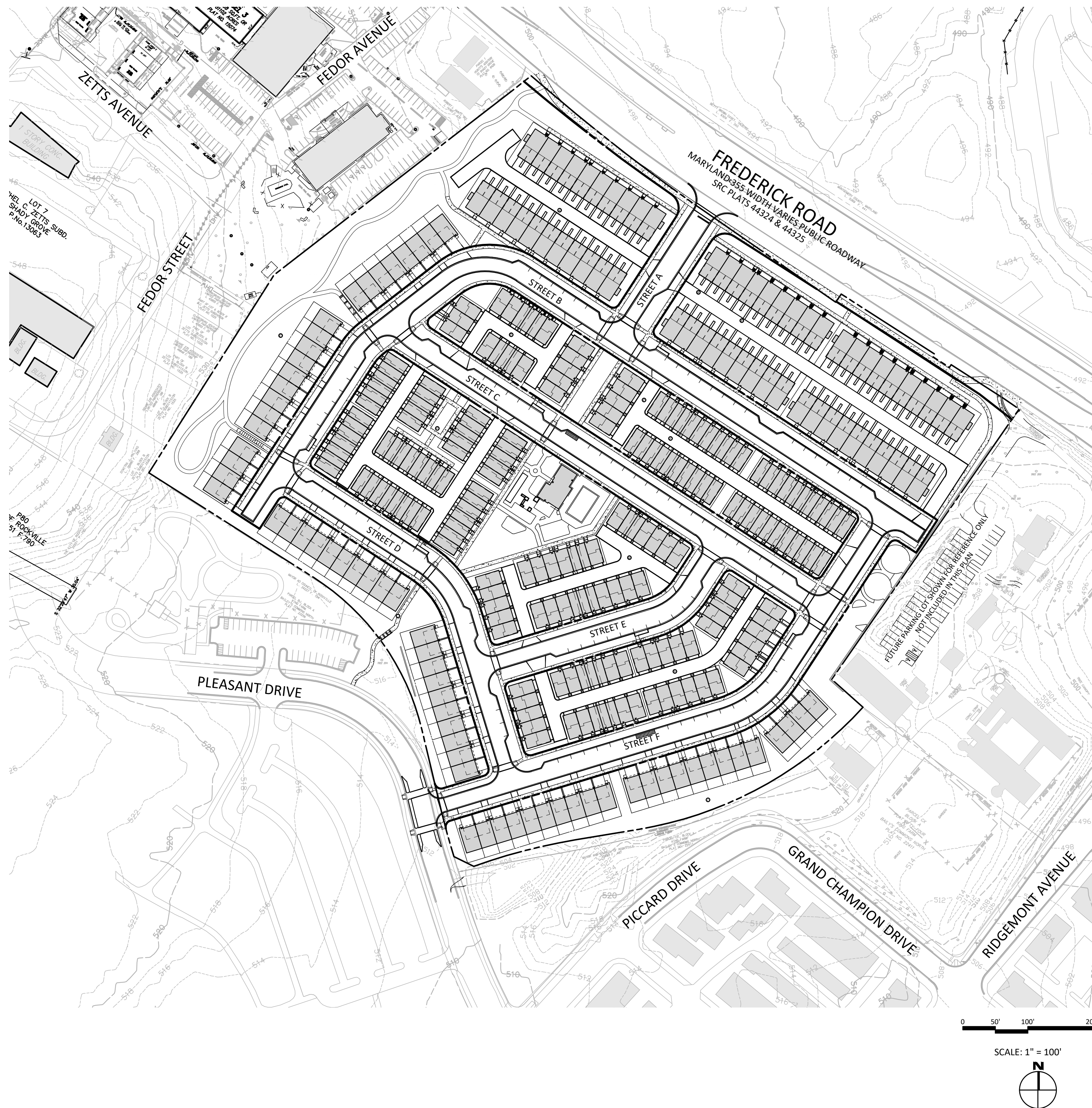
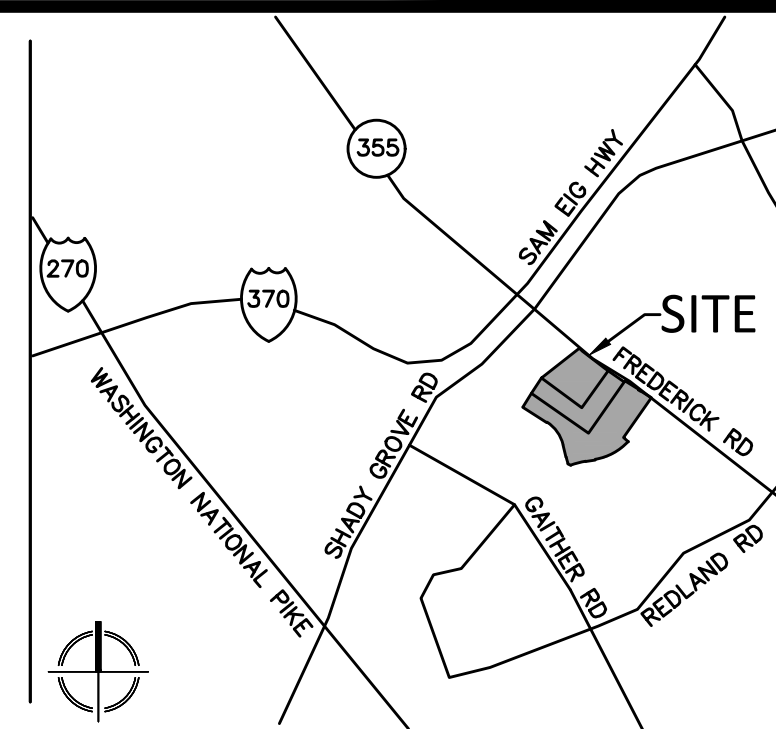


# KING BUICK

## PROJECT SITE PLAN



Planning and Development Services  
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9/15/2021  
PJT2021-00013



## GENERAL NOTES

1. THE PROPERTY IS 20.58 ACRES.
2. THE SUBJECT PROPERTY COMPRISES THE FOLLOWING PROPERTIES:  
PARCEL N979, TAX MAP GS13, TAX ACCT. NO. 09-00772335 (MONTGOMERY COUNTY)  
PARCEL 170, TAX MAP GS12, TAX ACCT NO. 04-03126715 (CITY OF ROCKVILLE)
3. PARCEL N979 IS CURRENTLY ZONED GR-1.5 H-45' AND PARCEL 170 IS ZONED MXCD. UPON APPROVAL OF THE ANNEXATION OF N979 INTO THE LIMITS OF THE CITY OF ROCKVILLE, THE ZONING OF THE COMBINED PROPERTY WILL BE MXCD.
4. THE SITE IS LOCATED ON WSSC MAP 221NW08.
5. BOUNDARY AND TOPOGRAPHIC DATA BY VIKI MARYLAND, SEPTEMBER 2020.
6. THERE IS NO 100 YEAR FLOODPLAIN LOCATED ON THE SITE.
7. THERE IS NO STREAM VALLEY BUFFER LOCATED ON THE SITE.
8. THERE ARE NO WETLANDS LOCATED ON THE SITE.

## SHEET INDEX

PP-1.0	COVER SHEET
PP-1.1	PROJECT SITE PLAN - EXISTING CONDITIONS
PP-2.0	PROJECT SITE PLAN - COMPOSITE
PP-2.1	PROJECT SITE PLAN - 30 SCALE
PP-2.2a	PROJECT SITE PLAN - 30 SCALE
PP-2.2b	PROJECT SITE PLAN - 30 SCALE
PP-2.3	PROJECT SITE PLAN - 30 SCALE
PP-2.4	PROJECT SITE PLAN - 30 SCALE
PP-3.0	ROAD SECTIONS
L-4.0	CONCEPT LANDSCAPE PLAN - COMPOSITE
L-4.1	CONCEPT LANDSCAPE PLAN - 30 SCALE
L-4.2	CONCEPT LANDSCAPE PLAN - 30 SCALE
L-4.3	CONCEPT LANDSCAPE PLAN - 30 SCALE
L-4.4	CONCEPT LANDSCAPE PLAN - 30 SCALE
L-4.5	OPEN AREA AND PUBLIC USE SPACE PLAN
L-4.6	STREET TREE LOT FRONTAGE ANALYSIS
L-4.7	OPEN SPACE CIRCULATION CONCEPT
A100	STREETScape RENDERING
A101	14', 16', AND 20' TOWNHOME ELEVATIONS
A102	24' AND STACKED TOWNHOME ELEVATIONS
A110	14', 16', AND 20' FLOOR PLANS
A111	24' AND STACKED TOWNHOME FLOOR PLANS
A200	CLUBHOUSE FLOOR PLAN
A201	CLUBHOUSE ELEVATION
FDA-1.0	FIRE ACCESS PLAN - COMPOSITE
FDA-1.1	FIRE ACCESS PLAN - 30 SCALE
FDA-1.2	FIRE ACCESS PLAN - 30 SCALE
FDA-1.3	FIRE ACCESS PLAN - 30 SCALE
FDA-1.4	FIRE ACCESS PLAN - 30 SCALE

## SUPPLEMENTAL EXHIBITS

EXH-1.0	MD-355/FUTURE BRT ALIGNMENT EXHIBIT
EXH-2.0	PARKING EXHIBIT
EXH-3.0	MPDU EXHIBIT
EXH-4.0	CLUBHOUSE CONCEPT PLAN - 30 SCALE
EXH-5.0	ILLUSTRATIVE SECTIONS - A, C-1 & C-2
EXH-5.1	ILLUSTRATIVE SECTIONS - B (OPTION 1, 2 & 3)
EXH-5.2	ILLUSTRATIVE SECTIONS - D, E & F
EXH-5.3	ILLUSTRATIVE SECTIONS - 55' & 75' BUILDING HEIGHTS
EXH-5.4	DOG PARK BUFFER EXHIBIT
EXH-6.1	SUV TURNING MOVEMENTS
EXH-6.2	SU-30 TURNING MOVEMENTS
EXH-6.3	GARBAGE TURNING MOVEMENTS
EXH-6.4	FIRE TRUCK TURNING MOVEMENTS

## SUPPLEMENTAL PLANS

SIGHT-1 PLEASANT DRIVE SIGHT DISTANCE	
SIGHT-2 ON-SITE SIGHT DISTANCE	
GE P 1 OF 7	GRADE ESTABLISHMENT PLAN STREET A
GE P 2 OF 7	GRADE ESTABLISHMENT PLAN STREET B
GE P 3 OF 7	GRADE ESTABLISHMENT PLAN STREET B
GE P 4 OF 7	GRADE ESTABLISHMENT PLAN STREET C
GE P 5 OF 7	GRADE ESTABLISHMENT PLAN STREET D
GE P 6 OF 7	GRADE ESTABLISHMENT PLAN STREET E
GE P 7 OF 7	GRADE ESTABLISHMENT PLAN STREET F
SWCO-1	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN COVER
SWCO-2	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN
SWCO-3	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN - 30 SCALE
SWCO-4	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN - 30 SCALE
SWCO-5	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN - 30 SCALE
SWCO-6	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN - 30 SCALE



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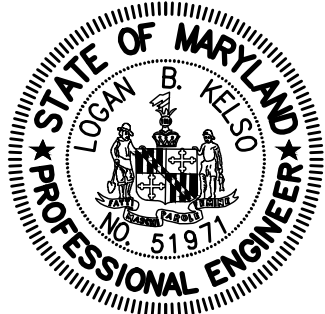
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KING BUICK

4TH ELECTION DISTRICT  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 222NW08  
WSSC GRID: 221NW08  
TAX MAP: GS12

COVER  
SHEET

PIT2021-00013



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A DULY LICENSED PROFESSIONAL ENGINEER  
UNDER THE LAWS OF THE STATE OF MARYLAND.  
ENGINEER'S NAME: LOGAN B. KELSO, P.E.  
LICENSE No.: 51971  
EXPIRATION DATE: DECEMBER 10, 2021

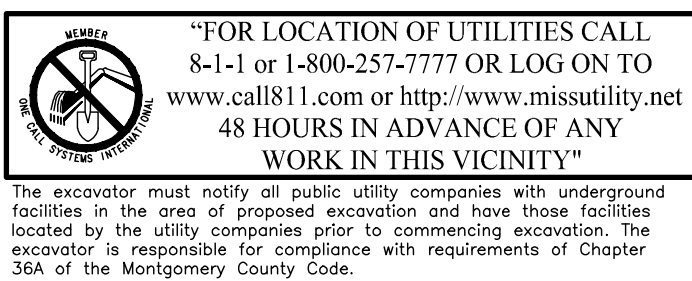
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DESIGNED BY: JB/L  
DATE ISSUED: 9/14/2011

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PROJECT VM50420

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NO. PP-1.0

SHEET NO.







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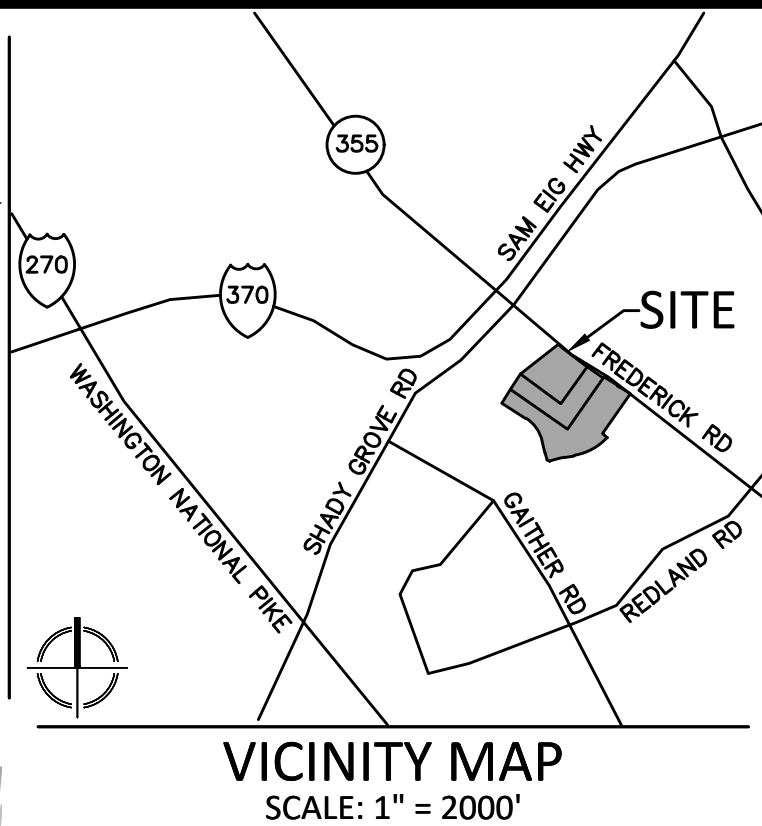
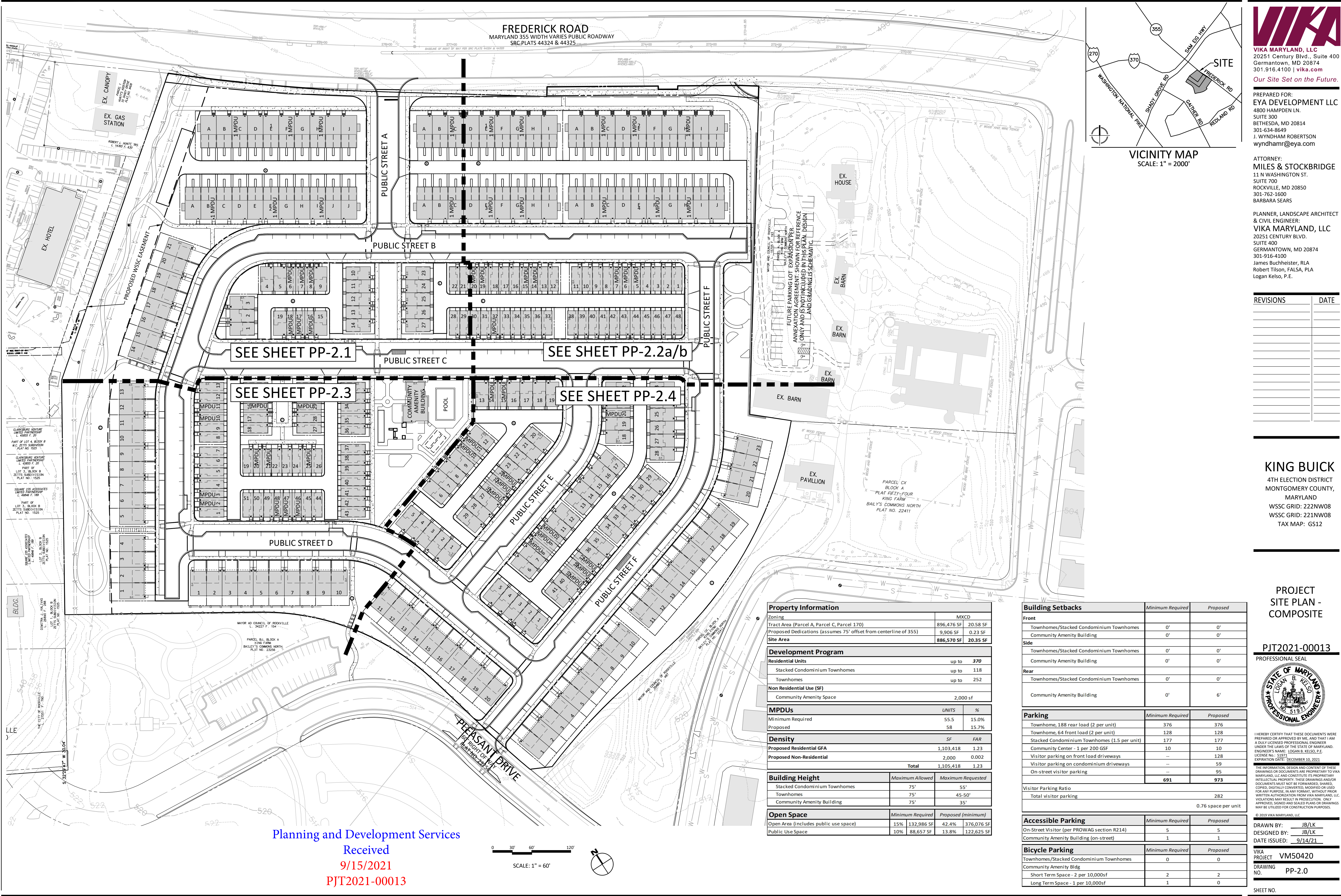
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MARYLAND  
WSSC GRID: 222NW08  
WSSC GRID: 221NW08  
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SHEET NO. PP-1.1

0 30' 60' 120'

SCALE: 1" = 60'





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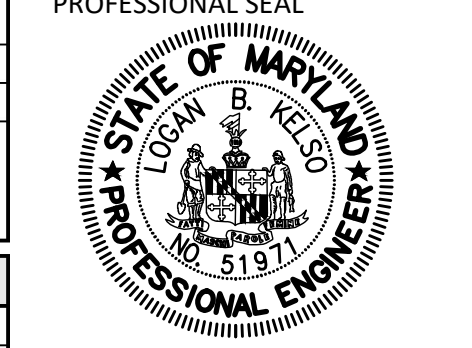
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REVISIONS	DATE

**KING BUICK**  
4TH ELECTION DISTRICT  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 222NW08  
WSSC GRID: 222NW08  
TAX MAP: GS12

PROJECT  
SITE PLAN -  
COMPOSITE

PJT2021-00013  
PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: LOGAN B. KELSO, P.E. LICENSE NO.: 51971 EXPIRATION DATE: DECEMBER 10, 2021

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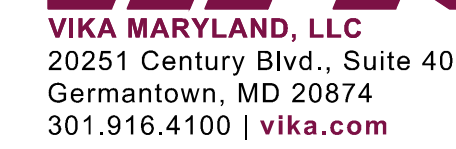
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DESIGNED BY: JB/LK  
DATE ISSUED: 9/14/21  
Vika PROJECT VM50420  
DRAWING NO. PP-2.0

SHEET NO.

Property Information		
Zoning	MXCD	
Tract Area (Parcel A, Parcel C, Parcel 170)	896,476 SF	20.58 SF
Proposed Dedication (assumes 75' offset from centerline of 355)	9,906 SF	0.23 SF
Site Area	886,570 SF	20.35 SF
Development Program		
Residential Units	up to	370
Stacked Condominium Townhomes	up to	118
Townhomes	up to	252
Non Residential Use (SF)		
Community Amenity Space	2,000 sf	
MPDUs	UNITS	%
Minimum Required	55.5	15.0%
Proposed	58	15.7%
Density	SF	FAR
Proposed Residential GFA	1,103,418	1.23
Proposed Non-Residential	2,000	0.002
Total	1,105,418	1.23
Building Height		
Stacked Condominium Townhomes	75'	55'
Townhomes	75'	45-50'
Community Amenity Building	75'	35'
Open Space		
Open Area (includes public use space)	Minimum Required	Proposed (minimum)
	15% 132,986 SF	42.4% 376,076 SF
Public Use Space	10% 88,657 SF	13.8% 122,625 SF

Building Setbacks		
	Minimum Required	Proposed
Front		
Townhomes/Stacked Condominium Townhomes	0'	0'
Community Amenity Building	0'	0'
Side		
Townhomes/Stacked Condominium Townhomes	0'	0'
Community Amenity Building	0'	0'
Rear		
Townhomes/Stacked Condominium Townhomes	0'	0'
Community Amenity Building	0'	6'
Parking	Minimum Required	Proposed
Townhome, 188 rear load (2 per unit)	376	376
Townhome, 64 front load (2 per unit)	128	128
Stacked Condominium Townhomes (1.5 per unit)	177	177
Community Center - 1 per 200 GSF	10	10
Visitor parking on front load driveways	--	128
Visitor parking on condominium driveways	--	59
On-street visitor parking	--	95
	691	973
Visitor Parking Ratio	282	
Total visitor parking	0.76 space per unit	
Accessible Parking	Minimum Required	Proposed
On-Street Visitor (per PROWAG section R214)	5	5
Community Amenity Building (on-street)	1	1
Bicycle Parking	Minimum Required	Proposed
Townhomes/Stacked Condominium Townhomes	0	0
Community Amenity Bldg		
Short Term Space - 2 per 10,000sf	2	2
Long Term Space - 1 per 10,000sf	1	0





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4TH ELECTION DISTRICT  
MONTGOMERY COUNTY,  
MARYLAND

WSSC GRID: 222NW08  
WSSC GRID: 221NW08  
TAX MAP: GS12

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DESIGNED BY: JB/LK

DATE ISSUED: 9/14/21

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PROJECT **VM50420**

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NO. **PP-2.1**

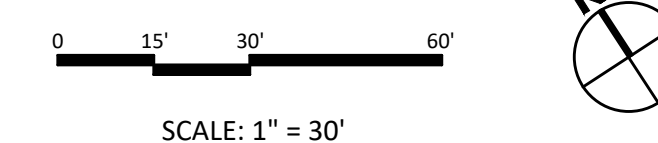
SHEET NO.



The diagrams illustrate the layout of three different townhome unit types, showing their dimensions and structural features.

- TOWNHOME REAR LOAD GARAGE:** This diagram shows three adjacent units. Each unit has a rear load garage with a width of 15'-6" and a living area of 20'x38'. The units are separated by 8'-6" wide alleys. A note indicates that cantilevered decks are not shown on the plan for clarity.
- STACKED CONDOMINIUM TOWNHOME REAR LOAD GARAGE:** This diagram shows two stacked units. Each unit has a rear load garage with a width of 9'-0" and a living area of 24'x50'. The units are separated by 8'-6" wide alleys. A note indicates that cantilevered decks are not shown on the plan for clarity.
- TOWNHOME FRONT LOAD GARAGE:** This diagram shows a single unit with a front load garage. The unit has a width of 18'-0" and a living area of 24'x50'. A note indicates that the deck (typical) is not shown on the plan for clarity.

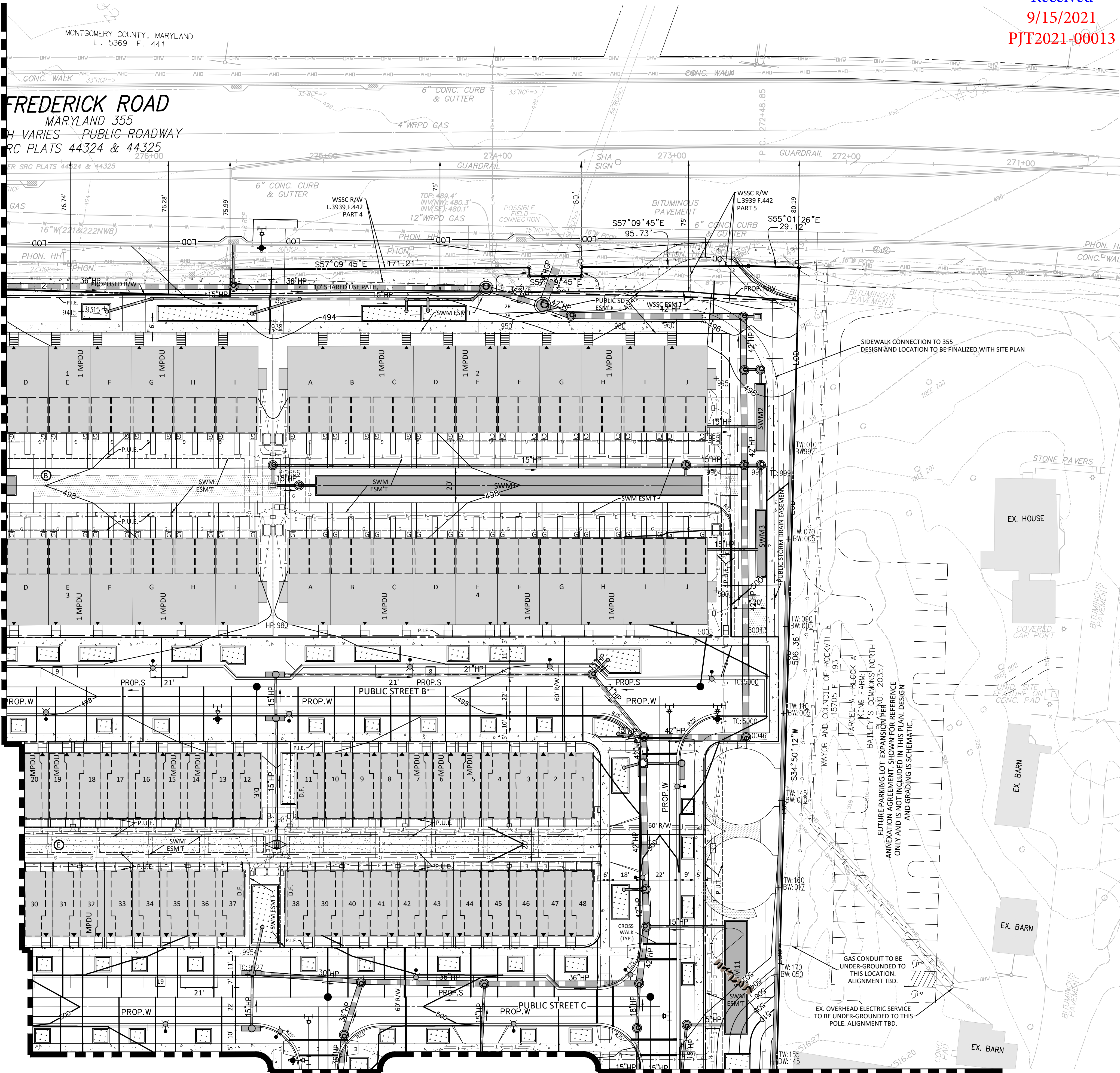
— CTV — CTV — CTV —	PROPERTY LINES
— E — E — E — E —	EXISTING CABLE TELEVISION CONDUIT
— X — X — X — X —	EXISTING ELECTRICAL CONDUIT
— G — G — G — G —	EXISTING EDGE OF PAVEMENT
— OHW — OHW — OHW —	EXISTING FENCE LINE
— T — T — T — T —	EXISTING NATURAL GAS CONDUIT
— S — S — S —	EXISTING TELEPHONE CONDUIT
— SD — SD — SD —	EXISTING PUBLIC UTILITIES EASEMENTS
— W — W — W —	EXISTING SANITARY SEWER CONDUIT
	EXISTING STORM DRAIN CONDUIT
	EXISTING WATER CONDUIT
— 520 —	PROPOSED 10' CONTOUR
— 524 —	PROPOSED 2' CONTOUR
— 8"W —	PROPOSED WATER LINE
— 8"S —	PROPOSED SANITARY SEWER WITH STRUCTURE
— LOD —	PROPOSED STORM DRAIN
— — — — —	PROPOSED LIMITS OF DISTURBANCE
— — — — —	PROPOSED STORM WATER EASEMENT
— — — — —	PROPOSED WATER & SEWER EASEMENT
0.0	EXISTING SANITARY CLEANOUT
★	EXISTING STORM DRAIN MANHOLE
⊕	EXISTING ELECTRICAL JUNCTION BOX
⊕	EXISTING ELECTRICAL MANHOLE
⊕	EXISTING FIRE DEPARTMENT CONNECTION
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING GAS MANHOLE
⊕	EXISTING GUY POLE
⊕	EXISTING GAS VALVE
⊕	EXISTING LIGHT POLE
⊕	EXISTING PHONE PEDESTAL
⊕	EXISTING PHONE MANHOLE
⊕	EXISTING UTILITY POLE
⊕	EXISTING SANITARY MANHOLE
⊕	EXISTING TRAFFIC CONTROL BOX
⊕	EXISTING TRAFFIC SIGNAL POLE
⊕	EXISTING TREE
⊕	EXISTING CABLE TELEVISION PEDESTAL
⊕	EXISTING UNKNOWN UTILITY MANHOLE
⊕	EXISTING WATER METER
⊕	EXISTING WATER MANHOLE
⊕	EXISTING WATER VALVE
⊕	EXISTING BOLLARD
⊕	EXISTING SIGN POST
⊕	EXISTING WOOD POST
⊕	EXISTING INLETS
⊕	EXISTING CURB INLET
CONC.	EXISTING CONCRETE
CORC.	EXISTING CURB AND GUTTER
BULD.	EXISTING BUILDING
STY.	EXISTING STORY
TRV.	EXISTING ELECTRICAL TRANSFORMER
ASPH.	EXISTING ASPHALT
ESMT.	EXISTING EASEMENT
RCP.	EXISTING REINFORCED CONCRETE PIPE
CMP.	EXISTING CORRUGATED METAL PIPE
BR.	EXISTING BUILDING RESTRICTION LINE
R/W.	EXISTING RIGHT-OF-WAY
⊕	PROPOSED LIGHTS
⊕	PEDESTRIAN LIGHTS
3	PROPOSED PARKING LABELS
⊕	PROPOSED HARDScape
⊕	PROPOSED FIRE HYDRANT
▼	DOOR LOCATION
⊕	PROPOSED SWM VAULT
⊕	PROPOSED MBF
⊕	PROPOSED SWM ACCESS ESM'T
⊕	PROPOSED PERMEABLE PAVEMENT



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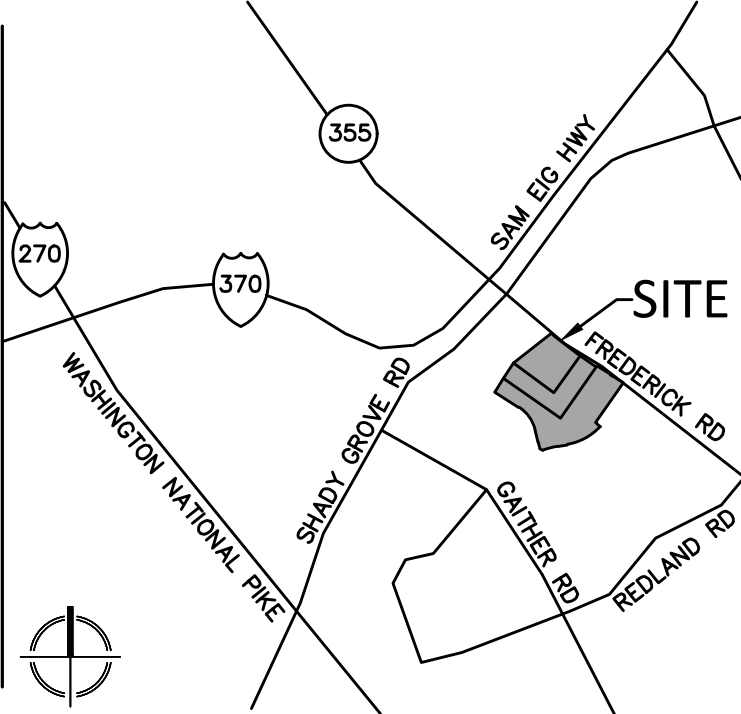


MATCH LINE SHEET PP-2.1

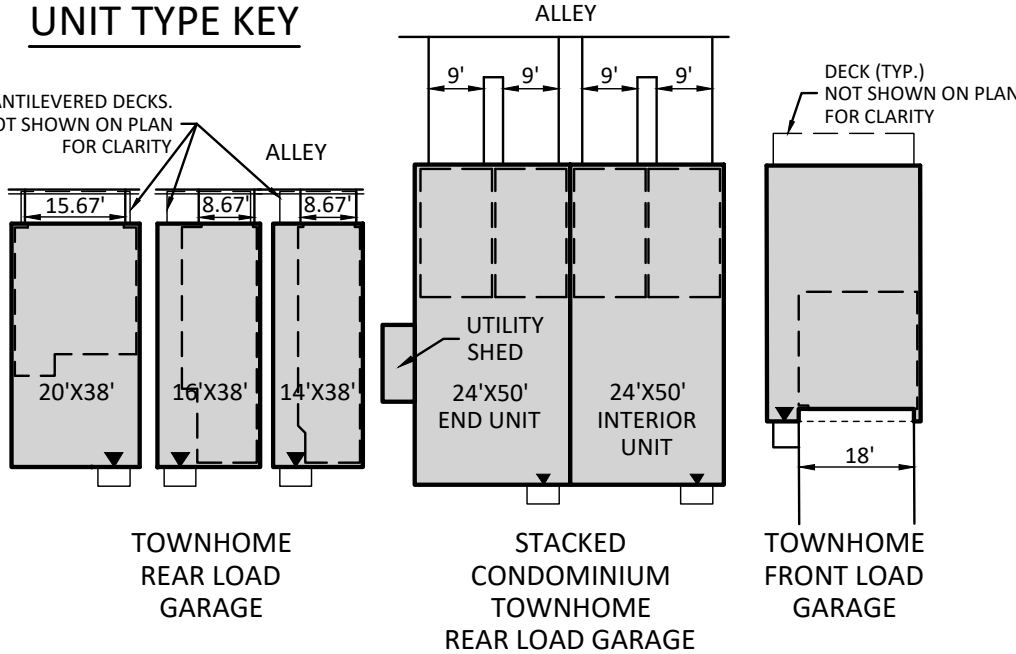
MATCH LINE SHEET PP-2.4

0 15' 30' 60'  
SCALE: 1" = 30'

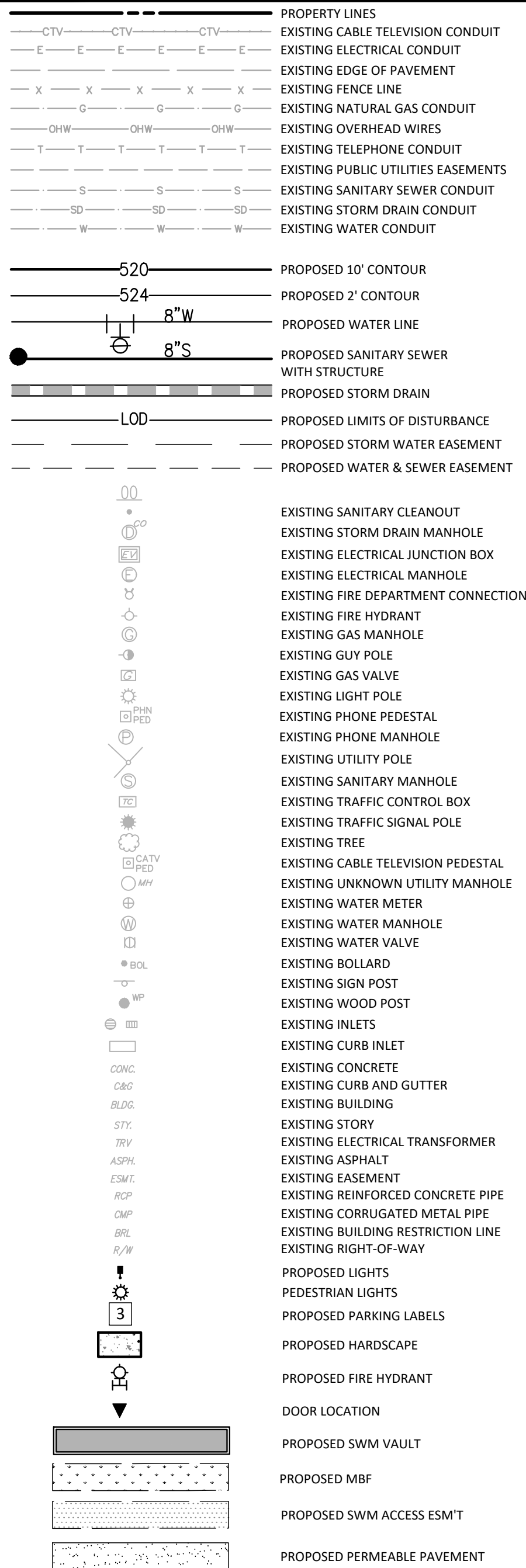
THIS PLAN SHOWS THE RESIDENTIAL DEVELOPMENT WITHOUT IMPLEMENTATION OF PARKING LOT AND ACCESSIBLE CONNECTION.  
SEE PP-2.2b FOR PLAN SHOWING THE RESIDENTIAL DEVELOPMENT WITH IMPLEMENTATION OF PARKING LOT AND ACCESSIBLE CONNECTION.



VICINITY MAP  
SCALE: 1" = 2000'



PLAN LEGEND



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REVISIONS	DATE

**KING BUICK**  
4TH ELECTION DISTRICT  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 222NW08  
WSSC GRID: 221NW08  
TAX MAP: GS12

PROJECT  
SITE PLAN -  
30 SCALE

PJT2021-00013  
PROFESSIONAL SEAL



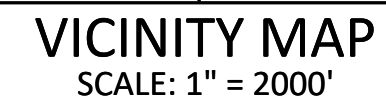
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DESIGNED BY: JB/LK  
DATE ISSUED: 9/14/21  
Vika PROJECT VM50420  
DRAWING NO. PP-2.2a

SHEET NO.





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WSSC GRID: 222NW08  
WSSC GRID: 221NW08  
TAX MAP: GS12

PROJECT  
SITE PLAN -  
30 SCALE

PJT2021-00013

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PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM  
A DULY LICENSED PROFESSIONAL ENGINEER  
UNDER THE LAWS OF THE STATE OF MARYLAND.  
ENGINEER'S NAME: LOGAN B. KELSO, P.E.  
LICENSE No.: 51971  
EXPIRATION DATE: DECEMBER 10, 2021

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DRAWN BY: JB/LK

DESIGNED BY: JB/LK

DATE ISSUED: 9/14/21

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VIKA  
PROJECT **VM50420**

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DRAWING  
NO. **PP-2.2b**

SHEET NO.

**MATCH LINE SHEET PP-2.1**

**FREDERICK ROAD**  
MARYLAND 355  
H VARIES PUBLIC ROADWAY  
RC PLATS 44324 & 44325

## MATCH LINE SHEET PP-2.4

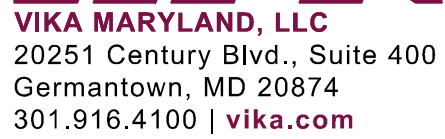
THIS PLAN SHOWS THE RESIDENTIAL DEVELOPMENT WITH IMPLEMENTATION OF PARKING LOT AND ACCESSIBLE CONNECTION.  
SEE PP-2.2a FOR PLAN SHOWING THE RESIDENTIAL DEVELOPMENT WITHOUT IMPLEMENTATION OF PARKING LOT AND ACCESSIBLE CONNECTION.

SCALE: 1" = 30'

LAYOUT: PP-2.2b, Plotted By: buchheister

Z:\50000-50500\50420\CADD\PRELIMINARY\PLOT SHEETS\50420100\_P\_PREM.dwg ~ Tuesday, September 14, 2021 4:20:59 PM





ATTORNEY:  
**MILES & STOCKBRIDGE**  
11 N WASHINGTON ST.  
SUITE 700  
ROCKVILLE, MD 20850  
301-762-1600  
BARBARA SEARS

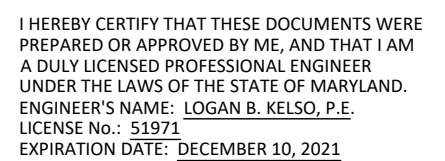
PLANNER, LANDSCAPE ARCHITECT  
& CIVIL ENGINEER:  
**VIA MARYLAND, LLC**  
20251 CENTURY BLVD.  
SUITE 400  
GERMANTOWN, MD 20874  
301-916-4100  
James Buchheister, RLA  
Robert Tilson, FALSA, PLA  
Logan Kelo, P.E.

**KING BUICK**  
4TH ELECTION DISTRICT  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 222NW08  
WSSC GRID: 221NW08  
TAX MAP: GS12

PJT2021-00013

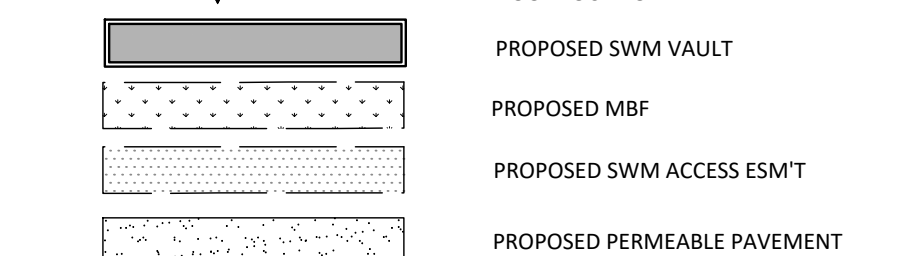
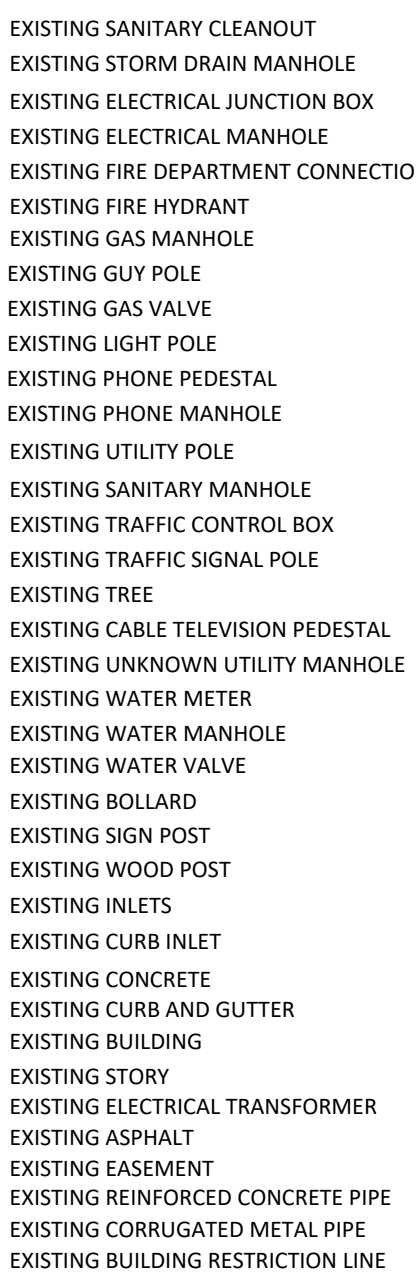
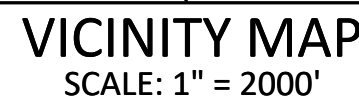
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SHEET NO.



0 15' 30' 60'

SCALE: 1" = 30'

