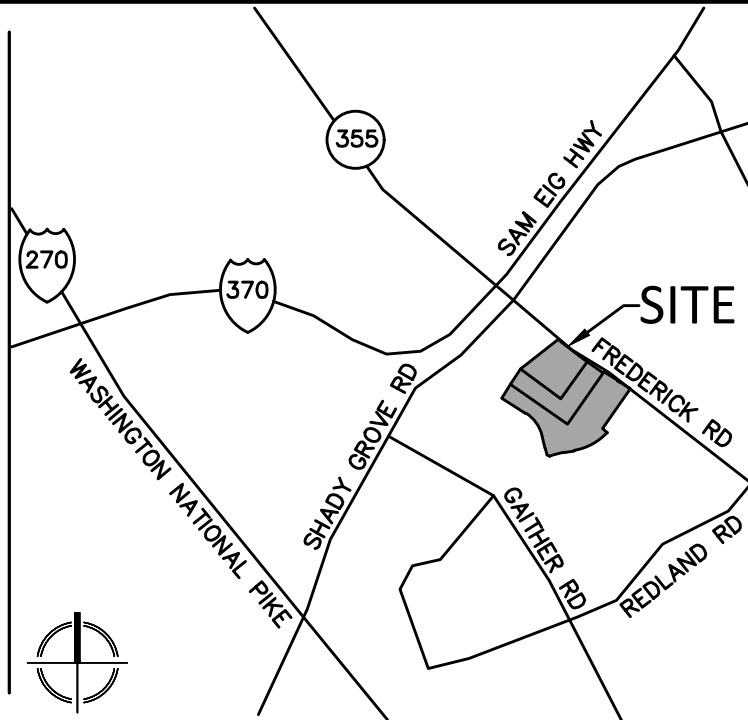


KING BUICK

PROJECT SITE PLAN

Planning & Development Services
Received
May 3, 2021



VICINITY MAP
SCALE: 1" = 2000'

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20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
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PLANNER, LANDSCAPE ARCHITECT
& CIVIL ENGINEER:
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301-916-4100
James Buchheister, RLA
Robert Tilson, FALSA, PLA
Logan Kelso, P.E.

REVISIONS	DATE

KING BUICK
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 222NW08
WSSC GRID: 221NW08
TAX MAP: GS12

**COVER
SHEET**

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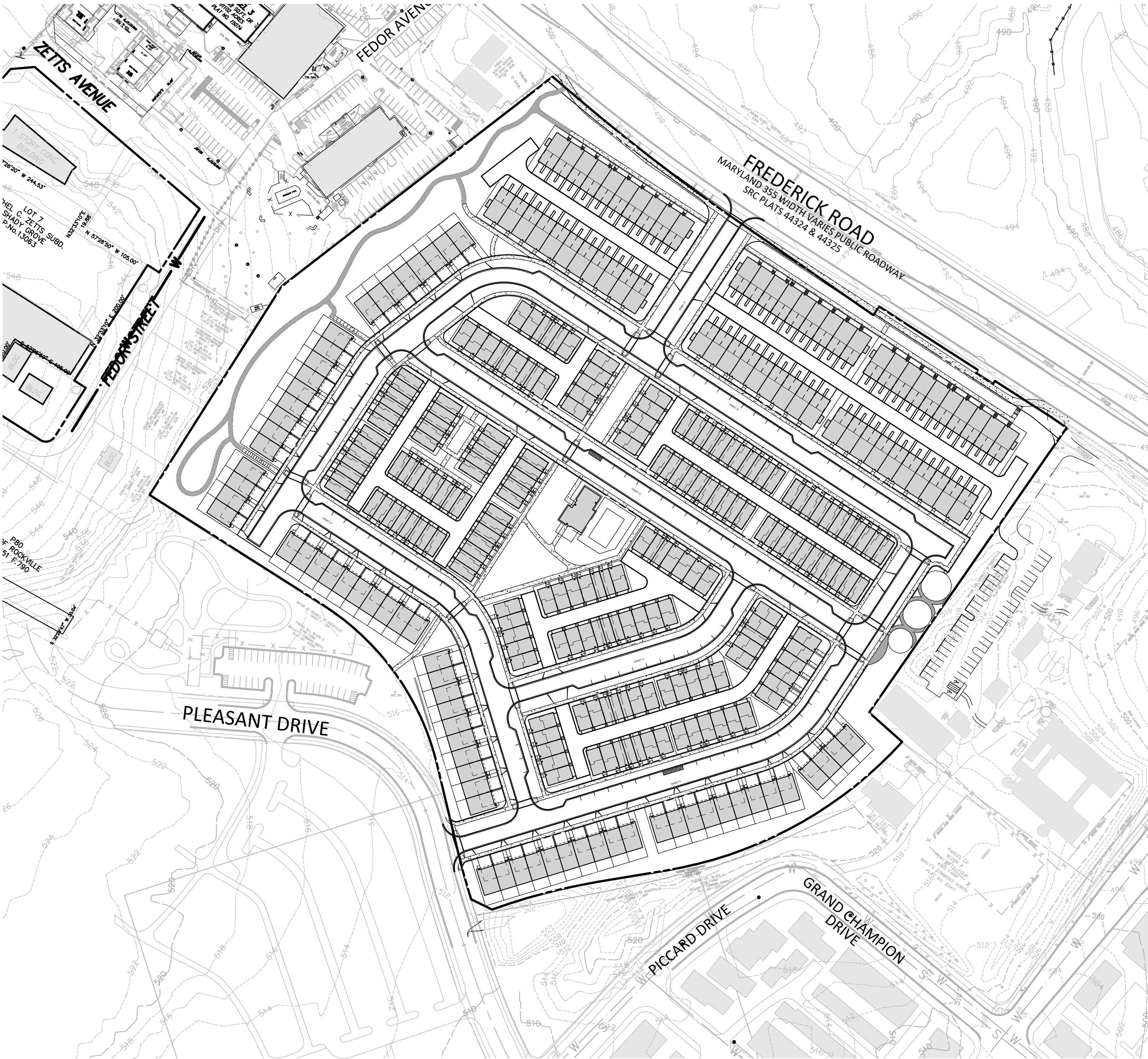
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: LOGAN B. KELSO, P.E. LICENSE NO.: 515071 EXPIRATION DATE: DECEMBER 10, 2021

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DRAWING NO. PP-1.0

SHEET NO.



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PP-1.0	COVER SHEET
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PP-2.0	PROJECT SITE PLAN - COMPOSITE
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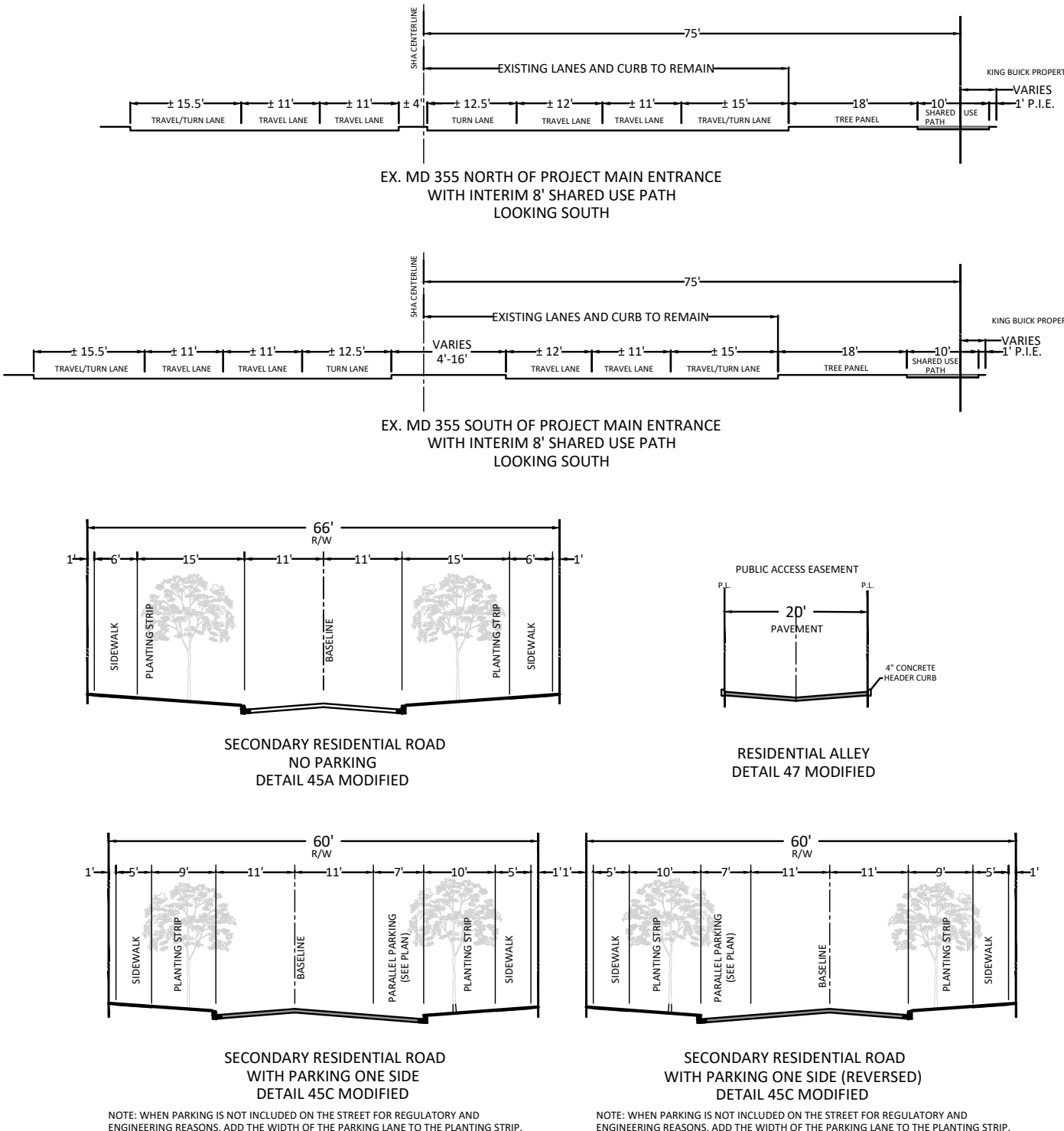
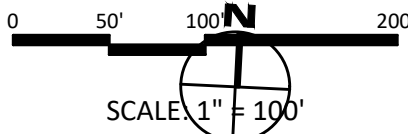
SUPPLEMENTAL PLANS

SIGHT-1 PLEASANT DRIVE SIGHT DISTANCE
SIGHT-2 ON-SITE SIGHT DISTANCE

GE1 1 OF 7	GRADE ESTABLISHMENT PLAN STREET A
GE2 2 OF 7	GRADE ESTABLISHMENT PLAN STREET B
GE3 3 OF 7	GRADE ESTABLISHMENT PLAN STREET C
GE4 4 OF 7	GRADE ESTABLISHMENT PLAN STREET D
GE5 5 OF 7	GRADE ESTABLISHMENT PLAN STREET E
GE6 6 OF 7	GRADE ESTABLISHMENT PLAN STREET F
GE7 7 OF 7	GRADE ESTABLISHMENT PLAN STREET F

FDA-1	FIRE ACCESS PLAN COVER
FDA-2	FIRE ACCESS PLAN
FDA-3	FIRE ACCESS PLAN
FDA-4	FIRE ACCESS PLAN

SWCO-1	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN COVER
SWCO-2	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN
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SWCO-6	PRE-APPLICATION SWM FORESTRY OVERLAY PLAN 30-SCALE



NOTE: WHEN PARKING IS NOT INCLUDED ON THE STREET FOR REGULATORY AND ENGINEERING REASONS, ADD THE WIDTH OF THE PARKING LANE TO THE PLANTING STRIP.

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"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.



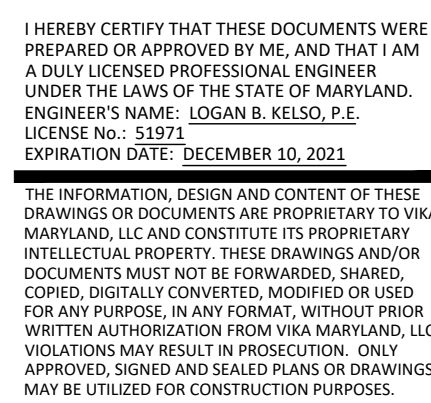
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KING BUICK
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 222NW08
WSSC GRID: 221NW08
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VIKA PROJECT	VM50420
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SHEET NO.

Building Setbacks	Minimum Required	Proposed
Front		
Townhomes/Stacked Condominium Townhomes	0'	0'
Community Amenity Building	0'	0'
Side		
Townhomes/Stacked Condominium Townhomes	0'	0'
Community Amenity Building	0'	0'
Rear		
Townhomes/Stacked Condominium Townhomes	0'	0'
Community Amenity Building	0'	6'
Parking	<i>Minimum Required</i>	<i>Proposed</i>
Townhome, 189 rear load (2 per unit)	378	378
Townhome, 64 front load (2 per unit)	128	128
Stacked Condominium Townhomes (1.5 per unit)	177	177
Community Center - 1 per 200 GSF	10	10
Visitor parking on front load driveways	--	128
Visitor parking on condominium driveways	--	59
On-street visitor parking	--	100
	693	980
Visitor Parking Ratio	287	
Total visitor parking	0.77 space per unit	
Accessible Parking	<i>Minimum Required</i>	<i>Proposed</i>
On-Street Visitor (per PROWAG section R214)	5	5
Community Amenity Building (on-street)	1	1
Bicycle Parking	<i>Minimum Required</i>	<i>Proposed</i>
Townhomes/Stacked Condominium Townhomes	0	0
Community Amenity Bldg		
Short Term Space - 2 per 10,000sf	2	2
Long Term Space - 1 per 10,000sf	1	0

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WSSC GRID: 222NW08
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SHEET NO.



UNIT TYPE KEY

The diagram illustrates the unit types and their dimensions for the development. It includes an Alley and a Utility Shed.

TOWNHOME REAR LOAD GARAGE

Dimensions: 15.67' (width), 20'x38' (unit size).

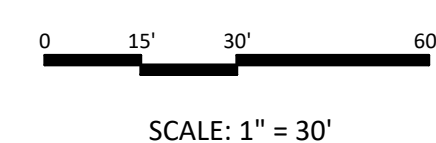
STACKED CONDOMINIUM TOWNHOME REAR LOAD GARAGE

Dimensions: 8.67' (width), 16'x38' (unit size), 14'x38' (unit size), 24'x50' (unit size), 24'x50' (unit size), 24'x50' (unit size).

TOWNHOME FRONT LOAD GARAGE

Dimensions: 18' (width).

	CIV	PROPERTY LINES
	E	EXISTING CABLE TELEVISION CONDUIT
	E	EXISTING ELECTRICAL CONDUIT
	E	EXISTING EDGE OF PAVEMENT
	X	EXISTING FENCE LINE
	G	EXISTING NATURAL GAS CONDUIT
	OHW	EXISTING OVERHEAD WIRES
	T	EXISTING TELEPHONE CONDUIT
	S	EXISTING PUBLIC UTILITIES EASEMENT
	SD	EXISTING SANITARY SEWER CONDUIT
	W	EXISTING STORM DRAIN CONDUIT
	520	PROPOSED 10' CONTOUR
	524	PROPOSED 2' CONTOUR
	8\"W	PROPOSED WATER LINE
	8\"S	PROPOSED SANITARY SEWER WITH STRUCTURE
	LOD	PROPOSED STORM DRAIN
	LOD	PROPOSED LIMITS OF DISTURBANCE
	LOD	PROPOSED STORM WATER EASEMENT
	LOD	PROPOSED WATER & SEWER EASEMENT
		EXISTING SANITARY CLEANOUT
		EXISTING STORM DRAIN MANHOLE
		EXISTING ELECTRICAL JUNCTION BOX
		EXISTING ELECTRICAL MANHOLE
		EXISTING FIRE HYDRANT
		EXISTING GAS MANHOLE
		EXISTING GUY POLE
		EXISTING GAS VALVE
		EXISTING LIGHT POLE
		EXISTING PHONE PEDESTAL
		EXISTING PHONE MANHOLE
		EXISTING UTILITY POLE
		EXISTING SANITARY MANHOLE
		EXISTING TRAFFIC CONTROL BOX
		EXISTING TREE
		EXISTING CABLE TELEVISION PEDESTAL
		EXISTING UNKNOWN UTILITY MANHOLE
		EXISTING WATER METER
		EXISTING WATER MANHOLE
		EXISTING WATER VALVE
		EXISTING BOLLARD
		EXISTING WOOD POST
		EXISTING INLETS
		EXISTING CURB
		EXISTING CONCRETE
		EXISTING CURBS AND GUTTER
		EXISTING BUILDING
		EXISTING STORY
		EXISTING ELECTRICAL TRANSFORMER
		EXISTING ASPHALT
		EXISTING EASEMENT
		EXISTING REINFORCED CONCRETE PIPE
		EXISTING CORRUGATED METAL PIPE
		EXISTING BUILDING RESTRICTION LINE
		EXISTING RIGHT-OF-WAY
		PROPOSED LIGHTS
		PEDESTRIAN LIGHTS
		PROPOSED PARKING LABELS
		PROPOSED HARDSCAPE
		PROPOSED FIRE HYDRANT
		DOOR LOCATION
		PROPOSED SWM VAULT
		PROPOSED MBF
		PROPOSED STORMWATER ACCESS PAVEMENT
		PROPOSED PERMEABLE PAVEMENT



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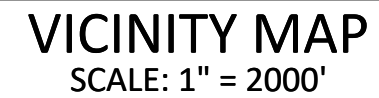
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PROJECT
SITE PLAN -
30 SCALE

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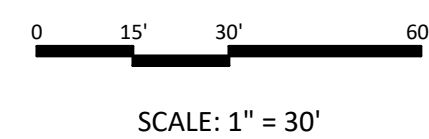
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The diagram shows three adjacent lots, each 14 feet wide. The first lot on the left is 20 feet deep. The second lot in the middle is 16 feet deep. The third lot on the right is 14 feet deep. An alleyway, labeled 'ALLEY' at the top, runs between the first and second lots. The width of the alleyway is 8.67 feet. The width of the first lot is 15.67 feet. The lots are shaded gray, and the alleyway is white. A north arrow is located at the bottom right of the diagram.

	PROPERTY LINES
	EXISTING CABLE TELEVISION CONDUIT
	EXISTING ELECTRICAL CONDUIT
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE LINE
	EXISTING NATURAL GAS CONDUIT
	EXISTING OVERHEAD WIRES
	EXISTING TELEPHONE CONDUIT
	EXISTING PUBLIC UTILITIES EASEMENTS
	EXISTING SANITARY SEWER CONDUIT
	EXISTING STORM DRAIN CONDUIT
	EXISTING WATER CONDUIT
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER WITH STRUCTURE
	PROPOSED STORM DRAIN
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED STORM WATER EASEMENT
	PROPOSED WATER & SEWER EASEMENT
	EXISTING SANITARY CLEANOUT
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	EXISTING FIRE DEPARTMENT CONNECTION
	EXISTING FIRE HYDRANT
	EXISTING GAS MANHOLE
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	EXISTING INLETS
	EXISTING CURB INLET
	EXISTING CONCRETE
	EXISTING CURB AND GUTTER
	EXISTING BUILDING
	EXISTING STORY
	EXISTING ELECTRICAL TRANSFORMER
	EXISTING ASPHALT
	EXISTING EASEMENT
	EXISTING REINFORCED CONCRETE PIPE
	EXISTING CORRUGATED METAL PIPE
	EXISTING BUILDING RESTRICTION LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED LIGHTS
	PROPOSED PEDESTRIAN LIGHTS
	PROPOSED PARKING LABELS
	PROPOSED HARDSCAPE
	PROPOSED FIRE HYDRANT
	DOOR LOCATION
	PROPOSED SWM VAULT
	PROPOSED MBF
	PROPOSED STORMWATER ACCESS PATH
	PROPOSED PERMEABLE PAVEMENT





ATTORNEY:
MILES & STOCKBRIDGE

ANNER, LANDSCAPE ARCHITECT
CIVIL ENGINEER:

CIKA MARYLAND, LLC

REVISIONS	DATE
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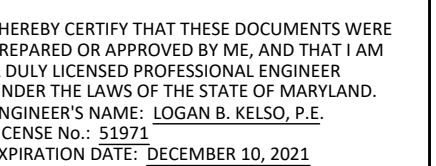
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WSSC GRID: 221NW08
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SITE PLAN -
30 SCALE

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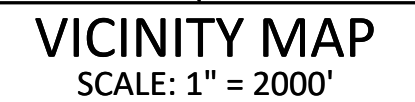
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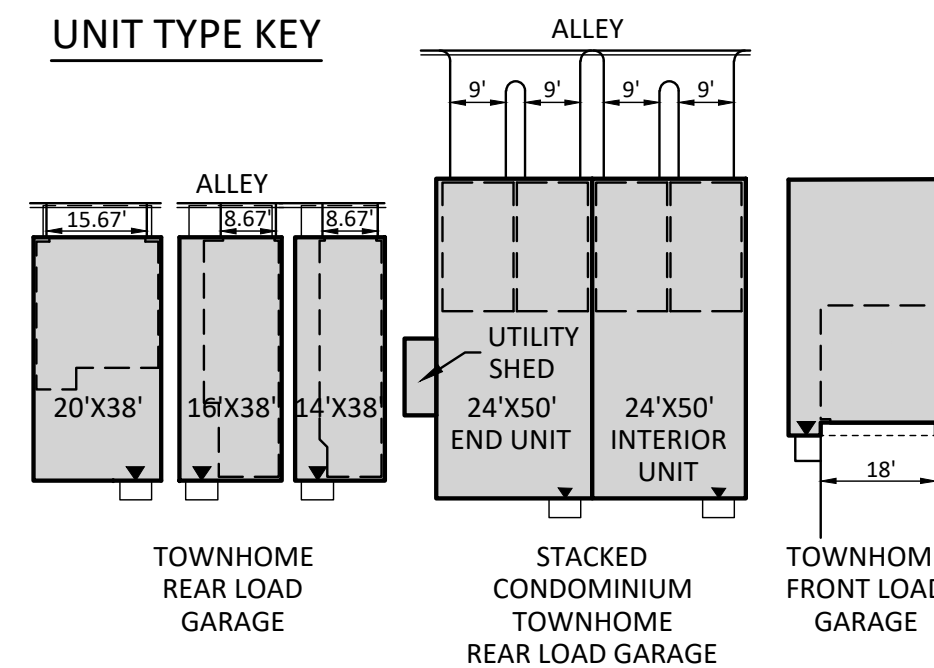
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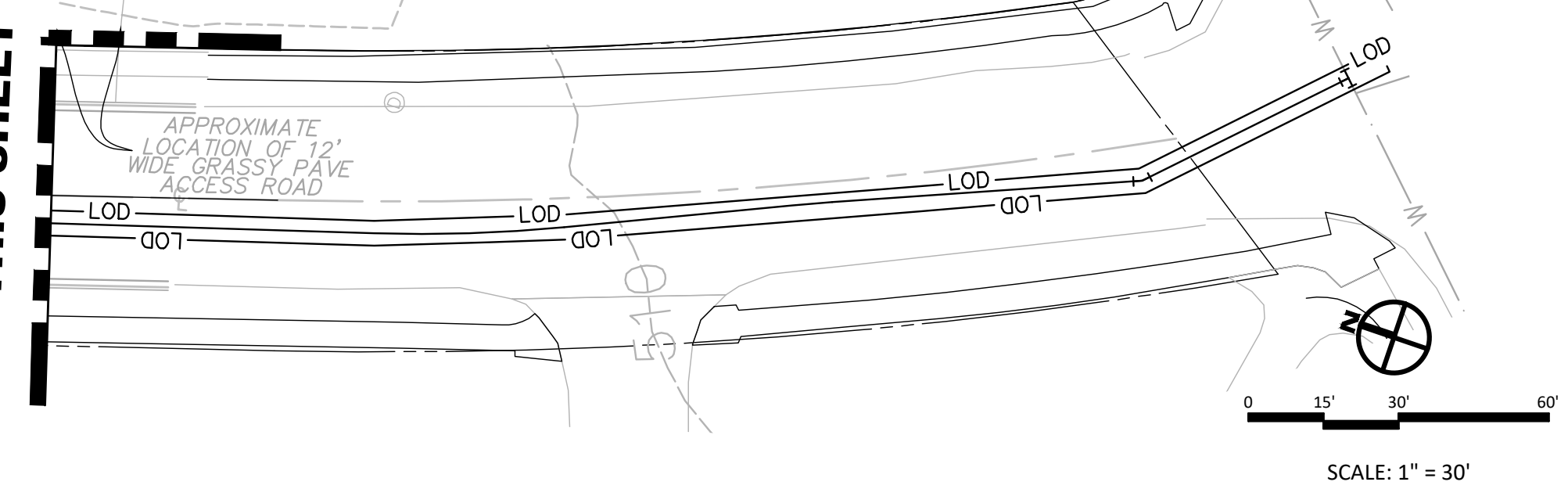


CTV	EXISTING CABLE TELEVISION CONDUIT
E	EXISTING ELECTRICAL CONDUIT
X	EXISTING EDGE OF PAVEMENT
G	EXISTING FENCE LINE
OHW	EXISTING NATURAL GAS CONDUIT
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LOD	PROPOSED STORM DRAIN
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED STORM WATER EASEMENT
	PROPOSED WATER & SEWER EASEMENT

EXISTING SANITARY CLEANOUT
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PROPOSED FIRE HYDRANT
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PROPOSED SWM VAULT
PROPOSED MBF
PROPOSED STORMWATER ACCESS PATH
PROPOSED PERMEABLE PAVEMENT



**MATCH LINE
THIS SHEET**



SCALE: 1" = 30'

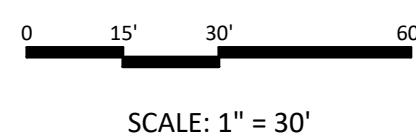
MATCH LINE SHEET PP-2.2

MATCH LINE
SHEET PP-2.3

MATCH LINE SHEET PP-2.3

MATCH LINE SHEET PP-2.3

**MATCH
LINE
THIS
SH**



LAYOUT: PP-2.4, Plotted By: buchheister

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WSSC GRID: 221NW08
TAX MAP: GS12

SCHEMATIC STREETSCAPE ELEVATIONS

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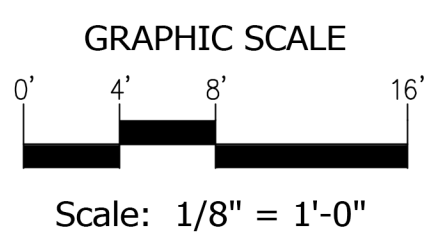
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PROJECT VM50420

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SCHEMATIC STREETSCAPE ELEVATIONS

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KING BUICK

TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 222NW08
WSSC GRID: 221NW08
TAX MAP: GS12

SCHEMATIC
STREETSCAPE
ELEVATIONS

PJT2021-00

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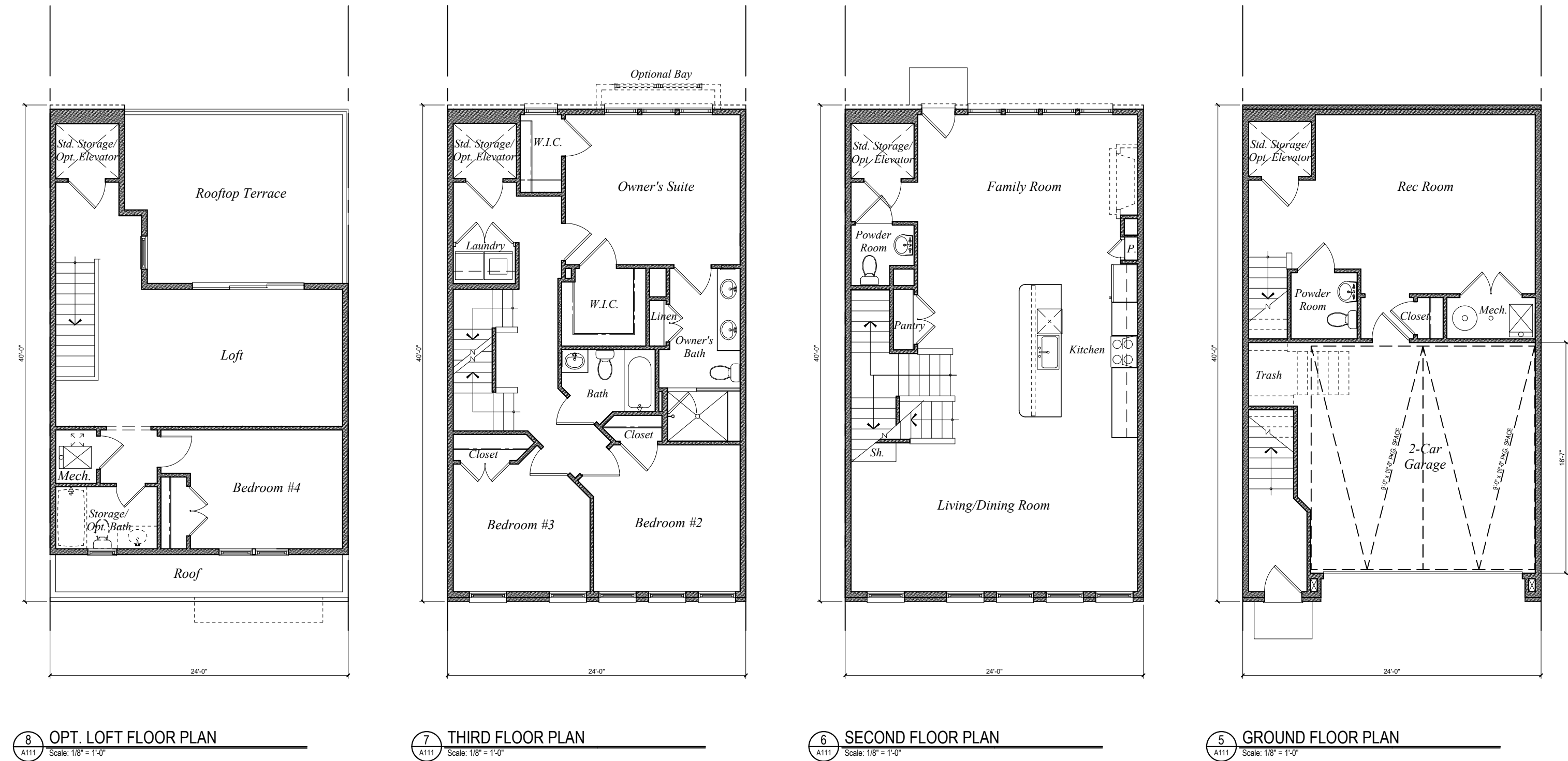
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DESIGNED BY: ifmc
DATE ISSUED: APR. 2021

KA
PROJECT VM50420

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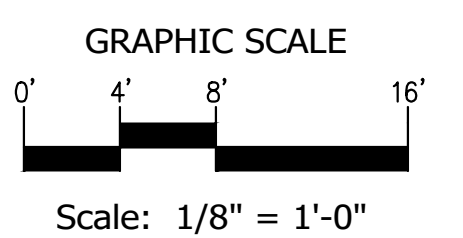
SHEET NO. A111



TYP. FLOOR PLANS - 24 FT.



TYP. FLOOR PLANS - TWO-OVER-TWO MULTIFAMILY



PREPARED FOR:
EYA DEVELOPMENT LLC
4800 HAMPDEN LN.
SUITE 300
BETHESDA, MD 20814
301-634-8649
J. WYNDHAM ROBERTSON
wyndhamr@eya.com

ATTORNEY:
MILES & STOCKBRIDGE
11 N WASHINGTON ST.
SUITE 700
ROCKVILLE, MD 20850
301-762-1600
BARBARA SEARS

PLANNER & CIVIL ENGINEER:
VIKA MARYLAND, LLC
20251 CENTURY BLVD.
SUITE 400
GERMANTOWN, MD 20874
301-916-4100
Michael Goodman, P.E.
Logan Kelso, P.E.

REVISIONS	DATE
PROJECT SITE PLAN	4/30/21

KING BUICK
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 222NW08
WSSC GRID: 221NW08
TAX MAP: GS12

**CLUBHOUSE
FLOOR PLAN**

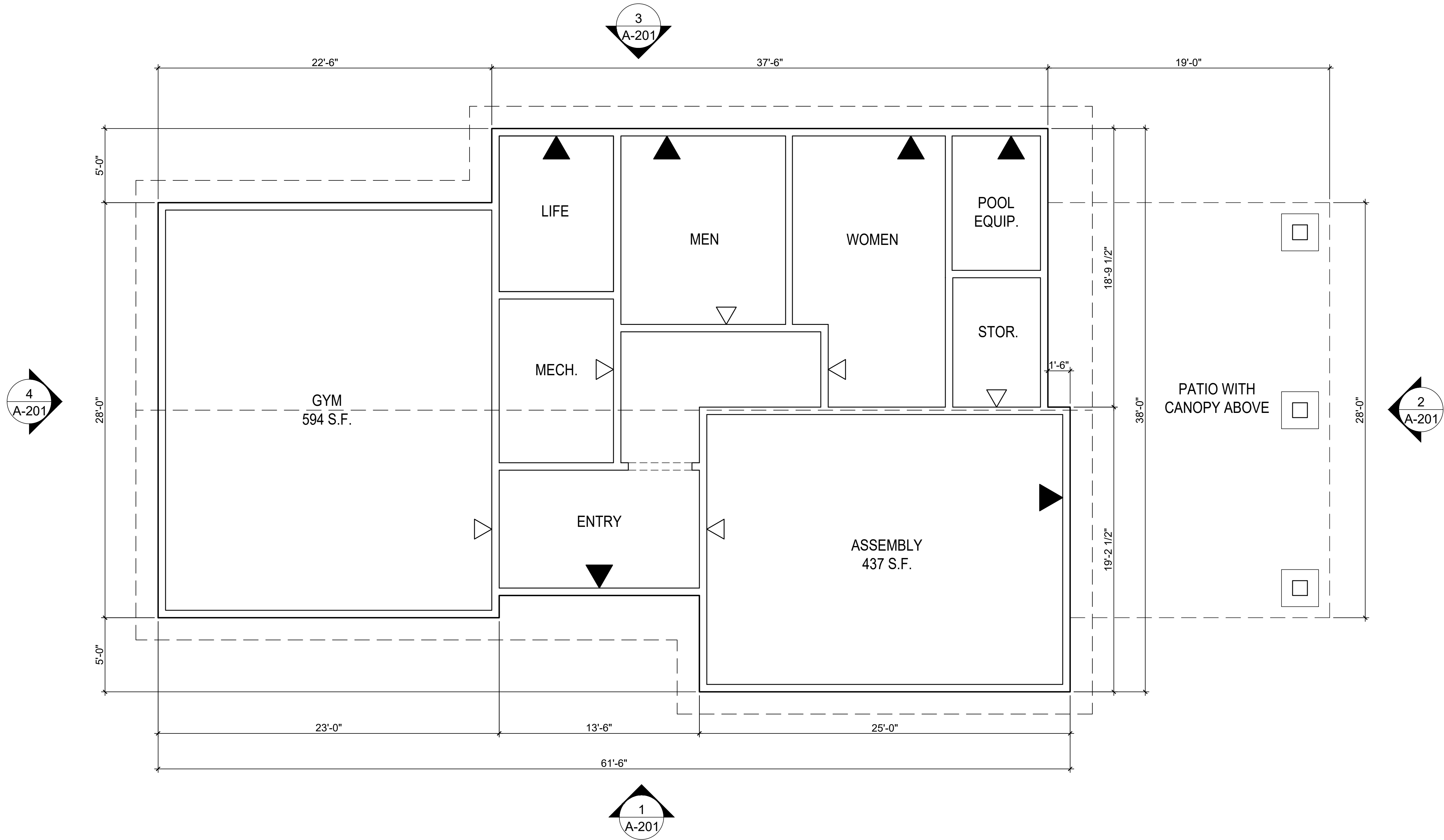
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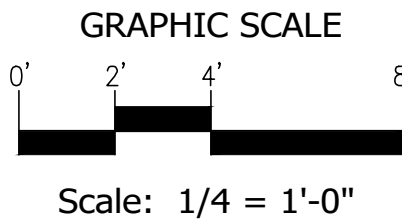
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1 FLOOR PLAN
A200 Scale: 1/4"=1'-0"



Our Site Set on the Future.

PLANNER & CIVIL ENGINEER:
VIKA MARYLAND, LLC
20251 CENTURY BLVD.
SUITE 400
GERMANTOWN, MD 20874
301-916-4100
Michael Goodman, P.E.
Logan Kelso, P.E.

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4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 222NW08
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DRAWING
NO.

SHEET NO. A201



ELEVATION 1
Scale: 1/4"=1'-0" MAIN ENTRANCE FACADE



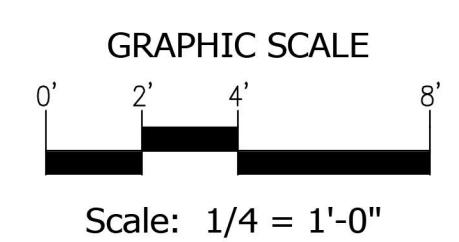
2 ELEVATION 2
A201 Scale: 1/4"=1'-0" ASSEMBLY ENTRANCE FACADE

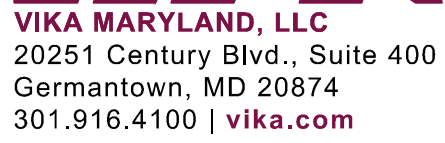


4 ELEVATION 4 A201 Scale: 1/4"=1'-0" GYM WINDOW WALL FACADE



3 ELEVATION 3
A201 Scale: 1/4"=1'-0" POOLSIDE FACADE



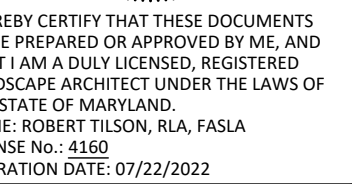


ATTORNEY:
MILES & STOCKBRIDGE
11 N WASHINGTON ST.
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301-762-1600
BARBARA SEARS

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WSSC GRID: 222NW08
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19 VIKI MARYLAND, LLC

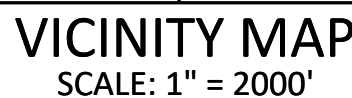
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JECT VM50420

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L-4.0



Received

May 3, 2021

	QTY
LARGE CANOPY TREES	3
CELTIS OCCIDENTALIS / COMMON HICKBERRY	2
FAGUS GRANDIFOLIA / AMERICAN BEECH	4
PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE	6
QUERCUS BICOLOR / SWAMP WHITE OAK	4
QUERCUS FALCATA / SOUTHERN RED OAK	3

		QTY
	<u>LARGE EVERGREEN TREES</u>	
	CRYPTOTERIA JAPONICA / JAPANESE CEDAR	33
	ILEX OPACA / AMERICAN HOLLY	20
	PINUS STROBUS / WHITE PINE	22
	THUJA OCCIDENTALIS "GREEN GIANT" / GREEN GIANT ARBORVITAE	31
	X CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS	28

ORNA	MENTAL	AND UNDERSTORY TREES	QTY
AMELANCHIER ARBOREA	'AUTUMN BRILLIANCE'	/ DOWNY SERVICEBERRY	25
BETULA NIGRA	'DURAHEAT'	/ DURAHEAT RIVER BIRCH	7
CARPINUS CAROLINIANA	/ AMERICAN HORNBEE		12
CERCIS CANADENSIS	/ EASTERN REDBUD MULTI-TRUNK		16
CORNUS FLORIDA	/ EASTERN DOGWOOD		37
COTINUS OBOVATUS	/ AMERICAN SMOKE TREE		8
HAMAMELIS VIRGINIANA	'HARVEST MOON' / HARVEST MOON WITCH HAZEL		16
LINDERA BENZOIN	/ SPICEBUSH		7
OXYDENDRUM ARBOREUM	/ SOURWOOD TREE		6
PRUNUS X YEDOENSIS	/ YOSHINO CHERRY		21
SASSAFRAS ALBIDUM	/ SASSAFRAS		3

	SMALL EVERGREEN TREES	QTY
	ILEX OPACA 'GREENLEAF' / GREENLEAF HOLLY	4
	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	5
	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA	4

 MEDIUM CANOPY TREES
CLADRASTIS KENTUCKEA / AMERICAN YELLOWWOOD

LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM / ROUND-LOBED SWEET GUM 2

PLATANUS X ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANE TREE 3

QUERCUS PHELLOS / WILLOW OAK 2

TILIA AMERICANA / AMERICAN LINDEN 2

ZELKOVA SERRATA / SAWLEAF ZELKOVA 4

MINIMUM TREE COVER			
TRACT AREA SF	ZONING	MTC REQUIRED %	MTC SF REQUIRED
896,550		10	89655
TREE COVER PROVIDED SF	NUMBER OF TREES	SF CREDIT PER TREE	TOTAL SF CREDIT
FORESTED AREA	N/A	N/A	
EXISTING LANDSCAPE TREES		25% OF CRZ	
LARGE SHADE TREES	18	400	7200
LARGE SHADE TREES - STREET	178	400	71200
LARGE EVERGREEN	134	400	53600
SMALL SHADE/ORNAMENTAL	158	200	31600
SMALL EVERGREEN	13	200	2600
		TOTAL SF	166200

Tree Table	<i>Required ¹</i>	<i>Provided ¹</i>
Street Trees ⁴	178	178
Lot Trees ^{2,3,4}	777	501
-Shade Trees	-	18
-Ornamental Trees	-	158
-Large Evergreen Trees	-	134
-Small Evergreen Trees	-	13
Mitigation Trees	30	30

¹Final number and location of street, lot, and mitigation trees to be determined at site plan; a minimum of 30 mitigation trees will be provided.

² Assumes 259 residential lots.

³ Assumes lot trees are provided as an aggregate over the total site.

⁴ Assumes all proposed trees count towards the aggregate total for lot trees.

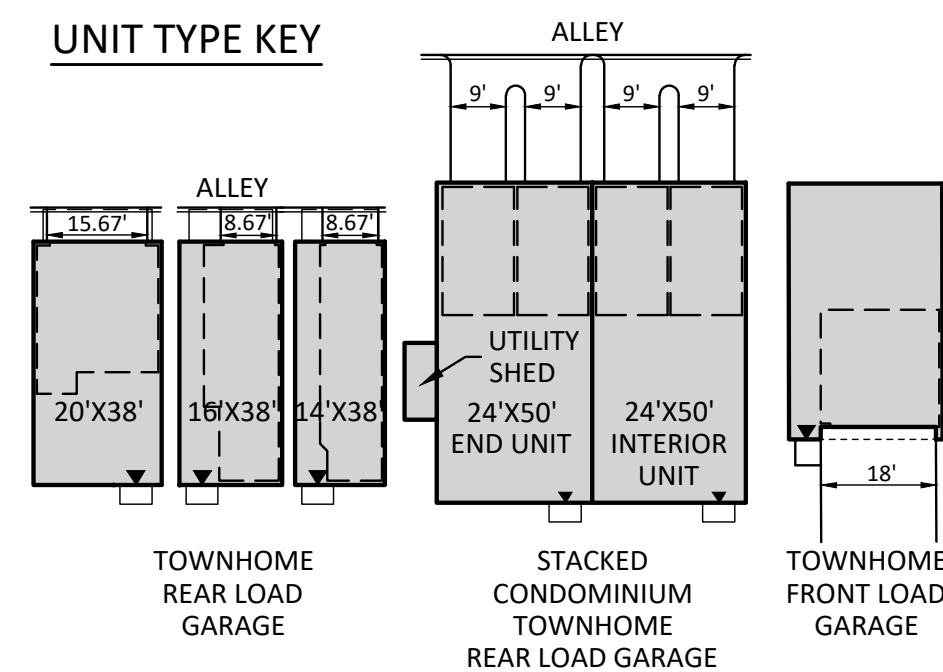
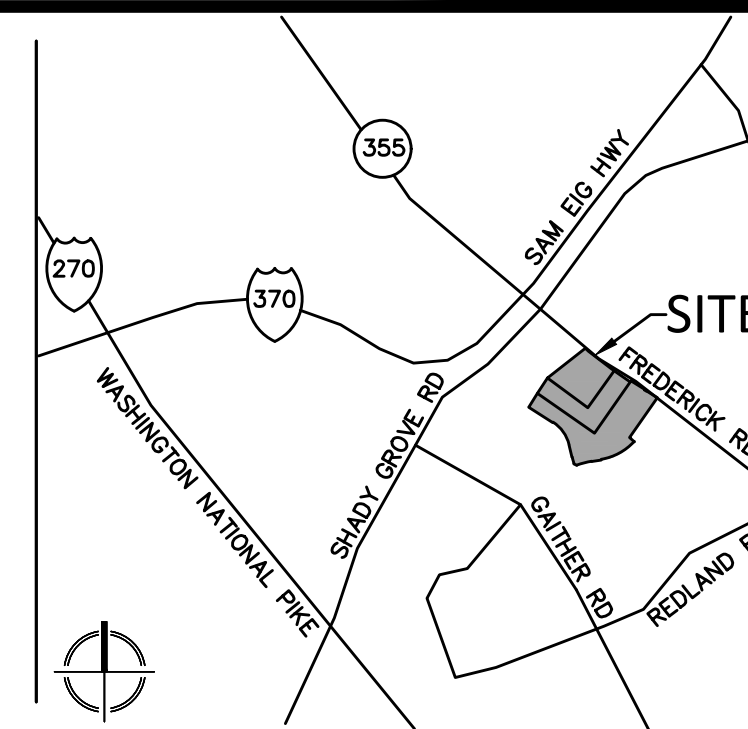
⁵ Includes street trees proposed on site.

0 30' 60' 120'

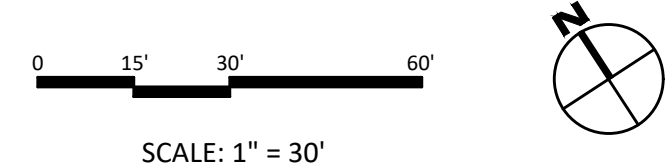
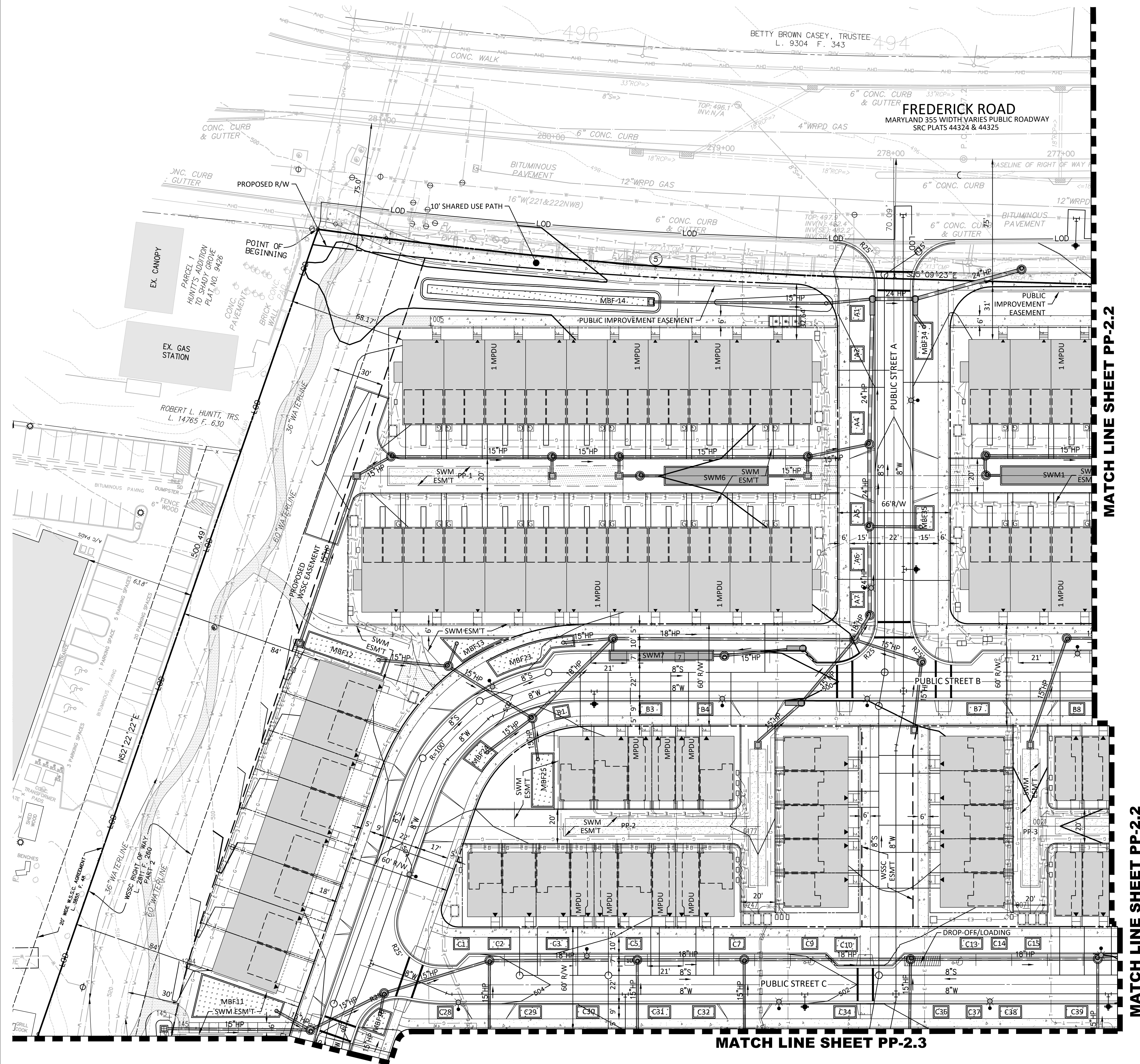
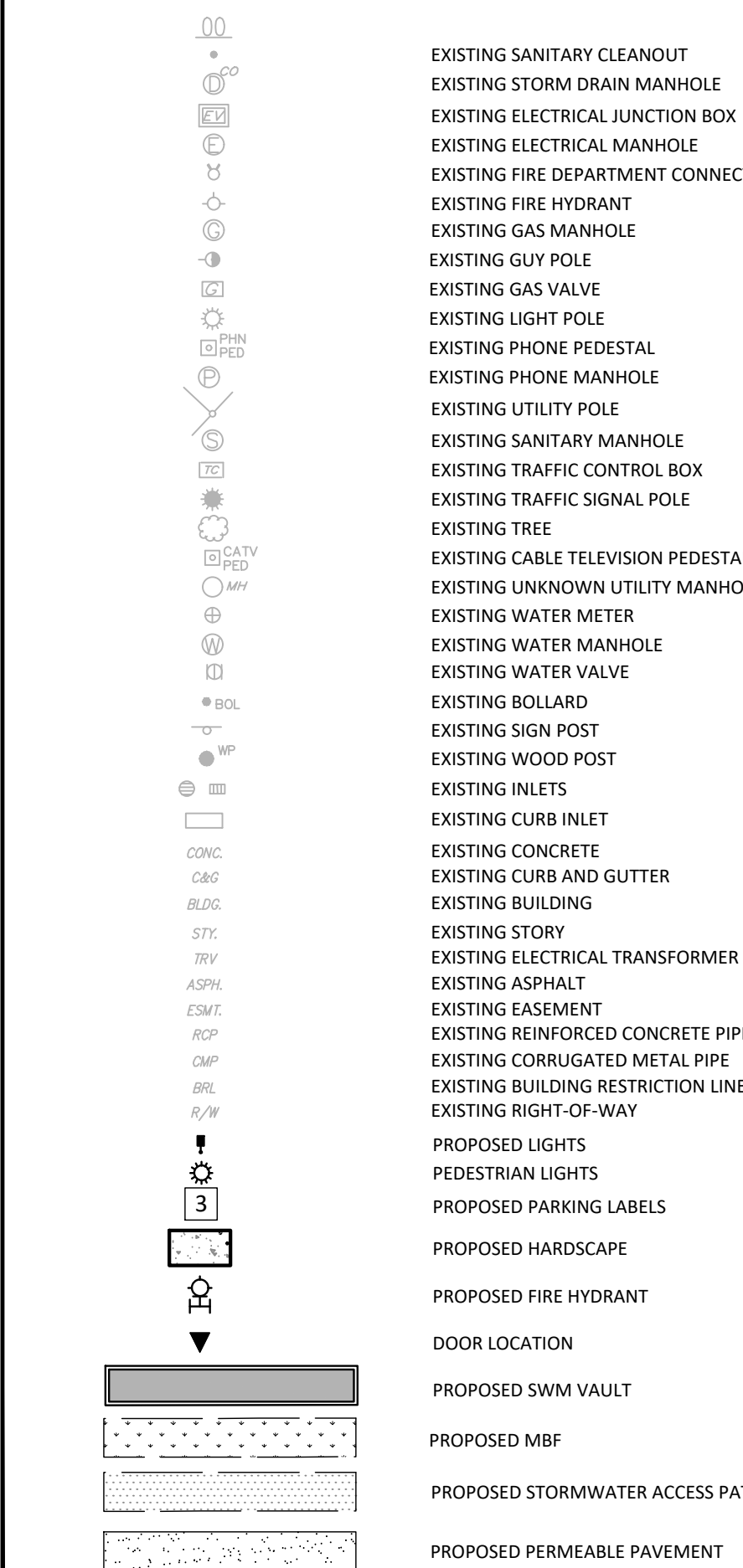
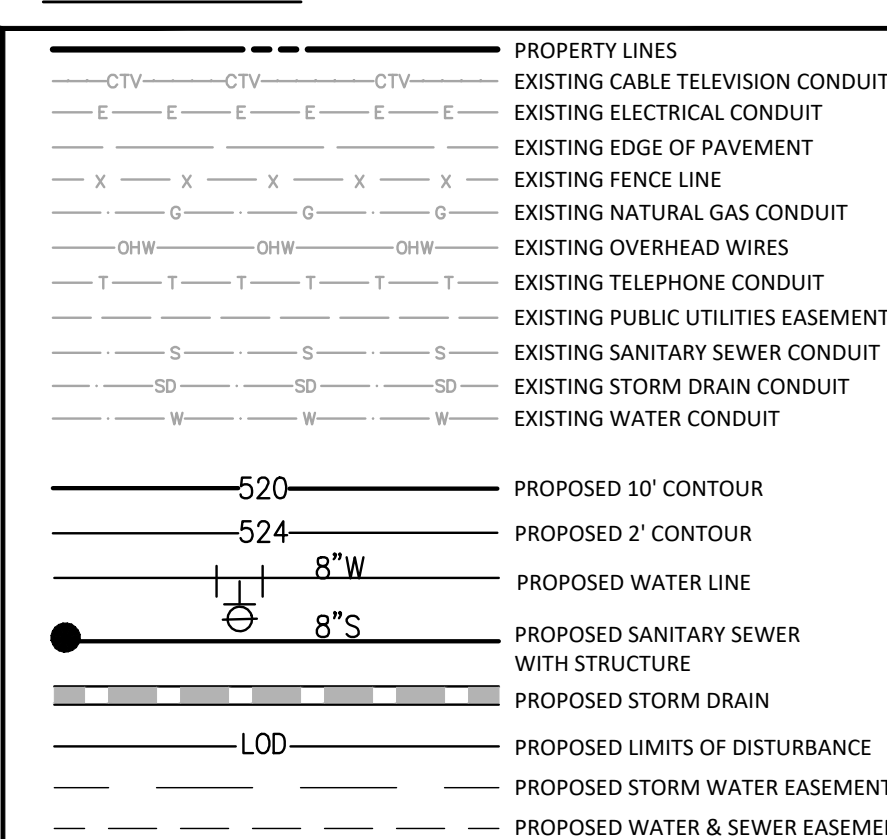
SCALE: 1" = 60'

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LAYOUT: L-4.0, Plotted By: lee



PLAN LEGEND



PREPARED FOR:
EYA DEVELOPMENT LLC
4800 HAMPDEN LN.
SUITE 300
BETHESDA, MD 20814
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J. WYNDHAM ROBERTSON
wyndhamr@eya.com

PLANNER, LANDSCAPE ARCHITECT
& CIVIL ENGINEER:
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James Buchheister, RLA
Robert Tilson, FALSA, PLA
Logan Kelso, P.E.

KING BUICK

CONCEPT
LANDSCAPE
PLAN -
30 SCALE

PJT2021-00XXX

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED, REGISTERED
LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
NAME: ROBERT TILSON, RLA, FASLA
LICENSE No.: 4160
EXPIRATION DATE: 07/22/2022

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DESIGNED BY: DL/IB

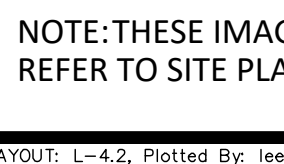
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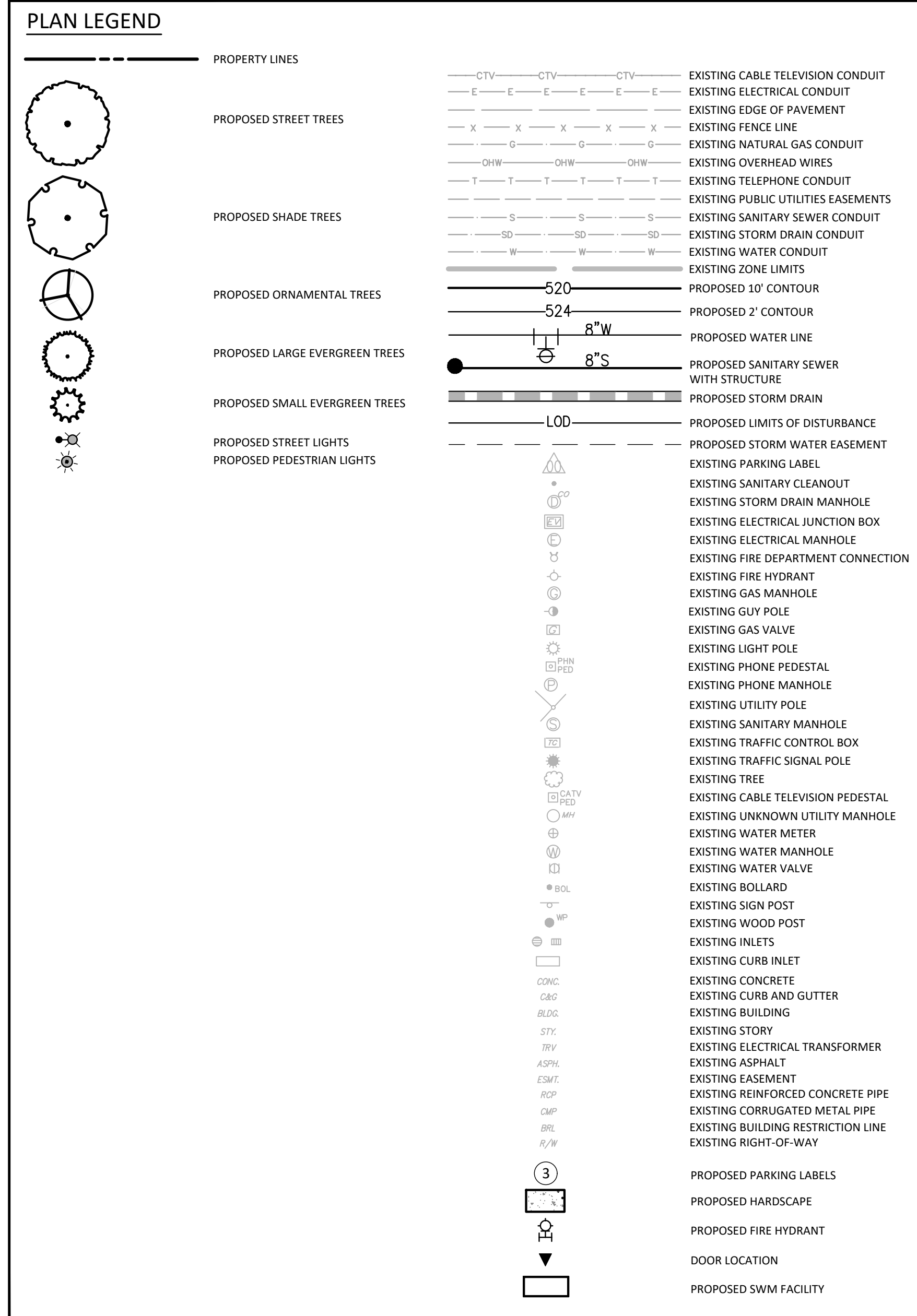
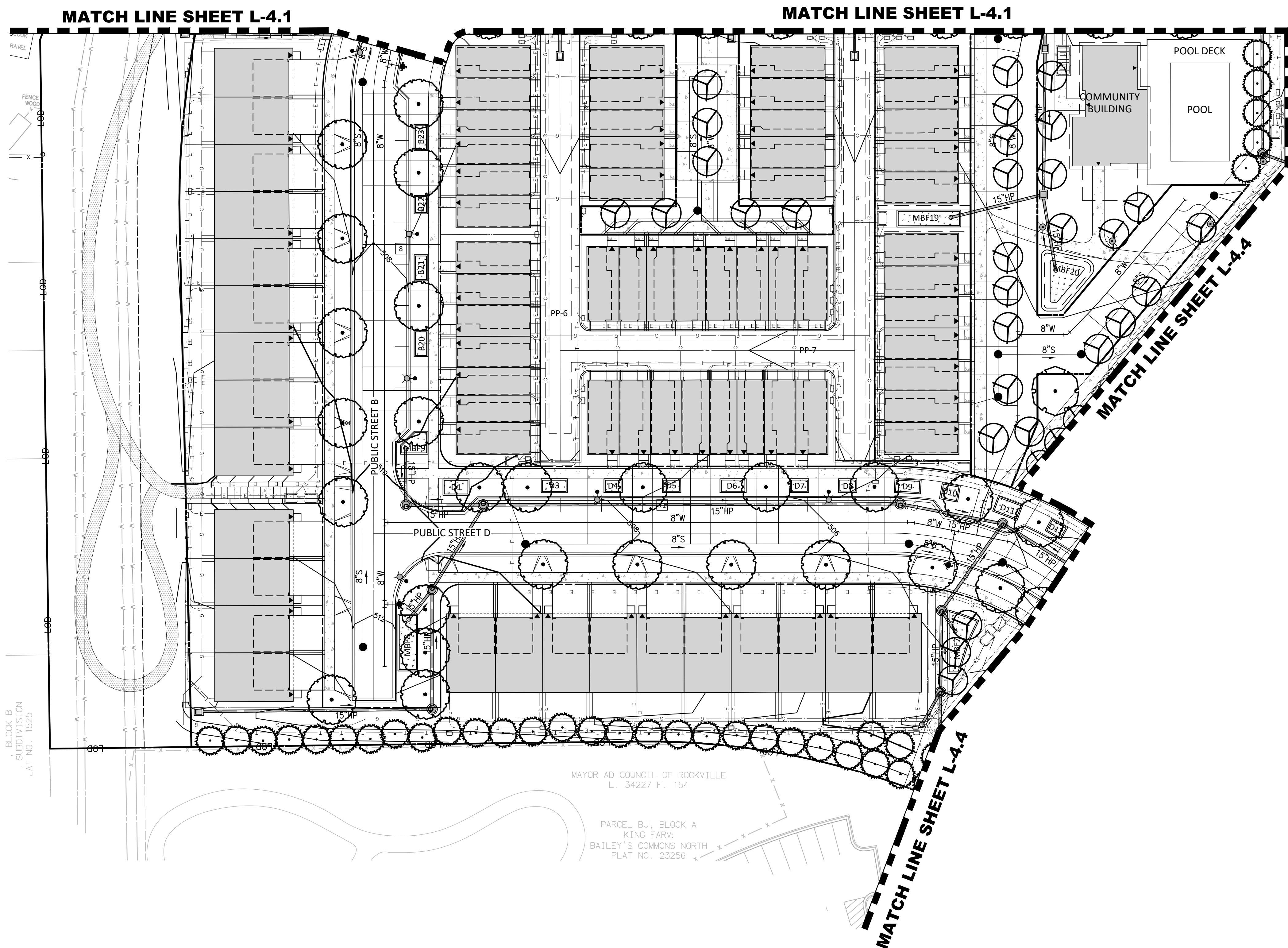
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NO. L-4.2

SHEET NO. _____

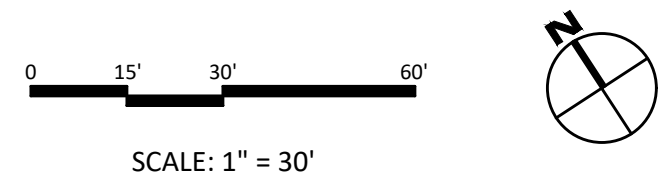


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LAYOUT: L-4.3, Plotted By: lee



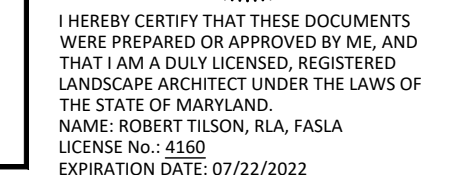


PLANNER, LANDSCAPE ARCHITECT
& CIVIL ENGINEER:
VIKA MARYLAND, LLC
20251 CENTURY BLVD.
SUITE 400
GERMANTOWN, MD 20874
301-916-4100
James Buchheister, RLA
Robert Tilson, FALSA, PLA
Logan Kelso, P.E.

KING BUICK
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 222NW08
WSSC GRID: 221NW08
TAX MAP: GS12

CONCEPT
LANDSCAPE
PLAN -
30 SCALE

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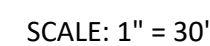
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NO. **L-4.4**

SHEET NO.



Planning & Development Services
Received
May 3, 2021



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LAYOUT: L-4.4, Plotted By: lee

PLAN LEGEND

- | | | |
|--------------------------------|--|--|
| PROPERTY LINES | | EXISTING CABLE TELEVISION CONDUIT |
| PROPOSED STREET TREES | | EXISTING ELECTRICAL CONDUIT |
| | | EXISTING EDGE OF PAVEMENT |
| | | EXISTING FENCE LINE |
| | | EXISTING NATURAL GAS CONDUIT |
| | | EXISTING OVERHEAD WIRES |
| | | EXISTING TELEPHONE CONDUIT |
| PROPOSED SHADE TREES | | EXISTING PUBLIC UTILITIES EASEMENTS |
| | | EXISTING SANITARY SEWER CONDUIT |
| | | EXISTING STORM DRAIN CONDUIT |
| | | EXISTING WATER CONDUIT |
| PROPOSED ORNAMENTAL TREES | | EXISTING ZONE LIMITS |
| | | PROPOSED 10' CONTOUR |
| | | PROPOSED 2' CONTOUR |
| PROPOSED LARGE EVERGREEN TREES | | PROPOSED WATER LINE |
| | | PROPOSED SANITARY SEWER WITH STRUCTURE |
| | | PROPOSED STORM DRAIN |
| PROPOSED SMALL EVERGREEN TREES | | PROPOSED LIMITS OF DISTURBANCE |
| | | PROPOSED STORM WATER EASEMENT |
| PROPOSED STREET LIGHTS | | EXISTING PARKING LABEL |
| PROPOSED PEDESTRIAN LIGHTS | | EXISTING SANITARY CLEANOUT |
| | | EXISTING STORM DRAIN MANHOLE |
| | | EXISTING ELECTRICAL JUNCTION BOX |
| | | EXISTING ELECTRICAL MANHOLE |
| | | EXISTING FIRE DEPARTMENT CONNECTION |
| | | EXISTING FIRE HYDRANT |
| | | EXISTING GAS MANHOLE |
| | | EXISTING GUY POLE |
| | | EXISTING GAS VALVE |
| | | EXISTING LIGHT POLE |
| | | EXISTING PHONE PEDESTAL |
| | | EXISTING PHONE MANHOLE |
| | | EXISTING UTILITY POLE |
| | | EXISTING SANITARY MANHOLE |
| | | EXISTING TRAFFIC CONTROL BOX |
| | | EXISTING TRAFFIC SIGNAL POLE |
| | | EXISTING TREE |
| | | EXISTING CABLE TELEVISION PEDESTAL |
| | | EXISTING UNKNOWN UTILITY MANHOLE |
| | | EXISTING WATER METER |
| | | EXISTING WATER MANHOLE |
| | | EXISTING WATER VALVE |
| | | EXISTING BOLLARD |
| | | EXISTING SIGN POST |
| | | EXISTING WOOD POST |
| | | EXISTING INLETS |
| | | EXISTING CURB INLET |
| | | EXISTING CONCRETE |
| | | EXISTING CURB AND GUTTER |
| | | EXISTING BUILDING |
| | | EXISTING STORY |
| | | EXISTING ELECTRICAL TRANSFORMER |
| | | EXISTING ASPHALT |
| | | EXISTING EASEMENT |
| | | EXISTING REINFORCED CONCRETE PIPE |
| | | EXISTING CORRUGATED METAL PIPE |
| | | EXISTING BUILDING RESTRICTION LINE |
| | | EXISTING RIGHT-OF-WAY |
| | | PROPOSED PARKING LABELS |
| | | PROPOSED HARDCAPE |
| | | PROPOSED FIRE HYDRANT |
| | | DOOR LOCATION |
| | | PROPOSED SWM FACILITY |

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