARCHITECT (THE HENSON SITE)
STUDIO 343
1912 D LINCOLN DRIVE
ANNAPOLIS, MD 21401
CONTACT: CHUCK HAWLEY
CHUCK@STUDIO343.COM

SHEET INDEX

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SP-1.01 EXISTING CONDITIONS PLAN
SP-2.01 OVERALL SITE PLAN
SP-2.02 OPEN SPACE EXHIBIT

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SP-2.11 SITE PLAN
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9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301.670.0840
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3500 S. CLARK STREET
ARLINGTON, VA 22202
703-486-6305
DUSTIN.SCHADE@LIDL.US

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP G512 WSSC 221NW08

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N DERWOOD

LIDL & THE HENSON AT SHADY GROVE METRO

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 100'

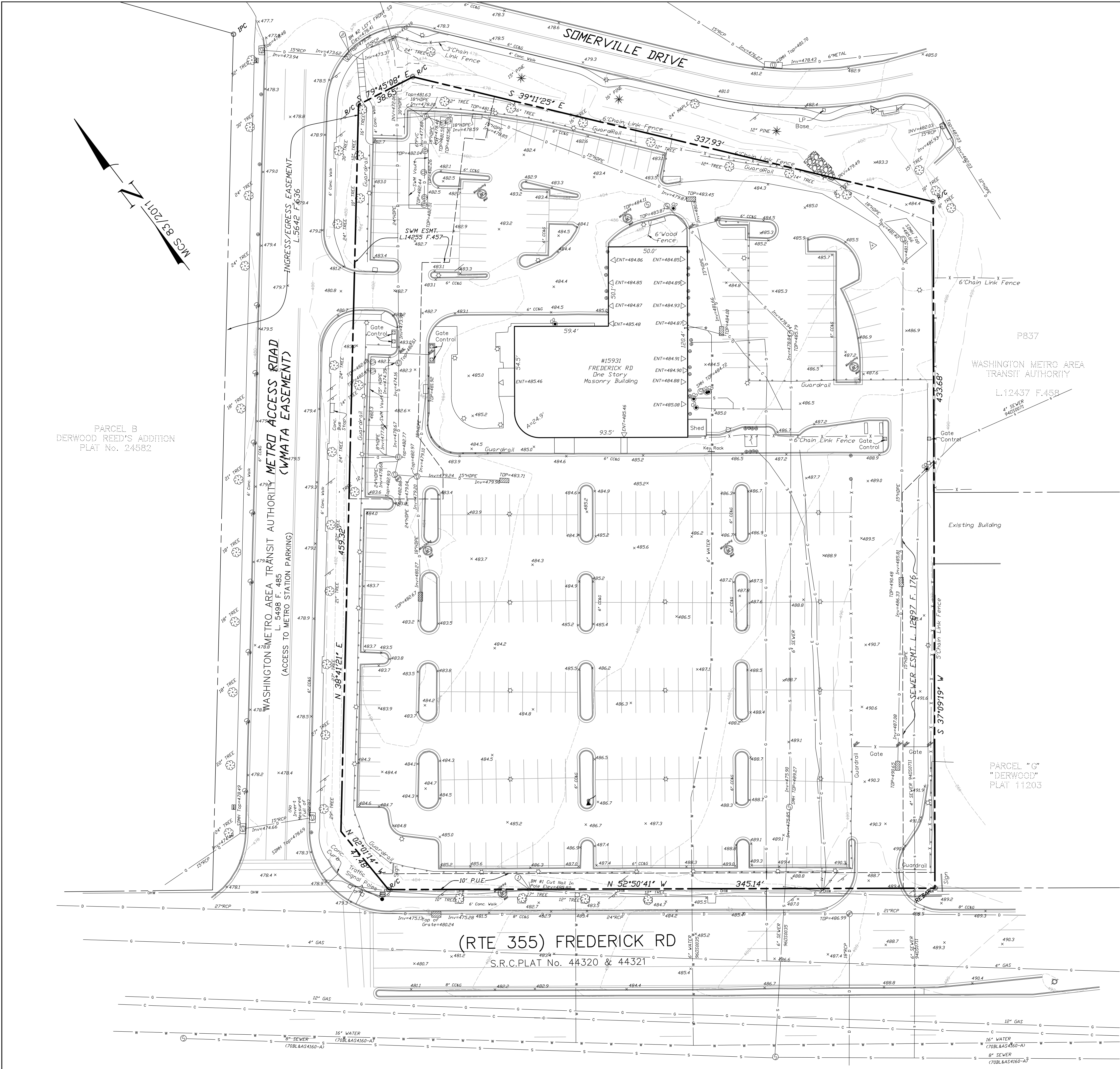
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SITE PLAN COVER SHEET

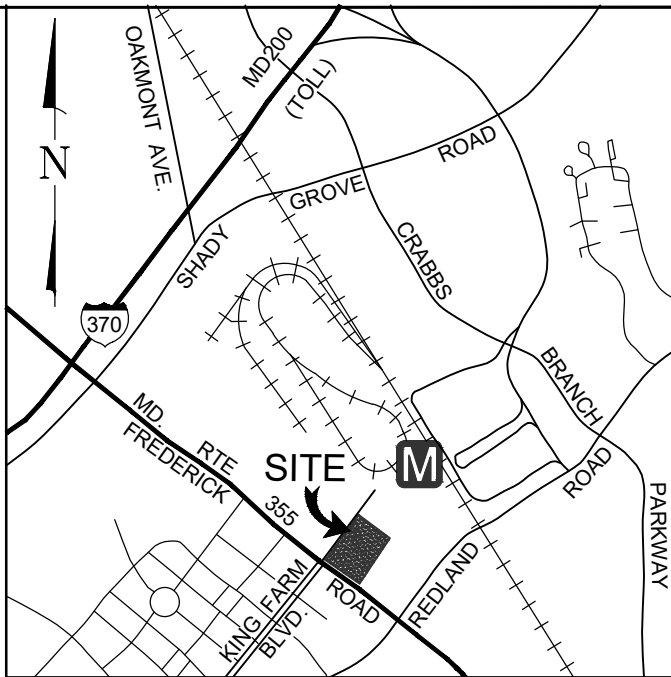
SP-0.01

PROJECT NO. 96.419.21

SHEET NO. 1 OF 1



Planning & Development Services
Received
August 20, 2021



Abbreviation

CLF = Chain Link Fence
CONC = Concrete
CC&G = Concrete Curb & Gutter
ESMT = Easement
INV = Invert
R/C = Reinforced Concrete
RCP = Reinforced Concrete Pipe
SDMH = Storm Drain Manhole
SMW = Stormwater Management
SMH = Sewer Manhole
LIB = Libor
F = Fallow

LEGEND

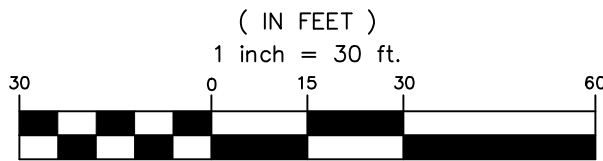
Symbol

⊕ = Benchmark
⊕ = Railroad/Fence Post
⊕ = Concrete
⊕ = Electric Cable (below grade)
⊕ = Entrance
⊕ = Fence, Wire
⊕ = Fence, Wood
⊕ = Fire Department Connection
⊕ = Fire Hydrant
⊕ = Flood Light
⊕ = Gas Valve
⊕ = Gate
⊕ = Guard Rail
⊕ = Hand Box (electric)
⊕ = HVAC Units
⊕ = Light/Signal Pole
⊕ = Manhole (unidentified)
⊕ = Over Head Wire(s)
⊕ = Parking Meter
⊕ = Sewer Manhole
⊕ = Sewer Pipeline
⊕ = Sign
⊕ = Storm Drain Grate
⊕ = Storm Drain Manhole
⊕ = Storm Drain Pipeline
⊕ = Telephone Manhole
⊕ = Traffic Signal Cabinet
⊕ = Traffic Signal Pole
⊕ = Transformer
⊕ = Tree/Ornamental
⊕ = Tree/Shrub or Planting Line
⊕ = Utility Pole
⊕ = Water Manhole
⊕ = Water Meter
⊕ = Water Pipeline
⊕ = Water Valve
⊕ = Well/Monitor Well

NOTES:

- Vertical Datum is based on NAVD 29, from W.S.S.C. plan #70BL8A54160A. The vertical datum on this plan is from field survey methods by MHG on February 21, 2020 and meets National Map Accuracy Standards for a 40 scale topography. By showing the vertical datum at a larger scale does not change the accuracy standards of this datum. Any larger scale detail is for horizontal location clarification only.
- Horizontal Datum is based on the Maryland Coordinate System NAD 83(2011) Datum as projected by NGS. SmartNet North America Virtual Reference Station System (VRS) was used to establish the horizontal control for this site on February 13, 2020. This survey meets the positional tolerance as specified by Title 9, Subtitle 13, Chapter 6, Sections .04 and .12 of the Minimum Standards of Practice for Land Surveyors.
- The Horizontal and Vertical Tolerances for this drawing meet or exceeds the National Map Standards for a 30 scale map.
- The locations of existing underground utilities are shown in their approximate locations as per available records and markings found in the field. The exact locations of all underground utilities should be verified by "MISS UTILITY" prior to excavation. MHG does not express or imply any guarantee or warranty as to the location or existence of any underground utility.
- The property lines shown hereon do not constitute a current boundary survey.
- This map or plot and the survey on which it is based were prepared under the responsible charge of the undersigned and are in compliance with COMAR Regulations 09.13.06.04 and 09.13.06.12.
- Certification defined - The use of the word certify or certification by a Professional Land Surveyor in the practice of land surveying, constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification and does not constitute a warranty or guarantee, either expressed or implied.
- This digital data has been generated for the exclusive use of the staff of MHG. MHG makes no guarantee or warranty either assumed or implied as to the accuracy of this data. Should this electronic data be used for Construction Stakeout, the company or person using this data does so at their own risk. It is strongly recommended that you verify this information, to your own satisfaction, before using any of this data. Quality control of the drawings and data is the responsibility of the user.

GRAPHIC SCALE



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Land Surveyors

9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
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ARLINGTON, VA 22202
703-486-6305
DUSTIN.SCHADE@LIDL.US

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP G512

WSSC 221NW08

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N
DERWOOD

LIDL & THE HENSON
AT SHADY GROVE METRO

PROJ. MGR

PGL

DRAWN BY

WMW

SCALE

1" = 30'

DATE

08.20.2021

EXISTING CONDITIONS
PLAN

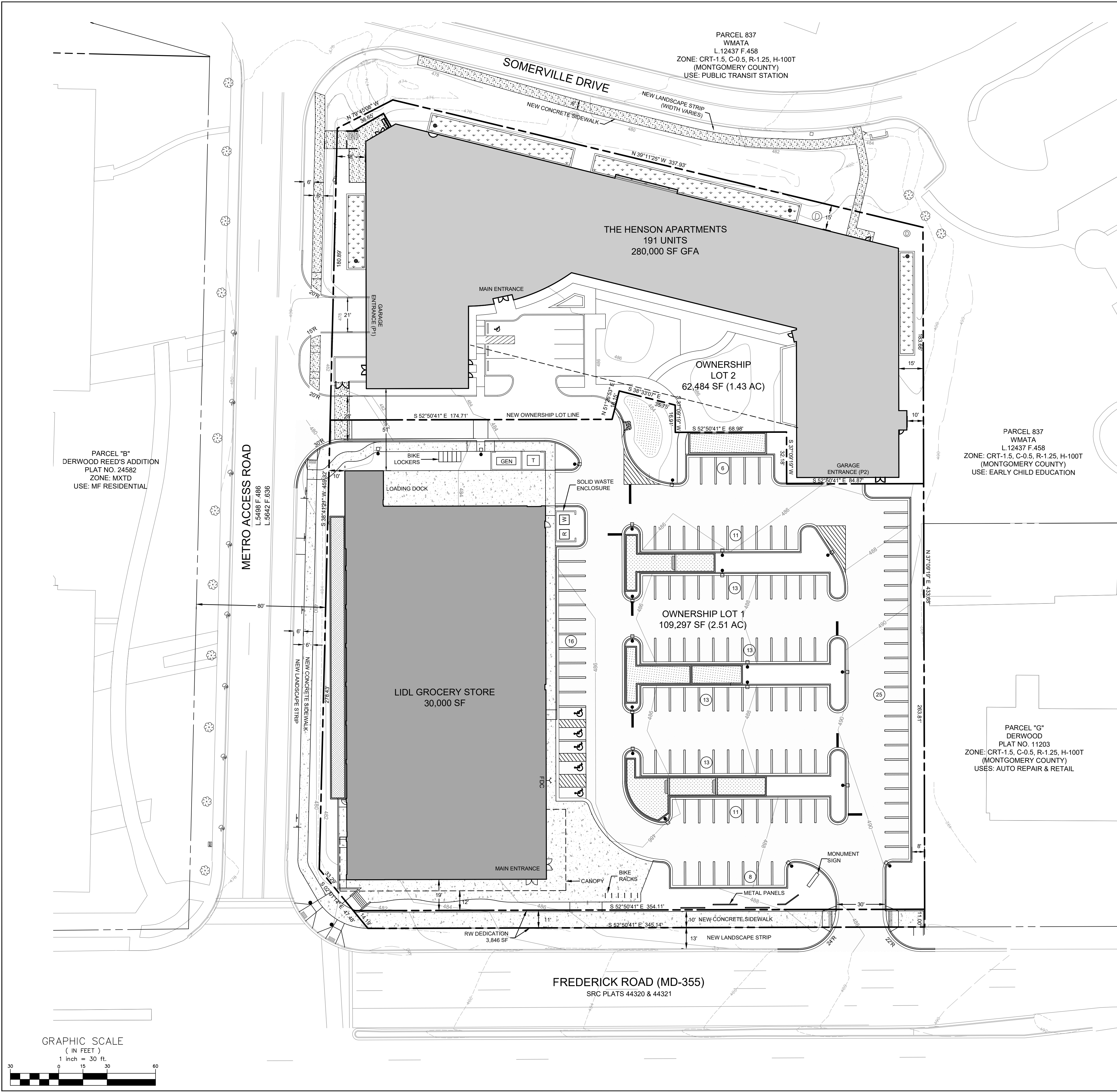
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PROJECT NO.

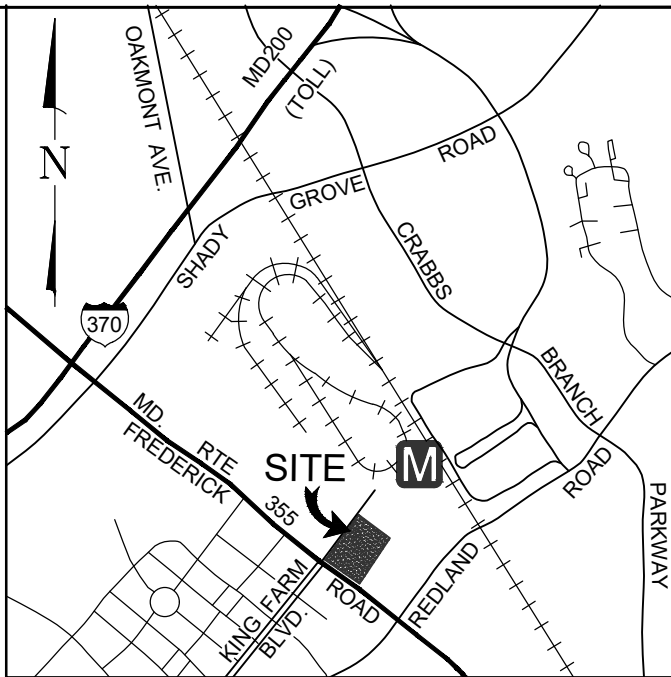
96.419.21

SHEET NO.

1 OF 1



Planning & Development Services
Received
August 20, 2021



MHG

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SUBJECT PROPERTY: DERWOOD - PARCEL N
PLAT #20049

PROPERTY ADDRESS: 15931 FREDERICK ROAD
ROCKVILLE, MD

PROPERTY AREA: 175,027 SF (4.03 AC)

PROPERTY OWNER: 355 PARTNERS, LLC
C/O GOODMAN & MOLLISTER CPA
15245 SHADY GROVE ROAD, #305
ROCKVILLE, MD 20850

CONTRACT PURCHASER: LIDL US OPERATIONS, LLC
3500 S. CLARK STREET
ARLINGTON, VA 22202

TAX ID NUMBER: 09-03146564

ZONING CLASSIFICATION: MXTD - MIXED-USE TRANSIT DISTRICT

EXISTING SITE AREA: 175,027 SF

NEW R/W DEDICATION: 3,846 SF

NEW LOT AREA: 171,781 SF

EXISTING GFA: 9,000 SF (TO BE REMOVED)

EXISTING USE: MOTOR VEHICLE SALES

NEW GFA: 310,000 SF

PROPOSED USES: RETAIL SALES
(30,000 SF)
MULTI-FAMILY RESIDENTIAL
(191 UNITS, 280,000 SF)

PREVIOUS APPROVALS: ANNEXATION (ANX2015-00145)
SITE PLAN (STP2016-00287)

DEVELOPMENT STANDARDS - MXTD ZONE		
	PERMITTED/REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT 25.13.05 (b)	120 FT	85 FT
MINIMUM LOT WIDTH AT FRONT LOT LINE: 25.13.05 (b)	10 FT	354 FT
MINIMUM OPEN AREA 25.13.05 (b)	15% (25,767 SF)	24% (41,400 SF)
MINIMUM PUBLIC USE SPACE 25.13.05 (b)	10% (10,930 SF) ⁵	11% (12,668 SF) ⁵
PUBLIC RIGHT-OF-WAY ABUTTING SETBACK: 25.13.05 (b)	NONE REQUIRED 10 FT. MIN. IF PROVIDED	12 FT
MINIMUM SIDE YARD SETBACK (NON-RESIDENTIAL): 25.13.05 (b)	NONE REQUIRED 10 FT. MIN. IF PROVIDED	10 FT
MINIMUM REAR YARD SETBACK (NON-RESIDENTIAL): 25.13.05 (b)	NONE REQUIRED 10 FT. MIN. IF PROVIDED	15 FT
NUMBER OF AUTO SPACES REQUIRED: 25.16.03	407 SPACES ¹	309 SPACES ²
NUMBER OF BICYCLE SPACES REQUIRED - SHORT TERM: 26.16.03	16 SPACES ¹	18 SPACES ³
NUMBER OF BICYCLE SPACES REQUIRED - LONG TERM: 26.16.03	69 SPACES ¹	71 SPACES ⁴

SITE PLAN NOTES

- SEE VEHICLE AND BICYCLE PARKING BREAKDOWN, THIS SHEET.
- AS PART OF THE PROJECT, A PARKING REDUCTION IN ACCORDANCE WITH 25.16.03.h.1.(a) IS REQUESTED. THE PARKING PROVIDED INCLUDES 129 SPACES ON THE LIDL SITE AND 180 SPACES ON THE HENSON SITE.
- SHORT TERM BICYCLE PARKING INCLUDES 12 SPACES AT THE FRONT OF THE LIDL STORE AND 6 SPACES AT THE FRONT OF THE HENSON BUILDING.
- LONG TERM BICYCLE PARKING INCLUDES 5 LOCKERS ON THE LIDL SITE AND 66 SPACES PROVIDED WITHIN THE HENSON PARKING GARAGE.
- PUBLIC USE SPACE IS NOT REQUIRED ON THE RESIDENTIAL PORTION OF THE SITE, PURSUANT TO THE EXEMPTION FOR AFFORDABLE HOUSING UNDER 27.17.01.E, THEREFORE THE PUBLIC USE SPACE REQUIREMENT AND AMOUNT PROVIDED ARE BASED ON THE 109,297 SF (2.51 AC) LIDL PORTION OF THE SITE ONLY.

VEHICLE PARKING CALCULATIONS (MAXIMUM REQUIRED)

USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT (1BR)	60 UNITS	1.0/UNIT	60.0
RESIDENTIAL DWELLING, MULTIPLE UNIT (2BR)	131 UNITS	1.5/UNIT	196.5
RETAIL SALES (< 30,000 SF)	30,000 SF	1.0/200 SF	150.0
TOTAL (ROUNDED)			407 SPACES

BICYCLE PARKING CALCULATIONS - SHORT TERM (MINIMUM)

USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT	191 UNITS	1.0/50 UNIT	3.8
RETAIL (< 30,000 SF)	30,000 SF	2.00/5,000 SF	12.0
TOTAL (ROUNDED)			16 SPACES

BICYCLE PARKING CALCULATIONS - LONG TERM (MINIMUM)

USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT	191 UNITS	1.0/3 UNIT	63.7
RETAIL (< 30,000 SF)	30,000 SF	2.00/12,000 SF	5.0
TOTAL (ROUNDED)			69 SPACES

GENERAL NOTES

- THE EXISTING CONDITIONS AND PROPERTY BOUNDARY SHOWN ARE TAKEN FROM AN ALTA & TOPOGRAPHIC SURVEYS PREPARED BY MHG, LAST UPDATED IN APRIL OF 2020.
- EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, MARKINGS BY MISS UTILITY ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
- THE PROPERTY IS WITHIN THE ROCK CREEK WATERSHED.
- THE PROPERTY DOES NOT CONTAIN "WATERS OF THE UNITED STATES", WETLANDS, STREAMS, SEEPS, SPRINGS, FLOODPLAINS OR THEIR ASSOCIATED BUFFERS.
- THE PROPERTY IS NOT IDENTIFIED IN THE CITY OF ROCKVILLE'S HISTORIC BUILDINGS INDEX.
- A NATURAL RESOURCES INVENTORY / FOREST STAND DELINEATION (NRI/PSD) FOR THIS PROPERTY WAS APPROVED ON AUGUST 3, 2020 UNDER FTPO#2020-00014.
- ALL NEW UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE WITH DESIGN PROGRESSION.
- THE PROPERTY IS WITHIN THE WSSC WATER AND SEWER SERVICE AREA.
- REFER TO THE ZONING DATA TABLE FOR DEVELOPMENT STANDARDS.

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP G512

WSSC 221N008

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N
DERWOOD

LIDL & THE HENSON
AT SHADY GROVE METRO

PROJ. MGR PGL

DRAWN BY KH

SCALE 1"= 30'

DATE 08.20.2021

PRE-APPLICATION
SITE PLAN

SP-2.01

PROJECT NO. 96.419.21

SHEET NO. 1 OF 1



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Montgomery Village, MD 20886
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ARLINGTON, VA 22202
703-486-6305
DUSTIN.SCHADE@LIDL.US

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP GS12

WSSC 221NW08

PLAT 20049

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL N DERWOOD

LIDL & THE HENSON AT SHADY GROVE METRO

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 30'

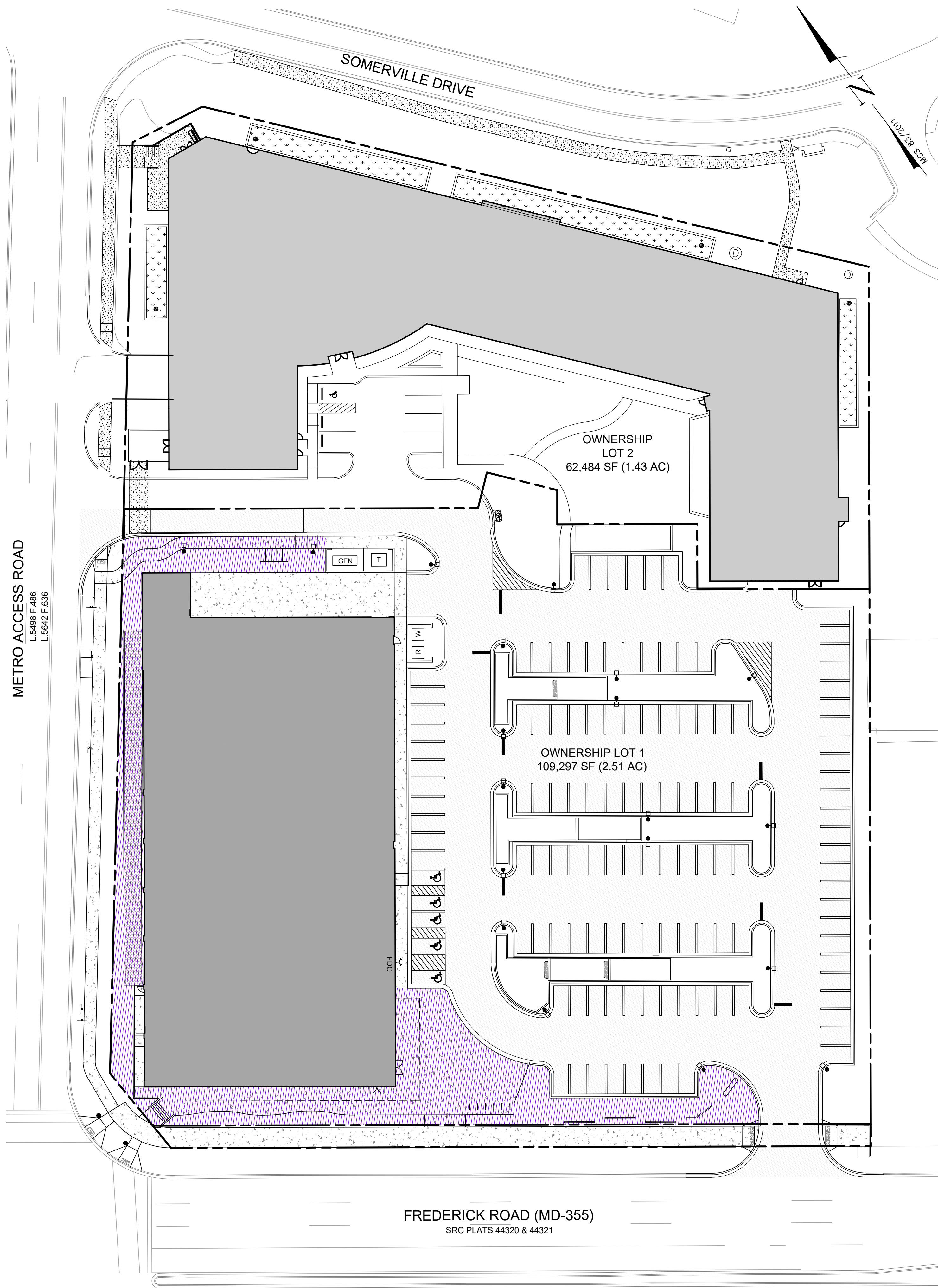
DATE 08.20.2021

OPEN AREA & PUBLIC USE SPACE EXHIBIT

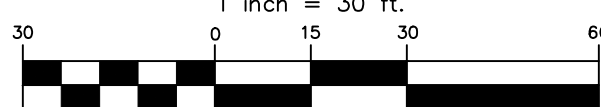
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PROJECT NO. 96.419.21

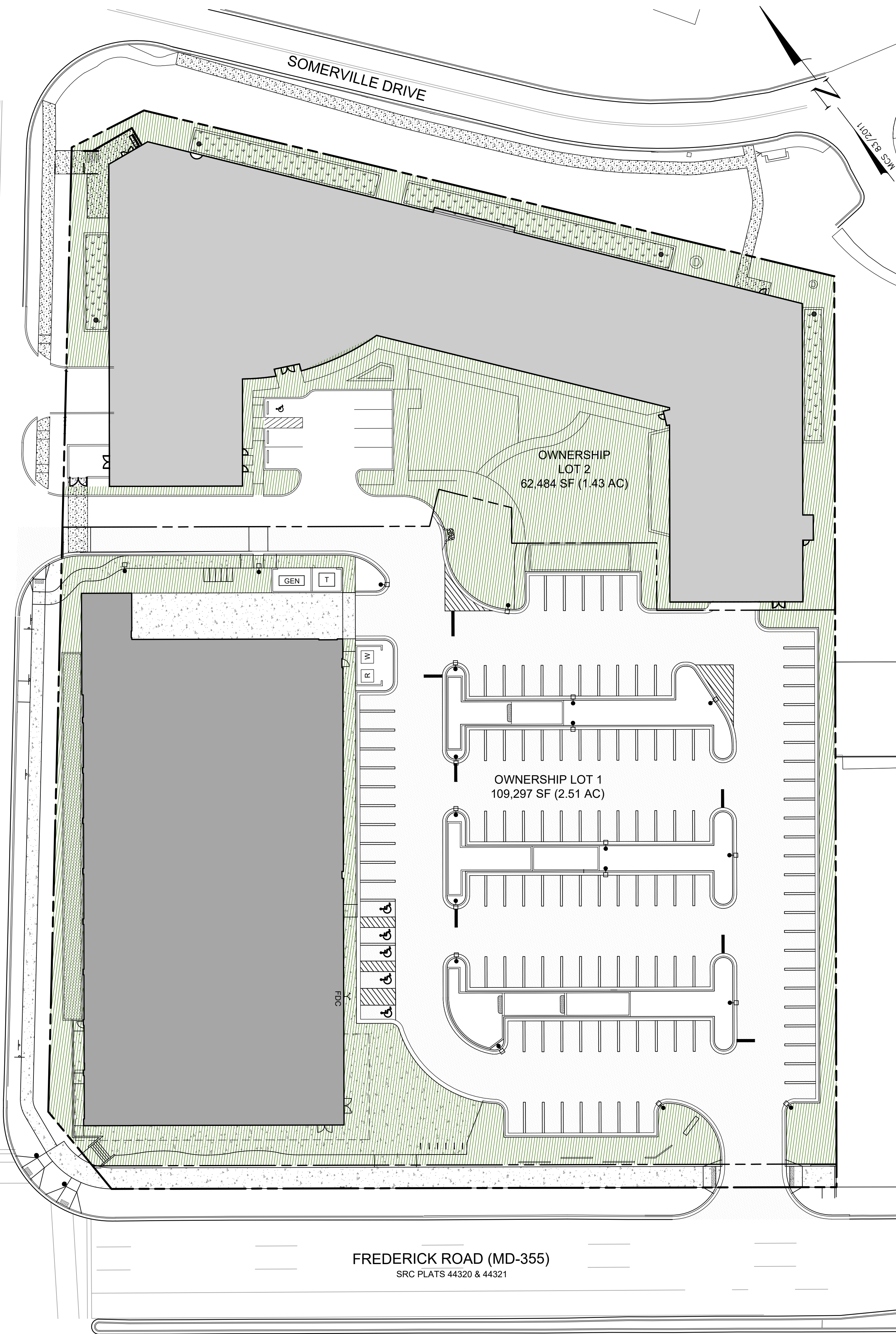
SHEET NO. 1 OF 1



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

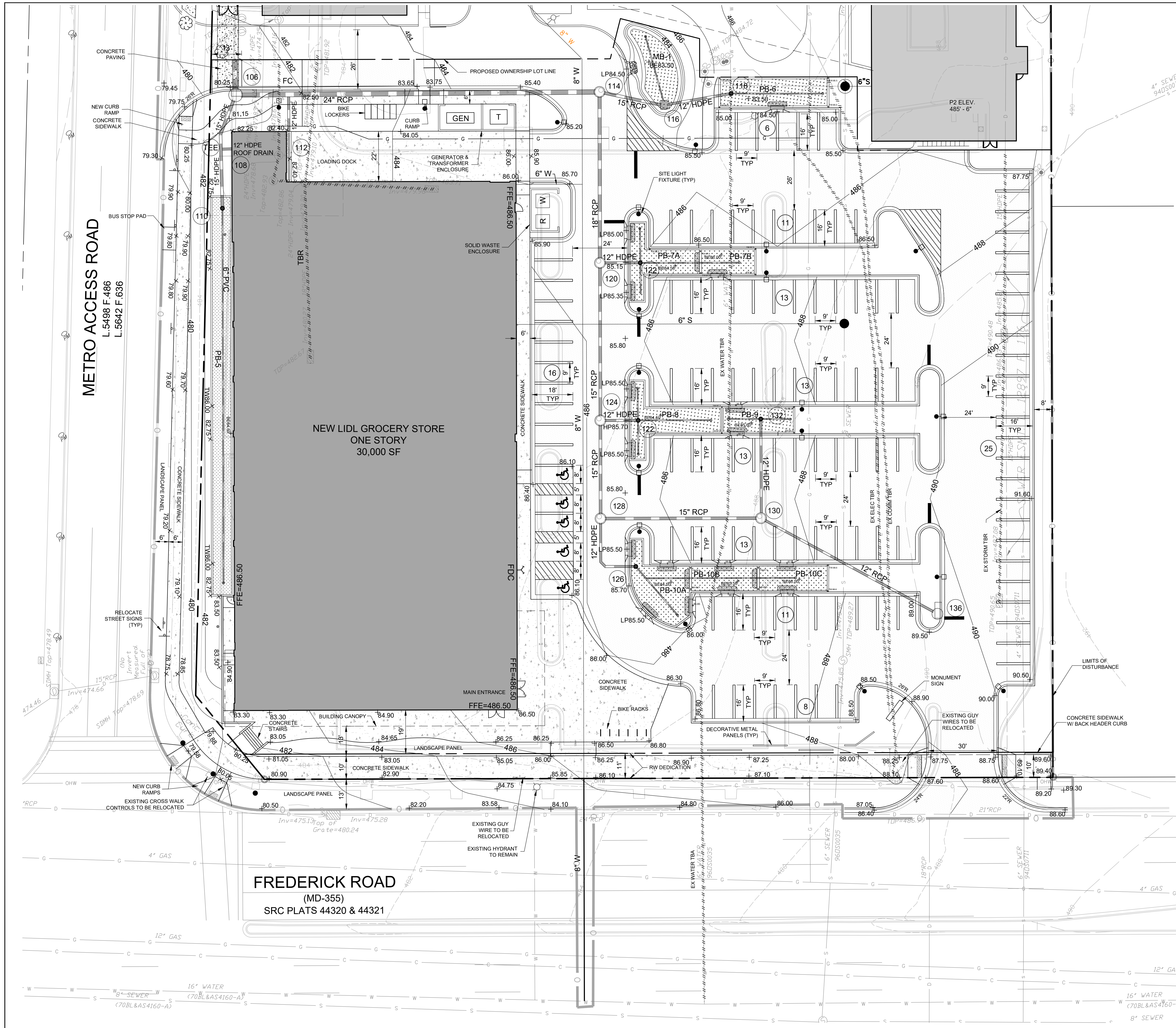


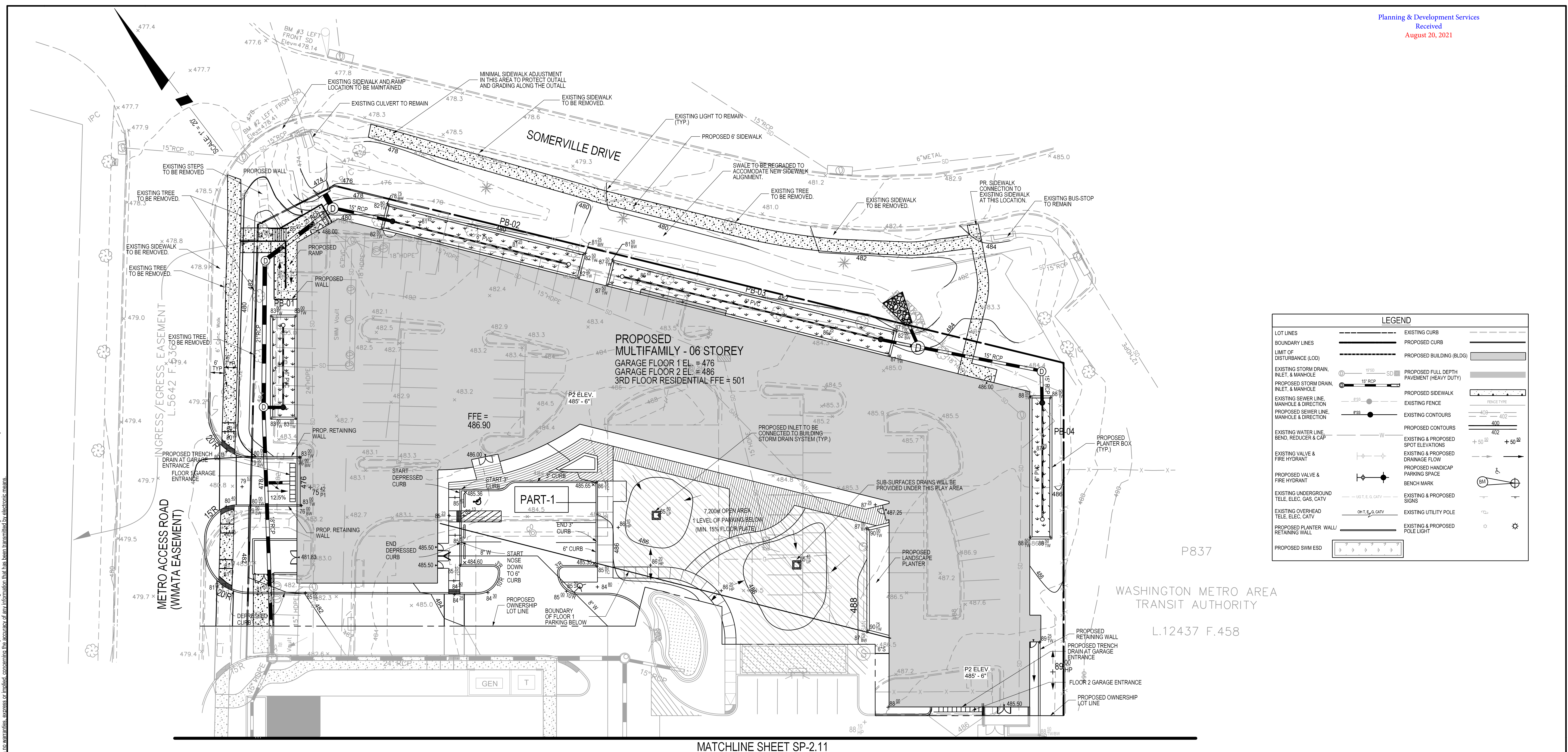
PUBLIC USE SPACE



OPEN AREA







MATCHLINE SHEET SP-2.11

BEFORE BEGINNING CONSTRUCTION
CONTACT
"MISS UTILITY"
AT
WWW.MISSUTILITY.NET
OR
1-800-257-7777
OR 811
AT LEAST 48 HOURS
PRIOR TO EXCAVATION



SOLTESZ, INC.
ROCKVILLE OFFICE
2 Research Place, Suite 100 Rockville, MD 20850 P.301.948.2750 F.301.948.9067
Engineering // Surveying // Planning // Environmental Sciences www.solteszco.com

OWNER/DEVELOPER FOR PART-1
FOUNDATION HOUSING
11810 GRAND PARK AVENUE, SUITE 600
NORTH BETHESDA, MD 20852
PHONE # 301-998-0403
CONTACT PERSON:
JASON GOLDBLATT



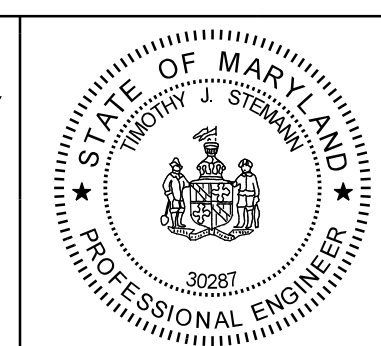
DESIGNED ZR
DRAFTED ZR
CHECKED JS
DEPARTMENT OF PUBLIC WORKS
CITY OF
ROCKVILLE
111 MARYLAND AVE ROCKVILLE, MARYLAND

DESIGN PLAN APPROVAL
DIRECTOR OF PUBLIC WORKS
PW# N/A SCP# N/A
SMP# N/A CIP# N/A
PLAN APPROVAL DATE

AS BUILT PLAN APPROVAL
CHIEF CONSTRUCTION MANAGEMENT
PLAN APPROVAL DATE

SITE PLAN
PART 1 - MULTIFAMILY BUILDING
SITE PLAN VIEW

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE NO. 30287
EXPIRATION DATE: 5-18-2022
TIMOTHY J. STEMANN
NAME



NO.	REVISIONS AFTER PLAN APPROVAL	P.E. INITIAL	DATE

DATE SUBMITTED:
8/19/2021
SCALE
1" = 20'
SHEET
SP 2.21
FILE #

THE HENSON AT SHADY GROVE
15931 FREDERICK ROAD, DERWOOD MD 20855
SUBDIVISION: 0001, PARCEL NUMBER: N244
CITY OF ROCKVILLE, MARYLAND