

TWINBROOK HINES

LEVEL 2 SITE PLAN APPLICATION

DEVELOPMENT TABULATIONS

Parcel Information		SF	ACRES
Zoning	MXTD & PD-TC		
Lot Reference: Lots 2,3,4,5,6 Halpin Block 4			
Existing 1800 Chapman Property	45,797	1.05	
Proposed Dedications			
Thompson Avenue	428	0.01	
Chapman Avenue	3,382	0.08	
Future Dedication not part of 1800 Chapman Limits	96	0.00	
WMATA Property Encroachment	135	0.00	

WMATA property area to be consolidated with 1800 Chapman property after Thompson Ave dedication	51,683	1.19
Proposed Lot Area [1]	97,480	2.24

[1] Existing lot area includes a portion of a larger WMATA property. The remainder of the WMATA property is not included in the application.

Proposed Development	Proposed
Site Area	2.24 ac
Market Rate Units	371
MPDU 15%	66
Total Residential Units	437
Non-Residential Use	
Retail	5,075

Building Height	Sec. 25.13.05	Maximum Allowed	Proposed
Multi-family Residential		120'	120'

Open Area	Sec. 25.13.05	Required	Proposed
Open Area (% of Net Lot Area)		15%	15%
Open Area/Public Use Space SF		14,622	14,800

Setbacks	Sec. 25.13.05	Minimum Required	Minimum Proposed
Front Yards (abutting public R/W or other lot line)		0'	0'
Side/Rear Yards (abutting non-residential property)		0'	0'

Parking	25.16.03	Rate	Metric	Count	Code Requirement	Parking Req'd with 28% waiver	Total Provided **
437 Multi-family units*							
		1.0/ 1.5*	unit	437	524	378	411
		1 per 200	square feet	5075	26	20	26
Total					550	398	437

* Studio and 1 bedroom require 1.0 space per dwelling unit. Two or more bedrooms require 1.5 spaces per dwelling unit. Current unit mix to calculate parking is approximately 48 studio, 217 1 bedroom, 157 2 bedroom and 15 3 bedroom.

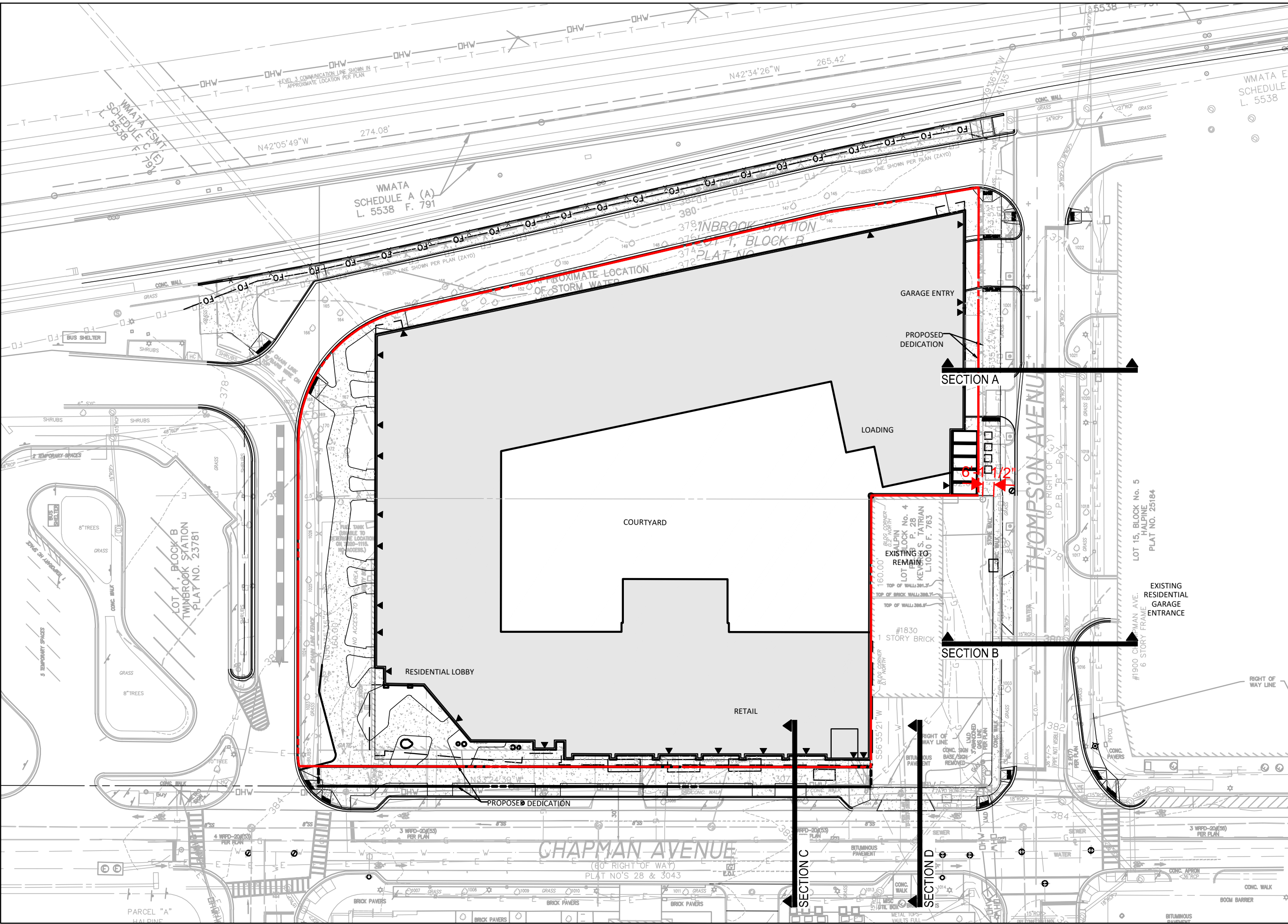
** Total provided parking includes 10 EV Charging Station spaces, 24 EV Ready spaces and 9 accessible spaces.

Bicycle Parking	Sec. 25.16.03	Minimum Required	Provided
Bicycle Spaces			
Multi-Family Residential			
Short Term @ 1/50 du		9	13
Long Term @ 1/3 du		146	146
Retail			
Short Term @ 2/5000 SF		3	4
Long Term @ 2/12000 SF		1	1
Short Term Total		12	17
Long Term Total		147	147

ADA Parking	(ADA spaces included in total above)	Total Parking Provided	Minimum Required	Provided
Multi-Family Residential & Retail		437	9	9

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.



SHEET INDEX

SP-1	LEVEL 2 SITE PLAN COVER SHEET
SP-2	LEVEL 2 EXISTING SITE PLAN
SP-3	LEVEL 2 SITE PLAN
SP-4	LEVEL 2 OPEN SPACE SITE PLAN
SP-5	LEVEL 2 BUS CIRCULATION PLAN
SP-6	FIRE DEPARTMENT ACCESS PLAN

L-000	GENERAL NOTES
L-101	LANDSCAPE MATERIALS PLAN - STREETSCAPE
L-102	LANDSCAPE MATERIALS PLAN - AMENITY DECK
L-201	SITE DETAILS
L-202	SITE DETAILS
L-203	SITE DETAILS
L-301	LANDSCAPE PLANTING PLAN
L-302	LANDSCAPE PLANTING PLAN - AMENITY DECK
L-401	PLANTING DETAILS
L-402	PLANTING DETAILS
L-501	LIGHTING PLAN
L-601	LIGHTING DETAILS

A.100	FLOOR PLAN - LEVEL P1
A.101	FLOOR PLAN - LEVEL 01
A.102	FLOOR PLAN - LEVEL 02
A.103	FLOOR PLAN - LEVEL 03
A.104	FLOOR PLAN - LEVEL 04
A.105	FLOOR PLAN - TYPICAL (LEVELS 5 - 8)
A.109	FLOOR PLAN - LEVEL 09
A.110	FLOOR PLAN - LEVEL 10

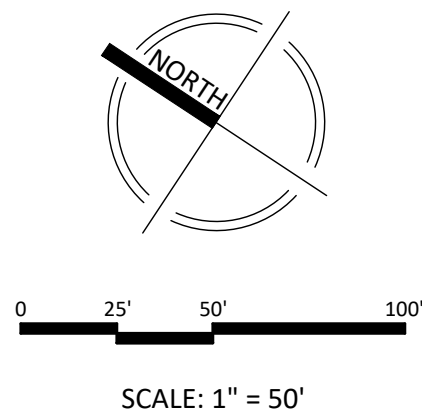
A.111	ROOF PLAN
A.112	MPDU FLOOR PLAN
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.203	EXTERIOR ELEVATIONS - COURTYARD
A.204	EXTERIOR ELEVATIONS - COURTYARD

CSEC-1	SEDIMENT EROSION FOR DEMOLITION
CSEC-2	SEDIMENT EROSION FOR EXCAVATION
CSEC-3	SEDIMENT EROSION FOR CONSTRUCTION

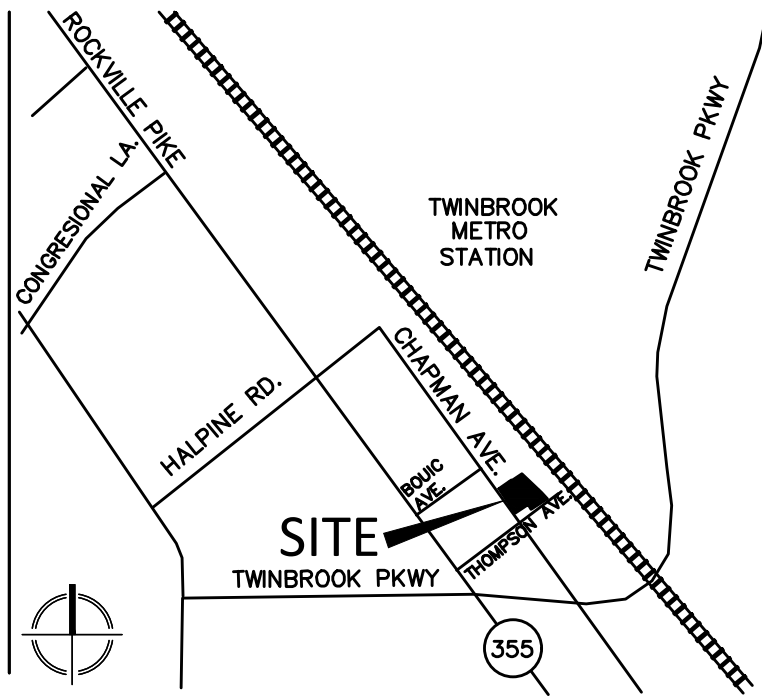
CSWM-1	CONCEPT STORMWATER MANAGEMENT COVER
CSWM-2	CONCEPT STORMWATER MANAGEMENT DRAINAGE AREA
CSWM-3	DEVELOPMENT CONCEPT STORMWATER MANAGEMENT 30 SCALE
CSWM-4	DEVELOPMENT CONCEPT STORMWATER MANAGEMENT DETAILS
CSWM-5	CONCEPT STORMWATER MANAGEMENT DETAILED SECTIONS

PMS-1	PAVEMENT MARKING & SIGNAGE PLAN COVER SHEET
PMS-2	PAVEMENT MARKING & SIGNAGE PLAN
PMS-3	PAVEMENT MARKING & SIGNAGE DETAILS

SUPPORT
AUTOTURN MOVEMENTS
EXISTING DRAINAGE AREA STUDY
STORMWATER FORESTRY OVERLAY
SIGHT DISTANCE STUDIES



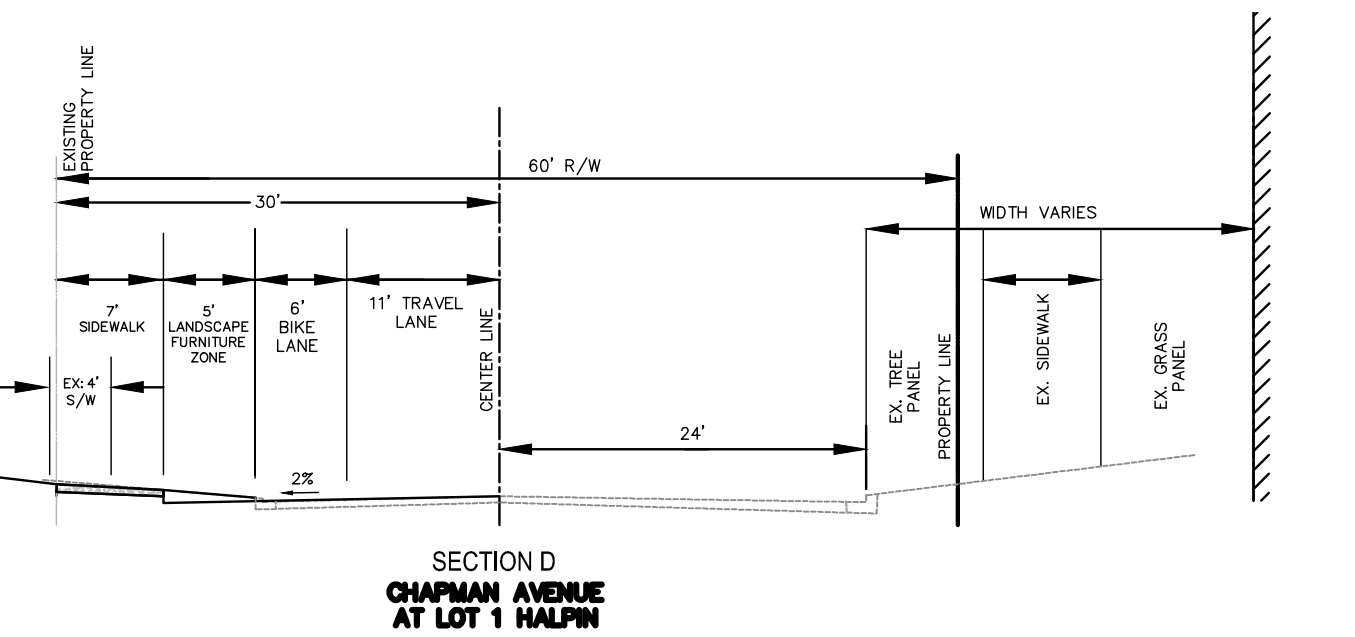
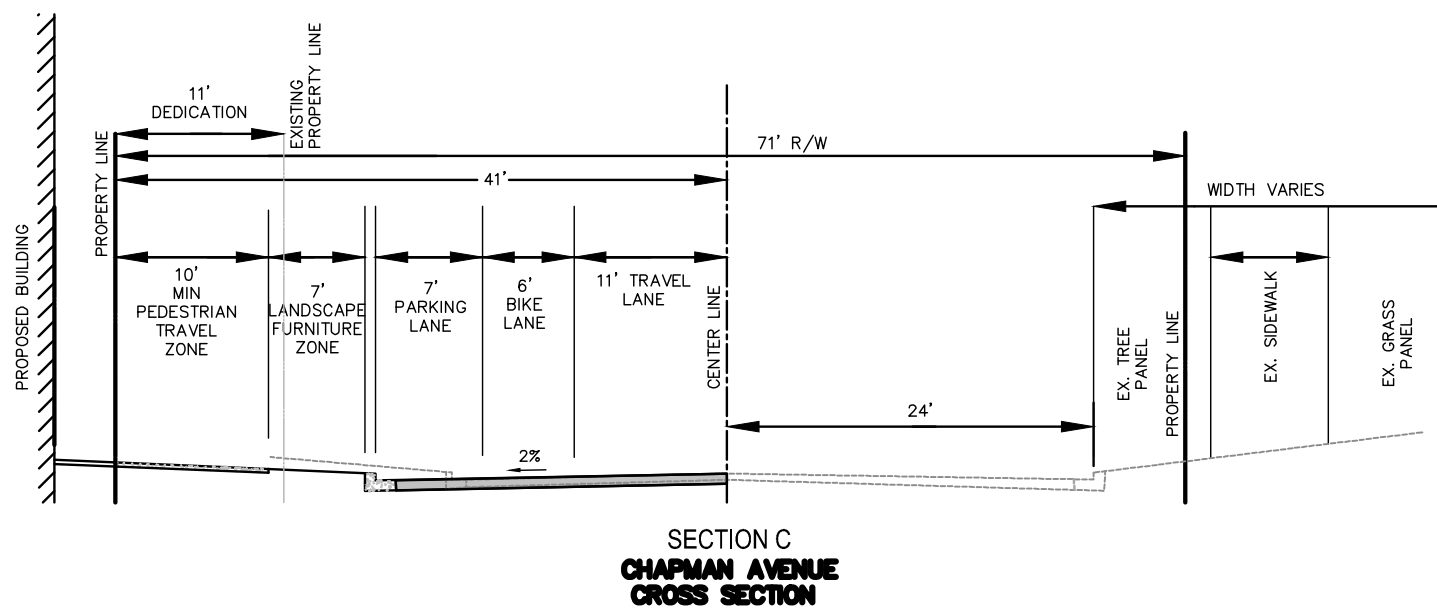
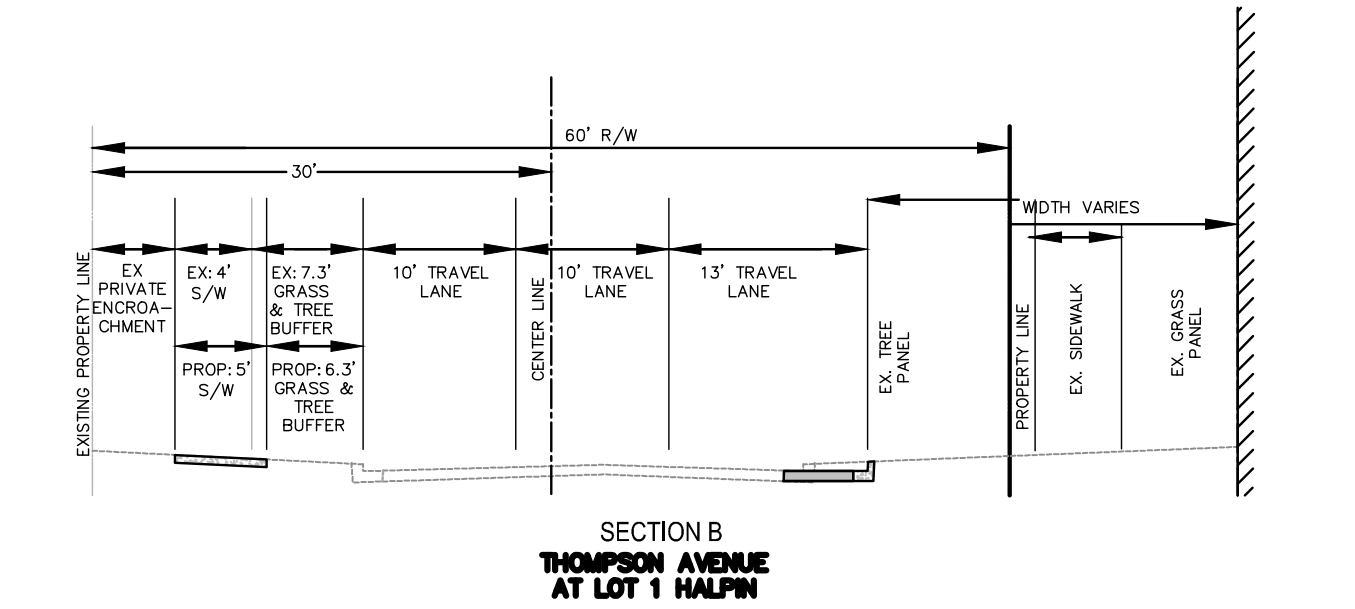
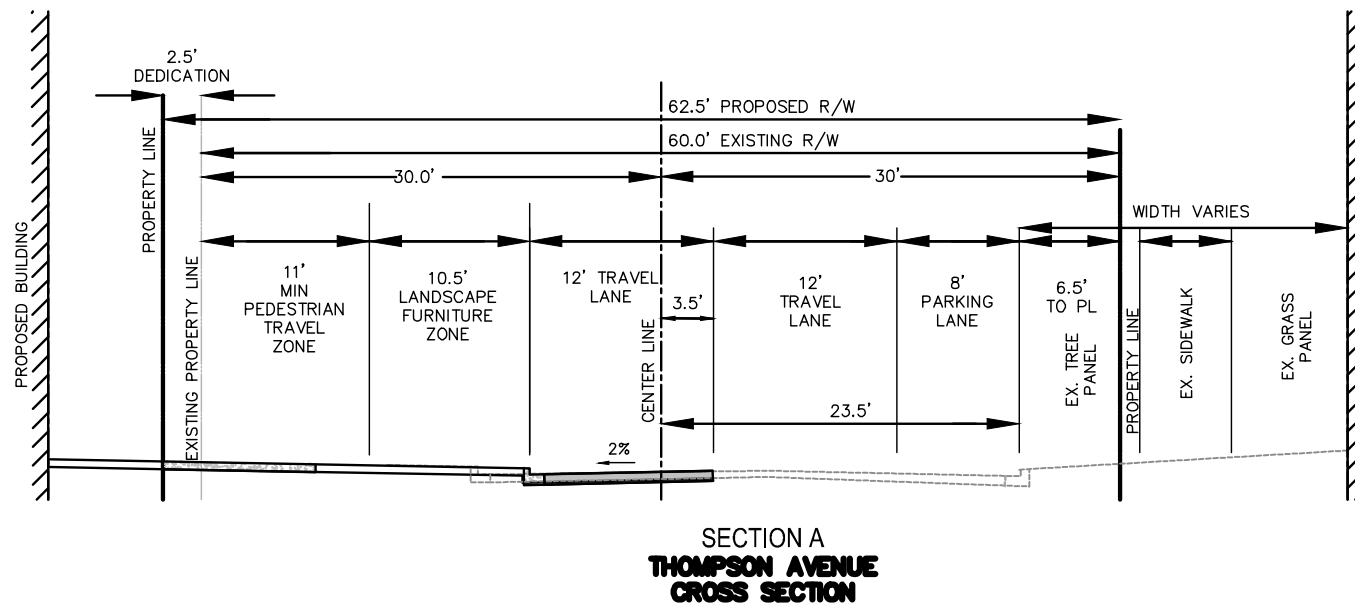
Community Planning &
Development Services
Received
12/14/2022



VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- THE PROPERTY IS 2.24 ACRES.
- THE PROPERTY IS ZONED **MXTD - Mixed-Use Transit District AND PD-TC, Twinbrook Commons**.
- THE SITE IS LOCATED ON WSSC MAP **216NE06**.
- THE SUBJECT PROPERTY IS LOCATED ON TAX ASSESSMENT MAP NO. **GQ63**, WITH TAX ACCOUNT NO. **04-00153095**.
- BOUNDARY AND TOPOGRAPHIC DATA UPDATE BY VIKA MARYLAND, LLC. IN 2021.
- THERE IS NO 100 YEAR FLOODPLAIN LOCATED ON THE SITE.
- THERE IS NO STREAM VALLEY BUFFER LOCATED ON THE SITE.
- THERE ARE NO WETLANDS LOCATED ON THE SITE.



VIKA
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com

Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL CONSTRUCTION GROUP
2800 POST OAK BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPTON LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

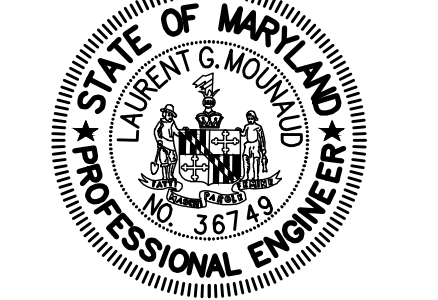
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022

1800 CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

SITE PLAN COVER SHEET

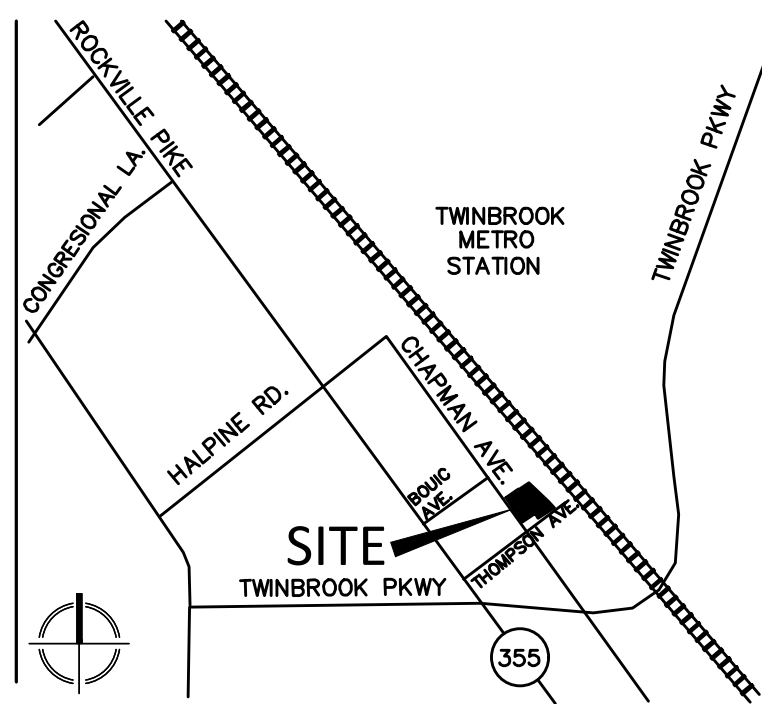
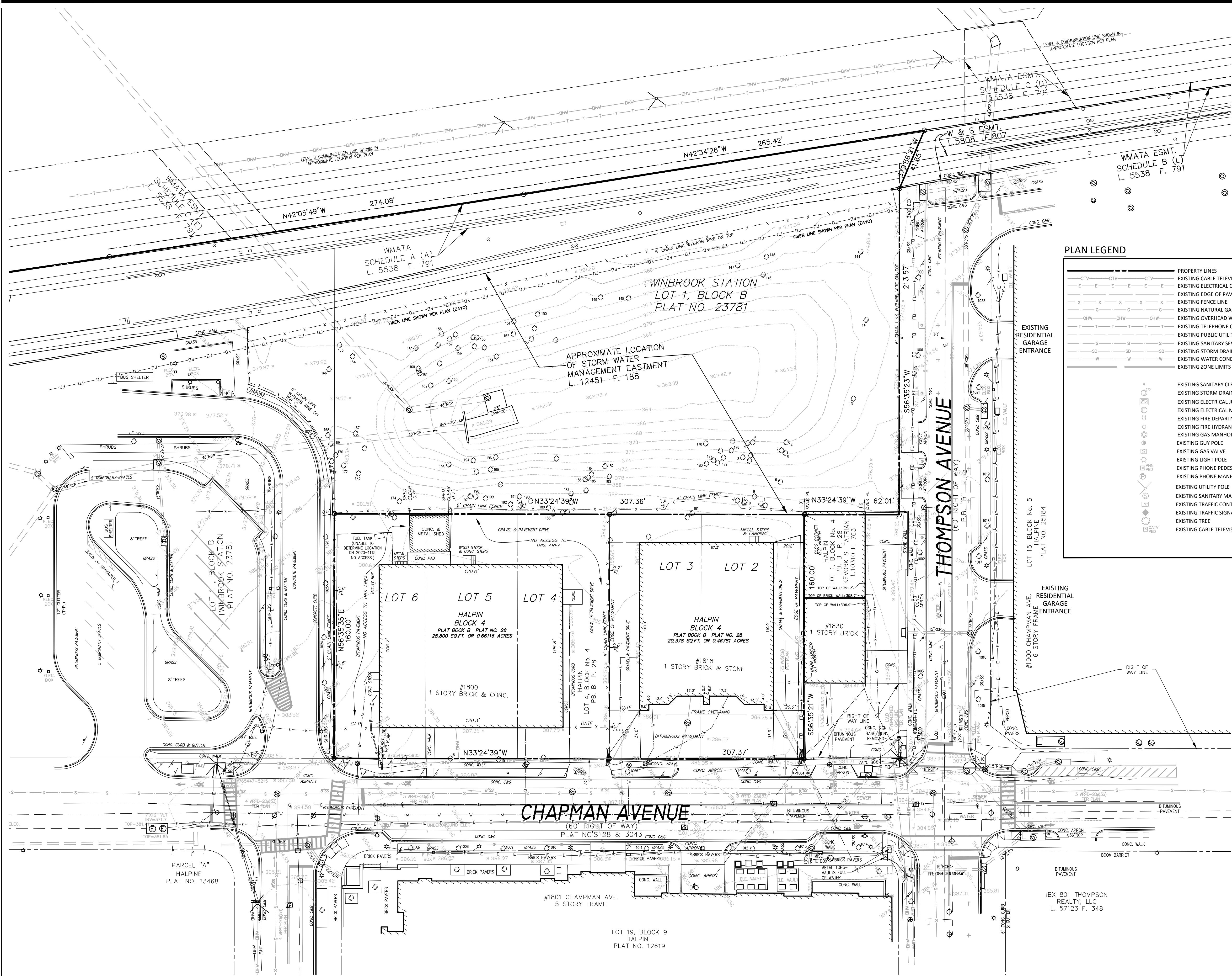
PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT J. MOUNALD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC
DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021
VIKA PROJECT: VM50024
DRAWING NO.: SP-1
SHEET NO.:



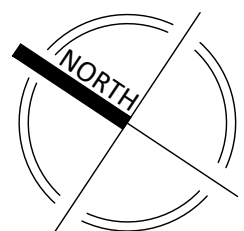
VICINITY MAP
SCALE: 1" = 2000'

PLAN LEGEND

CTV	CTV	CTV	PROPERTY LINES	EXISTING UNKNOWN UTILITY MANHOLE
E	E	E	EXISTING CABLE TELEVISION CONDUIT	EXISTING WATER METER
X	X	X	EXISTING ELECTRICAL CONDUIT	EXISTING WATER MANHOLE
G	G	G	EXISTING EDGE OF PAVEMENT	EXISTING WATER VALVE
OHW	OHW	OHW	EXISTING FENCE LINE	EXISTING BOLLARD
T	T	T	EXISTING NATURAL GAS CONDUIT	EXISTING SIGN POST
S	S	S	EXISTING OVERHEAD WIRES	EXISTING WOOD POST
SD	SD	SD	EXISTING TELEPHONE CONDUIT	EXISTING INLETS
W	W	W	EXISTING PUBLIC UTILITIES EASEMENTS	EXISTING CURB INLET
			EXISTING SANITARY SEWER CONDUIT	EXISTING CONCRETE
			EXISTING STORM DRAIN CONDUIT	EXISTING CORRUGATED METAL PIPE
			EXISTING WATER CONDUIT	EXISTING BUILDING
			EXISTING ZONE LIMITS	EXISTING ELECTRICAL TRANSFORMER
				EXISTING ASPHALT
				EXISTING EASEMENT
				EXISTING REINFORCED CONCRETE PIPE
				EXISTING CORRUGATED METAL PIPE
				EXISTING BUILDING RESTRICTION LINE
				EXISTING RIGHT-OF-WAY

Community Planning &
Development Services
Received
12/14/2022

0 15' 30' 60'
SCALE: 1" = 30'



PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS & ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

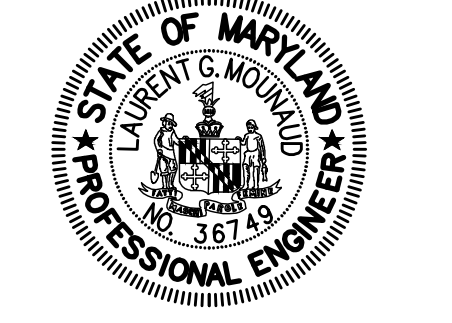
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

EXISTING
CONDITIONS
SITE PLAN

PROFESSIONAL SEAL



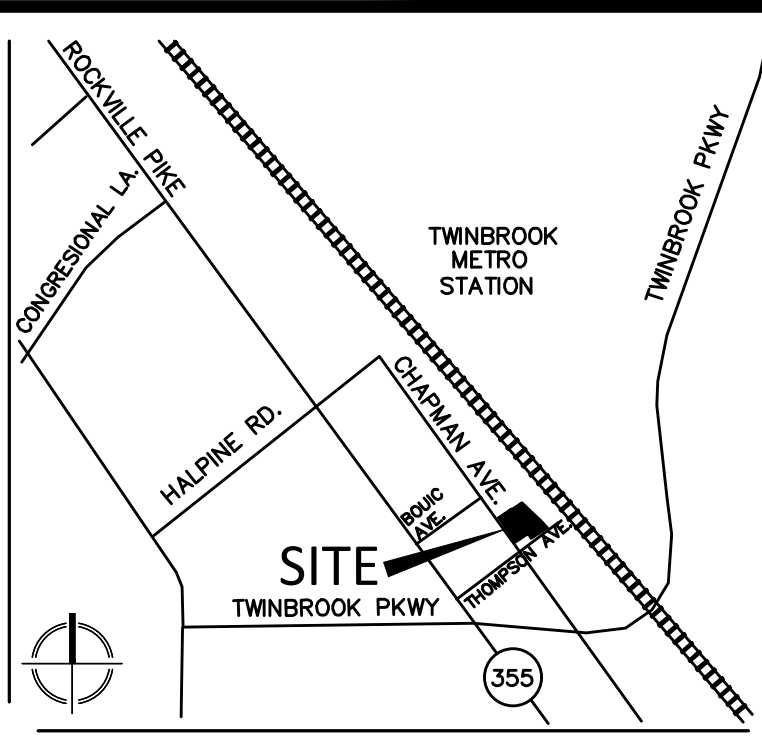
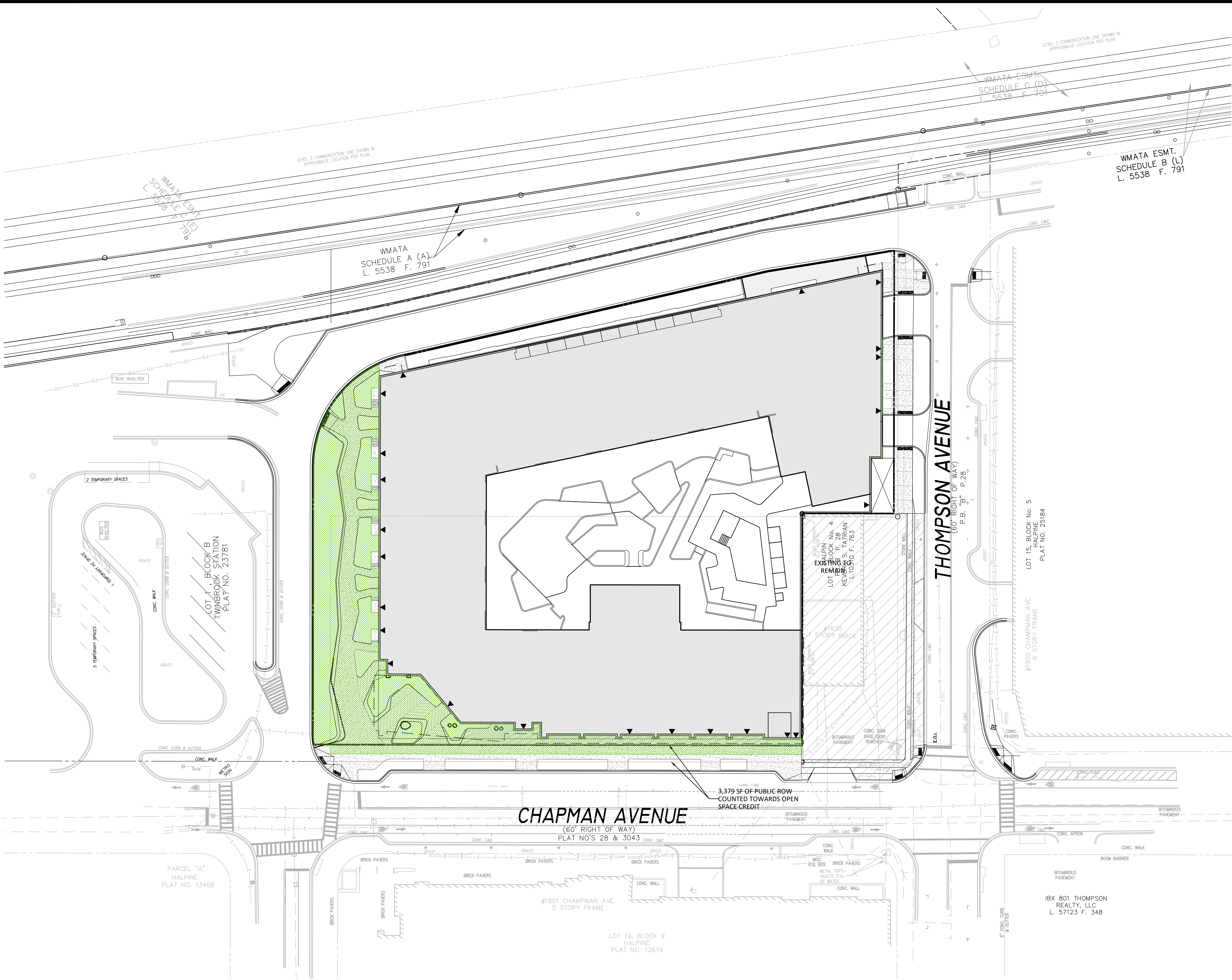
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT S. MOUNOUD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

THE INFORMATION, DESIGN AND CONTENT OF THESE
DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK
MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY
INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR
DOCUMENTS MUST NOT BE FORWARDED, SHARED,
COPIED, DIGITALLY CONVERTED, MODIFIED OR USED
FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR
WRITTEN AUTHORIZATION FROM VIK MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIK MARYLAND, LLC
DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021
VIKA PROJECT VM50024
DRAWING NO. SP-2
SHEET NO.

"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation. The
excavator is responsible for compliance with requirements of Chapter
36A of the Montgomery County Code.



Community Planning & Development Services
Received
12/14/2022

VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com

Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL CONSTRUCTION GROUP
2800 POST OAK BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022

1800 CHAPMAN

SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

OPEN AREA
SITE PLAN

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT G. MOUJAUD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC

DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021

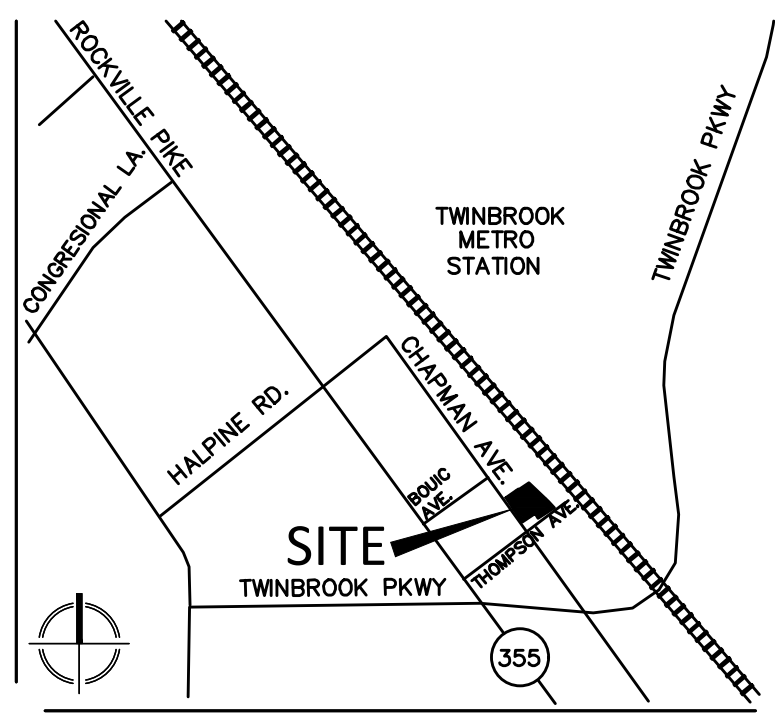
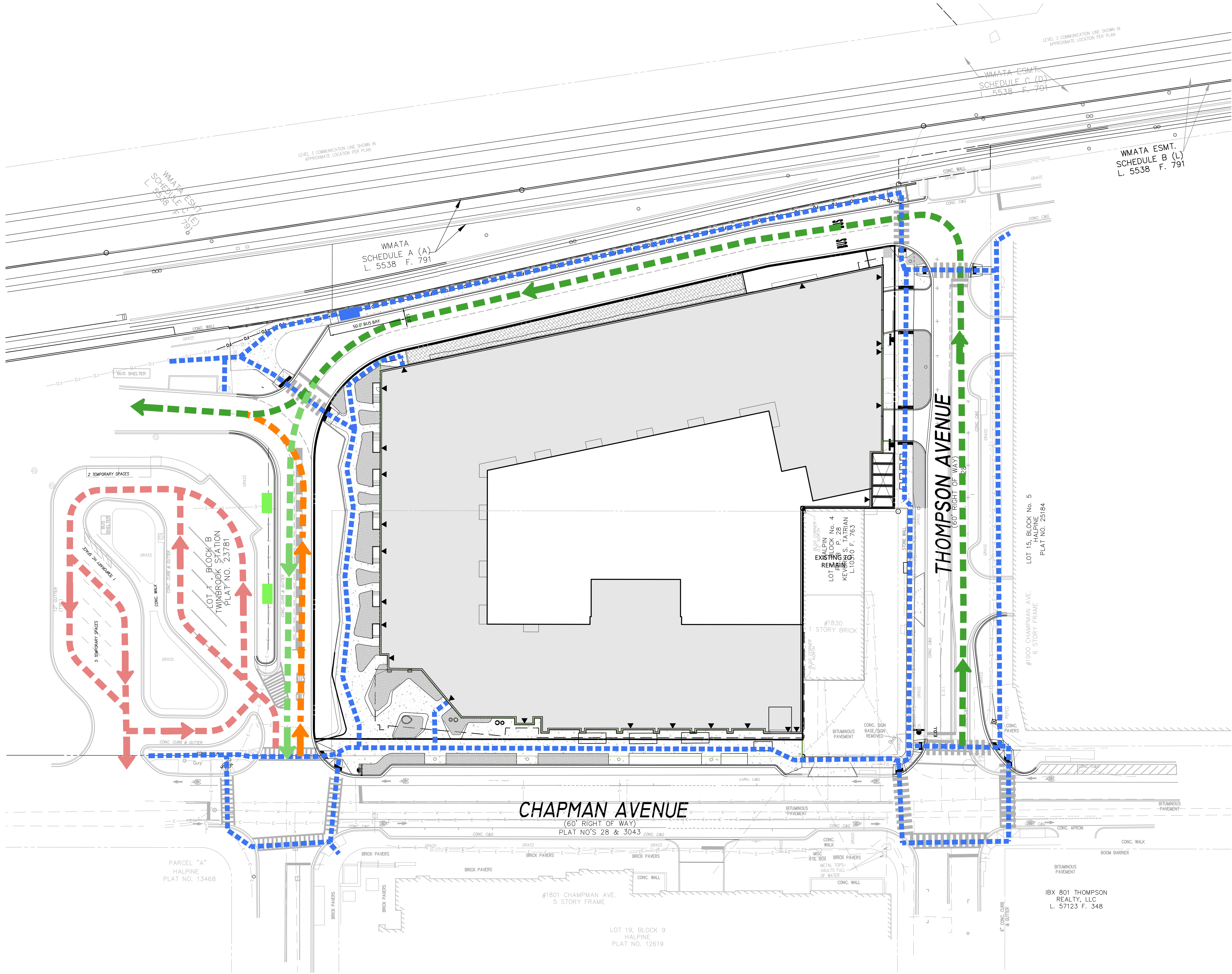
VIKA PROJECT VM50024
DRAWING NO. SP-4

SHEET NO. _____

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or <http://www.missutility.net> 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

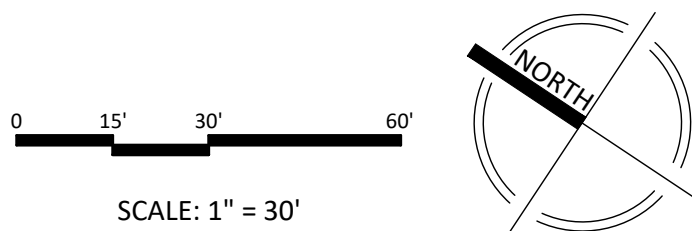
LEGEND				
	OPEN AREA/PUBLIC USE	14,622 SQ. FT. REQUIRED	13,000 SQ. FT. ON-SITE PROVIDED	1,800 SQ. FT. ROW PROVIDED
				14,800 SQ. FT. TOTAL PROVIDED



LEGEND

- INTERIM BUS CIRCULATION
- FUTURE BUS CIRCULATION
- EXISTING KISS & RIDE
- EXISTING BUS CIRCULATION
- PEDESTRIAN CIRCULATION
- PROPOSED BUS STOP
- FUTURE BUS STOPS

Community Planning & Development Services
Received
12/14/2022



Vika
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

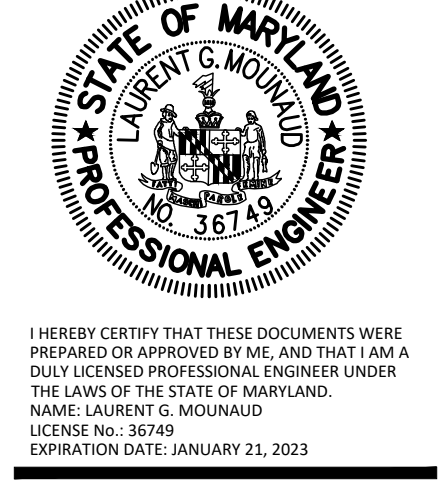
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP:GQ63

BUS
CIRCULATION
PLAN

PROFESSIONAL SEAL

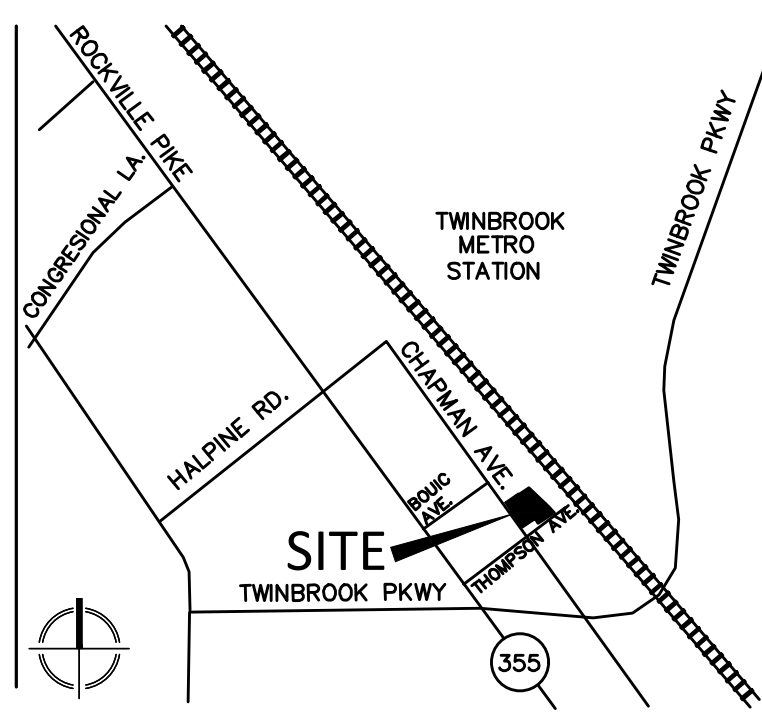
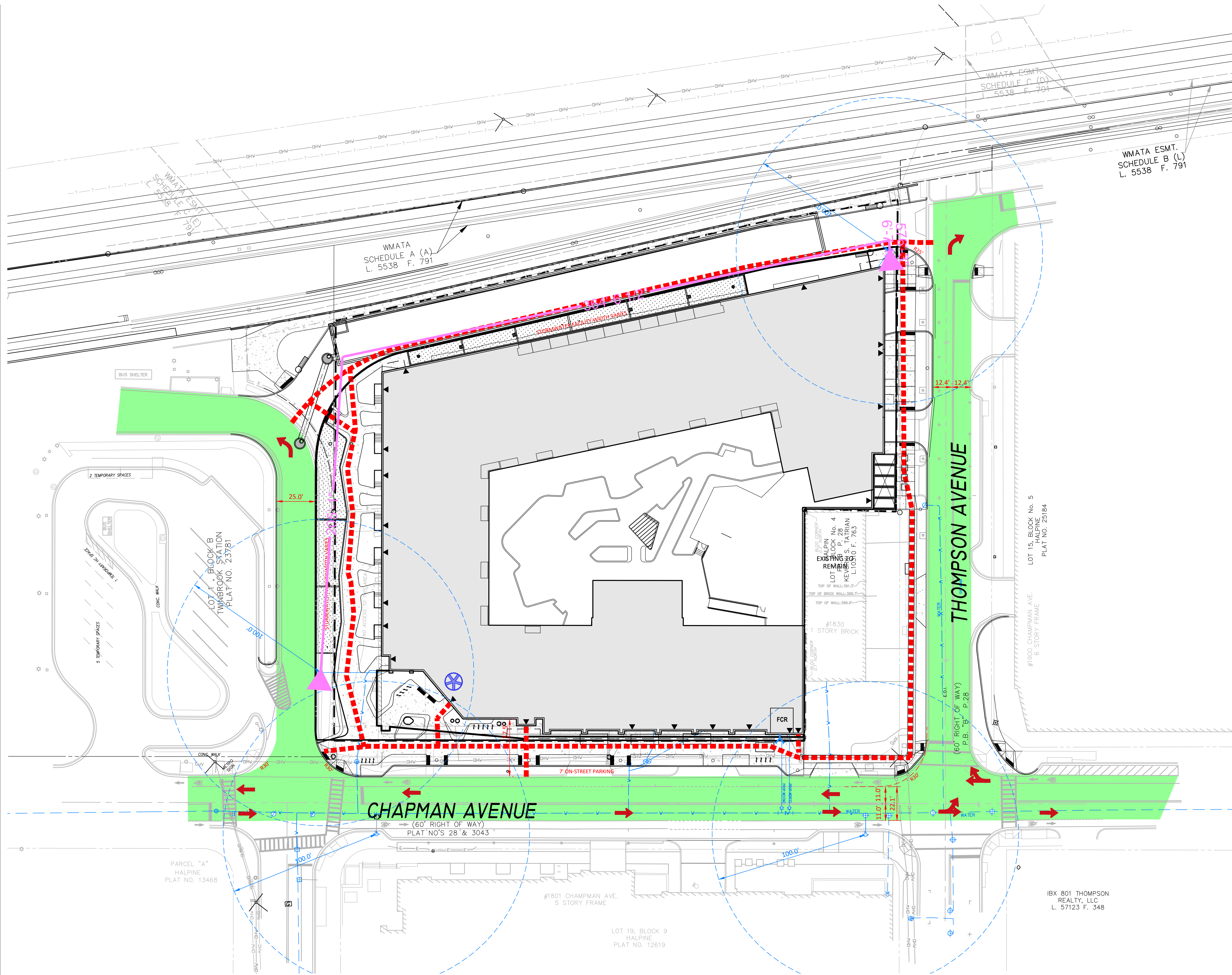


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT G. MOUNAUD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

© 2019 VIKA MARYLAND, LLC
DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021
VIKA PROJECT: VM50024
DRAWING NO.: SP-5
SHEET NO.:

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

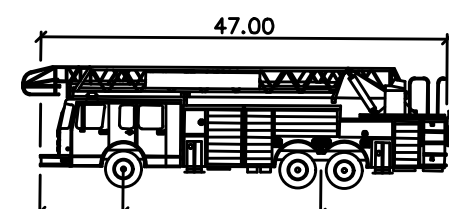
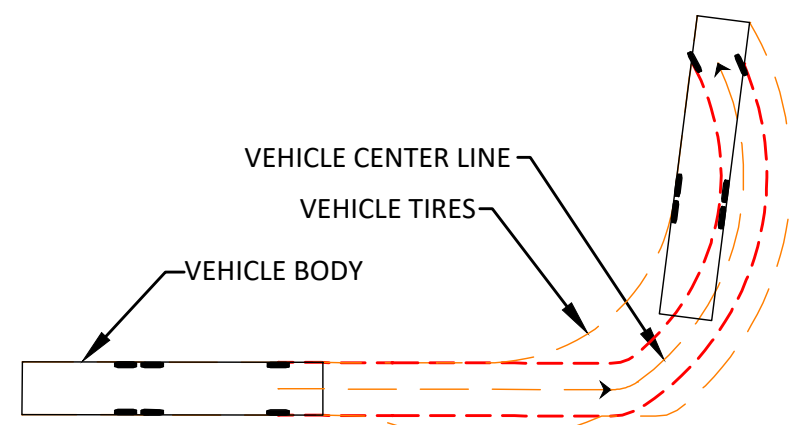
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.



Community Planning &
Development Services
Received
12/14/2022

LEGEND

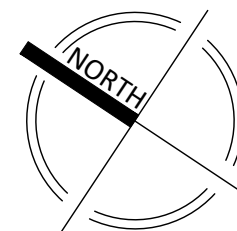
- MAIN ENTRANCE
- WATER LINE AND FITTING
- FIRE DEPARTMENT CONNECTION
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- BUILDING ENTRY
- FIRE TRUCK MOVEMENT (AT 729 TRUCK)
- FIRE CONTROL ROOM
- FIRE ACCESS PATH
- FIRE ACCESS FOOT PATH
- TYPICAL FIRE LANE SIGNAGE



AT29
Width : 8.25
Track : 8.25
Lock to Lock Time : 6.00
Steering Angle : 33.20

0 15' 30' 60'

SCALE: 1" = 30'



Vika
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

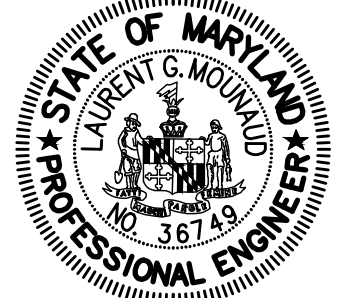
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

PRE-APPLICATION
SITE PLAN
FIRE ACCESS
PLAN

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT G. MOUNOUD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

THE INFORMATION, DESIGN AND CONTENT OF THESE
DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA
MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY
INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR
DOCUMENTS MUST NOT BE FORWARDED, SHARED,
COPIED, DIGITALLY CONVERTED, MODIFIED OR USED
FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR
WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC
DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021
VIKA PROJECT VM50024
DRAWING NO. SP-6
SHEET NO.

"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation. The
excavator is responsible for compliance with requirements of Chapter
36A of the Montgomery County Code.

LEGEND

	LIMITS OF SUBJECT PROPERTY		EX. TELEPHONE MANHOLE
	ADJACENT PROPERTY LINES		EX. GAS
	EX. SIGNIFICANT TREE ≥ 12"-29.9" DBH		EX. ELEC. MANHOLE
	EX. SPECIMEN TREE ≥ 30" DBH		EX. STORM MANHOLE
			EX. SEWER MANHOLE
			EX. WATER VALVE
			EX. FIRE HYDRANT
			EX. STREET LIGHT
	EX. TREE CANOPY EDGE (NOT FOREST)		PROP. CANOPY TREE
	TREE WITH NO CREDIT		PROP. EVERGREEN TREE
	SOIL TYPE		PROP. ORNAMENTAL & SMALL EVERGREEN TREE
	SLOPES 25% AND GREATER		STREET TREE CREDIT
	EX. ELECTRICAL CONDUIT		FOREST CONSERVATION CREDIT
	EX. FENCE LINE		
	EX. OVERHEAD WIRES		
	EX. TELEPHONE/COMM. CONDUIT		
	EX. PUBLIC UTILITIES EASEMENTS		
	EX. SANITARY SEWER		
	EX. STORM DRAIN		
	EX. WATER LINE		
	EX. EDGE OF PAVEMENT		
	EX. CURB AND GUTTER		
	PROP. EDGE OF PAVEMENT		
	PROP. CURB AND GUTTER		
	PROP. LIMITS OF DISTURBANCE		

GENERAL NOTES

- THE SUBJECT SITE AREA IS 2.92 ACRES.
- THE SUBJECT PROPERTY IS ZONED MXTD AS WELL AS PD-TC (WMATA PORTION - SWM FACILITY AT THE NORTH)
- THE PROPERTY IS IDENTIFIED AS:

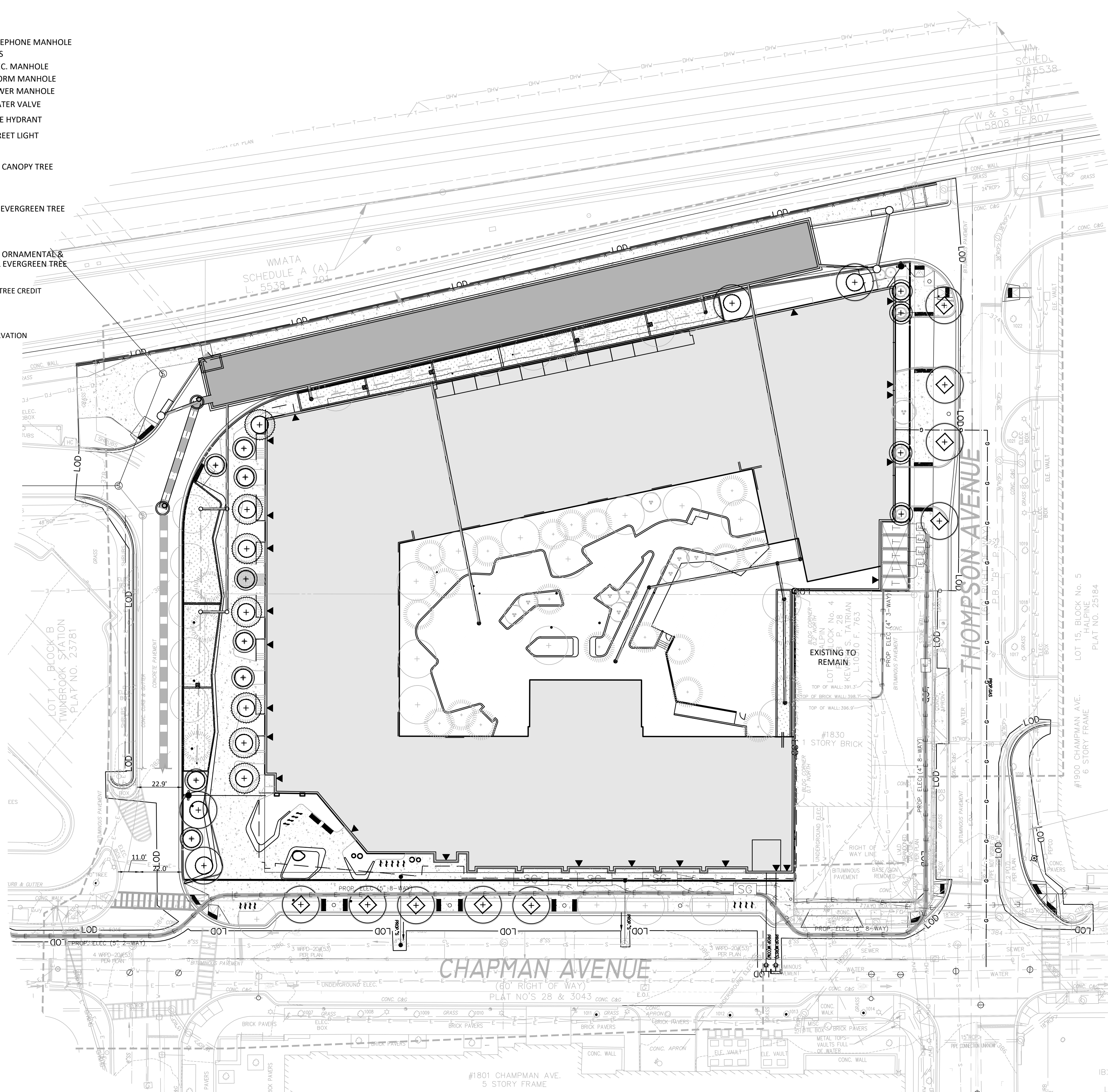
LOT/PARCEL	BLOCK	TAX ACCT NO.	LIBER & FOLIO	PLAT NO.
LOT 2	4	04-00153095	L 58429 F. 90	-
LOT 4	4	04-00143325	L 51915 F. 375	-
LOT 5	4	04-00143336	L 51915 F. 375	-
LOT 6	4	04-00143347	L 51915 F. 375	-
LOT 1/N313	B	04-03629774	L - F. -	23781
- THE PROPERTY IS LOCATED ON WSSC MAP 216NW06.
- THE SUBJECT PROPERTY IS LOCATED IN THE LOWER ROCK CREEK WATERSHED, A USE CLASS I/I-P STREAM. THERE IS NO MAPPED MNCPPC OR FEMA 100 YEAR FLOODPLAIN.
- THERE ARE NO PERENNIAL OR INTERMITTENT STREAMS, SEEPS, OR SPRINGS OR THEIR ASSOCIATED BUFFERS LOCATED ON, OR WITHIN 200' OF THE SUBJECT PROPERTY BASED ON PERSONAL OBSERVATIONS ON-SITE ON NOVEMBER 5, 2020.
- PER U.S.FISH & WILDLIFE SERVICES' NATIONAL WETLANDS INVENTORY ON-LINE MAPPER (HTTP://WWW.FWS.GOV/WETLANDS/DATA/ MAPPER.HTML), MARYLAND'S ENVIRONMENTAL RESOURCES AND LAND INFORMATION NETWORK (MERLIN) (HTTP://WWW.MDMERLIN.NET/), AND FIELD VERIFICATION, THERE ARE NO WETLANDS OR THEIR ASSOCIATED BUFFERS LOCATED ON THE SUBJECT PROPERTY OR WITHIN THE REMAINDER OF THE NRI STUDY AREA. ACCESSED ON NOVEMBER 6, 2020.

RESOURCE DATA TABLE

ACREAGE OF TRACT (GROSS AREA)	2.24
ACREAGE OF TRACT REMAINING IN AGRICULTURAL USE	0.00
ACREAGE OF TOTAL EXISTING FOREST	0.00
ACREAGE OF 100-YR FLOODPLAINS	0.00
ACREAGE OF FOREST W/IN 100-YR FLOODPLAINS	0.00
ACREAGE OF WETLANDS	0.00
ACREAGE OF FOREST WITHIN WETLANDS	0.00
ACREAGE OF ENVIRONMENTAL BUFFERS	0.00
ACREAGE OF FOREST WITHIN ENVIRONMENTAL BUFFERS	0.00
LINEAR FEET AND AVERAGE WIDTH OF ENVIRONMENTAL BUFFER PROVIDED	Linear Feet: 0' Average Width: 0'

MINIMUM TREE COVER

MINIMUM TREE COVER			
TRACT AREA SF	ZONING	MTC REQUIRED %	MTC SF REQUIRED
97,480	MXTD AND PD-TC	10	9,748

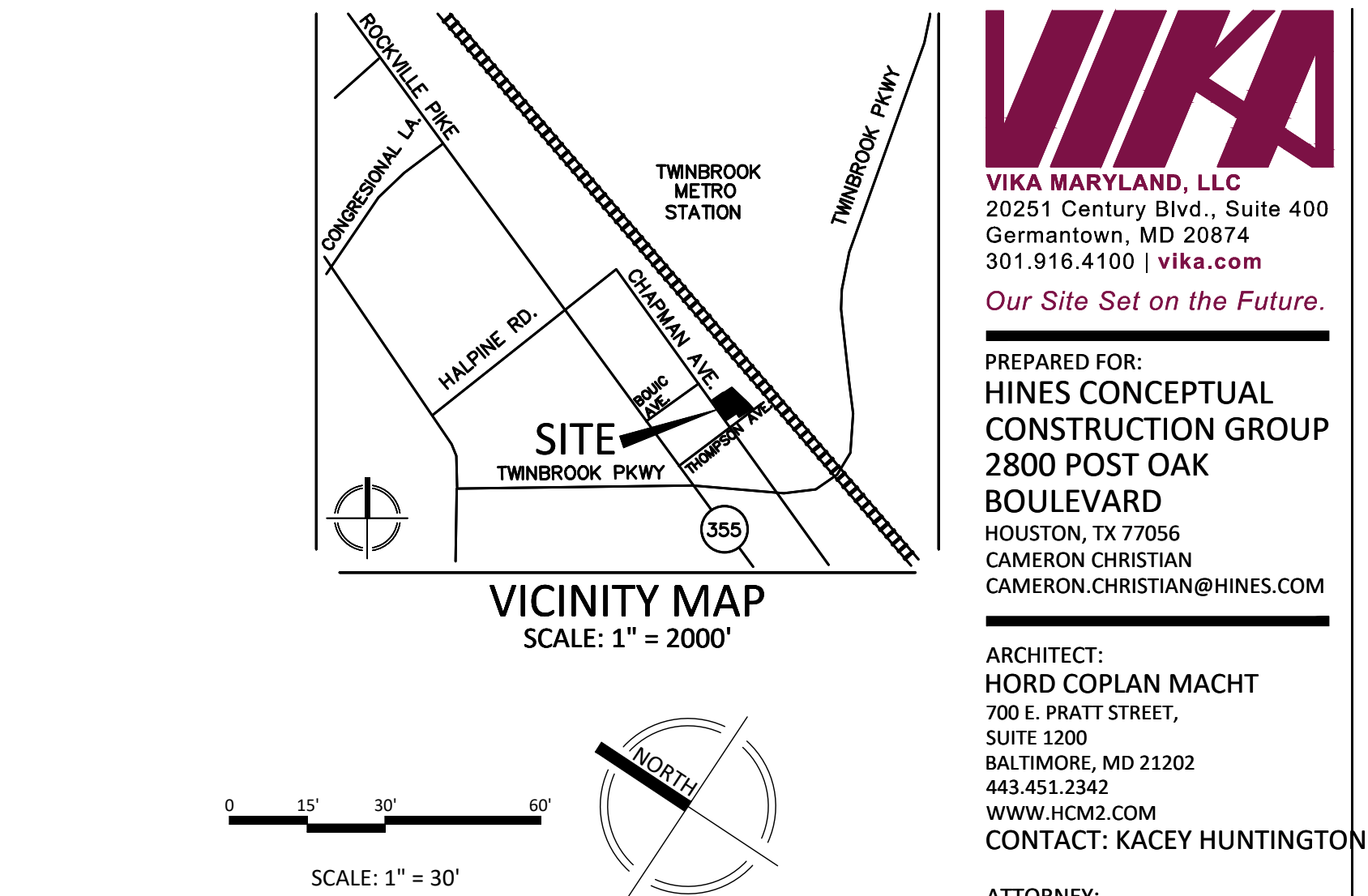


PROPOSED PLANTING TABLE

FTPO TREE CREDIT CHART - NEW PLANTINGS													
QUANTITY	TREE TYPE	COMMON NAME	SIZE (I.D. SHADE, LG. DBH, SM. EG.)	ROOT BALL TYPE	SIZE: CAL/HT	UNDERSTANDING	REPLACEMENT	REPLACEMENT	REPLACEMENT	REPLACEMENT	REPLACEMENT	REPLACEMENT	REPLACEMENT
9	Street Trees (not to exceed 25% of total requirement)												
9	Chapman Avenue - Shade Tree	TRD	LG SHADE	B&B	3.5"	0	0	0	0	4	5	0	2000
5	Thompson Ave - Shade Tree	TRD	LG SHADE	B&B	3.5"	0	0	0	0	1	4	0	1600
4	On-Site Trees												
4	Shade Trees	TRD	LG SHADE	B&B	3.5"	0	0	0	0	0	0	4	1600
8	Ornamental Trees	TRD	ORN	B&B	3.5"	0	0	0	0	0	0	8	1600
7	Large Evergreen Trees	TRD	LG EVG	B&B	8"-H	0	0	0	0	0	0	7	2800
5	Small Evergreen Trees	TRD	SM EVG	B&B	8"-H	0	0	0	0	0	0	4	800
TOTALS						0	0	0	0	5	9	23	10,400
REQUIREMENTS						N/A							14,821
FEE IN LIEU OPTION* 30%											4,411 SF		9,748

*PER PROJECT PLAN APPROVAL THE PROJECT IS ALLOWED UP TO 60% OF THE AFFORESTATION REQUIREMENT TO BE MET VIA FEE-IN-LIEU.

SIGNIFICANT TREE REPLACEMENT REQUIRED = 136 TO BE MET WITH FEE-IN-LIEU



SOILS TABLE

SYMBOL	SOIL*	CHARACTERISTICS
	PRIME AGRICULTURE**	HIGHLY ERODIBLE***
	SERPENTINIC****	HYDRIC GROUP*
	K FACTOR****	
400	Urban Land	NO NO NO D 0.49

SOURCES: *USDA NRCS WEB SOIL SURVEY (http://websoilsurvey.sc.egov.usda.gov)
**PAGE 140 TABLE 5 MONTGOMERY COUNTY, MARYLAND SOIL SURVEY
***URBAN OR BUILT-UP AREAS OF THE PRIME AGRICULTURAL SOILS ARE NOT CONSIDERED PRIME FARMLAND PER THE MONTGOMERY COUNTY, MARYLAND SOIL SURVEY PAGE 140 TABLE 5
****PAGE OF APPENDIX C ERODIBLE SOILS LIST IN MONTGOMERY COUNTY ENVIRONMENTAL GUIDELINES
*****PAGE 120 MONTGOMERY COUNTY, MARYLAND SOIL SURVEY
*****TABLE 16 PAGE 212 MONTGOMERY COUNTY, MARYLAND SOIL SURVEY

FCP WORKSHEET

CITY OF ROCKVILLE FOREST CONSERVATION WORKSHEET
Twinbrook Hines (50024-J)

NET TRACT AREA:

- A. Total tract area 2.24
B. Deductions (land dedication not in construction on this plan, other deductions - specify) 0.00
C. Net Tract Area 2.24

LAND USE CATEGORY:

ZONING:	R-400, R-200	R-90, R-75, R-60, R-150	RMD10, RMD15, RMD25	FL, LH, RPR, RPC, MXB, MXE, MXCD, MXTD, PD	Park
Place a "1" under the column corresponding to the correct zone of the site (choose only one)	0	0	0	1	0

- D. Afforestation Threshold ... 15% x C = 0.34
E. Conservation Threshold ... 15% x C = 0.34

EXISTING FOREST COVER:

- F. Existing forest cover (within net tract) (Existing easement) 0.00
G. Area of forest above conservation threshold 0.00

BREAK EVEN POINT:

- H. Breakeven Point (amount of forest retained so that no mitigation is required) 0.00
I. Clearing permitted without mitigation 0.00

PROPOSED FOREST CLEARINGS:

- J. Total area of forest to be cleared 0.00
K. Total area of forest to be retained 0.00

PLANTING REQUIREMENTS:

- L. Reforestation for clearing above conservation threshold 0.00
M. Reforestation for clearing below conservation threshold 0.00
N. Credit for retention above conservation threshold 0.00
P. Total reforestation required 0.00
Q. Total afforestation required 0.34
R. Total planting requirement 0.34

Community Planning & Development Services
Received
12/14/2022

Vika
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPODEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022

**1800
CHAPMAN**
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

PRELIMINARY
FOREST
CONSERVATION
PLAN

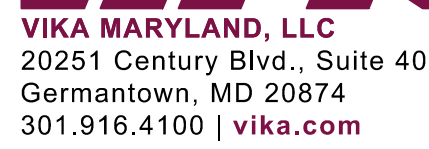
PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED, REGISTERED
LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
LA NAME: CHANDLER BEAUFORT, RLA
LICENSE NUMBER: 33117
EXPIRATION DATE: SEPTEMBER 7, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE
DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA
MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY
INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR
DOCUMENTS MUST NOT BE FORWARDED, SHARED,
COPIED, DIGITALLY CONVERTED, MODIFIED OR USED
FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR
WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC
DRAWN BY: CLC
DESIGNED BY: CB
DATE ISSUED: 10/14/2021
VIKA
PROJECT
DRAWING
NO.
SHEET NO. PFCP-1

MISSISSIPPI
"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"
The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation. The
excavator is responsible for compliance with requirements of Chapter
36A of the Montgomery County Code.



PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

**LANDSCAPE ARCHITECT:
DESIGN WORKSHOP**
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP:GQ63

PRELIMINARY
FOREST
CONSERVATION PLAN
TREE REMOVAL

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED, REGISTERED
LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
LA NAME: CHANDA BEAUFORT, RLA
LICENSE NUMBER: 33112
EXPIRATION DATE: SEPTEMBER 7, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWING MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKI MARYLAND, LLC

DRAWN BY: _____

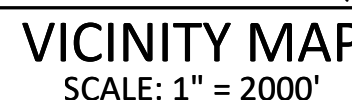
DESIGNED BY: _____

DATE ISSUED: _____

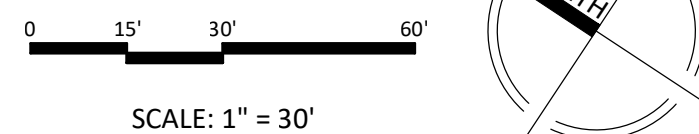
VIKA
PROJECT

DRAWING
NO.

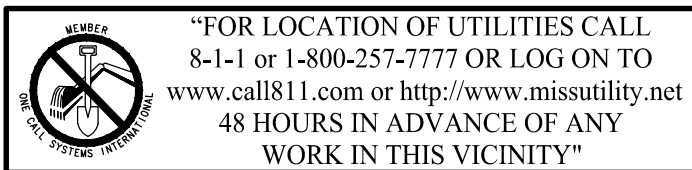
SHEET NO. PFCP-2



Community Planning &
Development Services
Received
12/14/2022



	SUBJECT PROPERTY		PROPOSED BIORETENTION		EXISTING TREE CANOPY (NOT FOREST)		EXISTING SPECIMEN TREE 30" OR GREATER DBH W/CRZ SHOWN
	100' OFFSET		EXISTING FOREST		EXISTING TREE < 24" DBH		
	ADJACENT PROPERTY/LOT LINES		EXISTING TREE CANOPY (NOT FOREST)		EXISTING TREE TO BE REMOVED		EXISTING SIGNIFICANT TREE 12"-29.9" DBH W/CRZ SHOWN
	EX. 10' CONTOUR		PROPOSED SEWER		SIGNIFICANT REPLACEMENT TREE CREDIT		
	EX. 2' CONTOUR		PROPOSED WATER		FOREST CONSERVATION CREDIT		
	PROPOSED 10' CONTOUR		PROPOSED STORM DRAIN				
	PROPOSED 2' CONTOUR						
	EXISTING CURB & GUTTER						
	PROPOSED CURB & GUTTER						
	LIMITS OF DISTURBANCE						
	PROPOSED SIDEWALK						
							TREE TO BE REMOVED



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

NOTICE

UTILITY

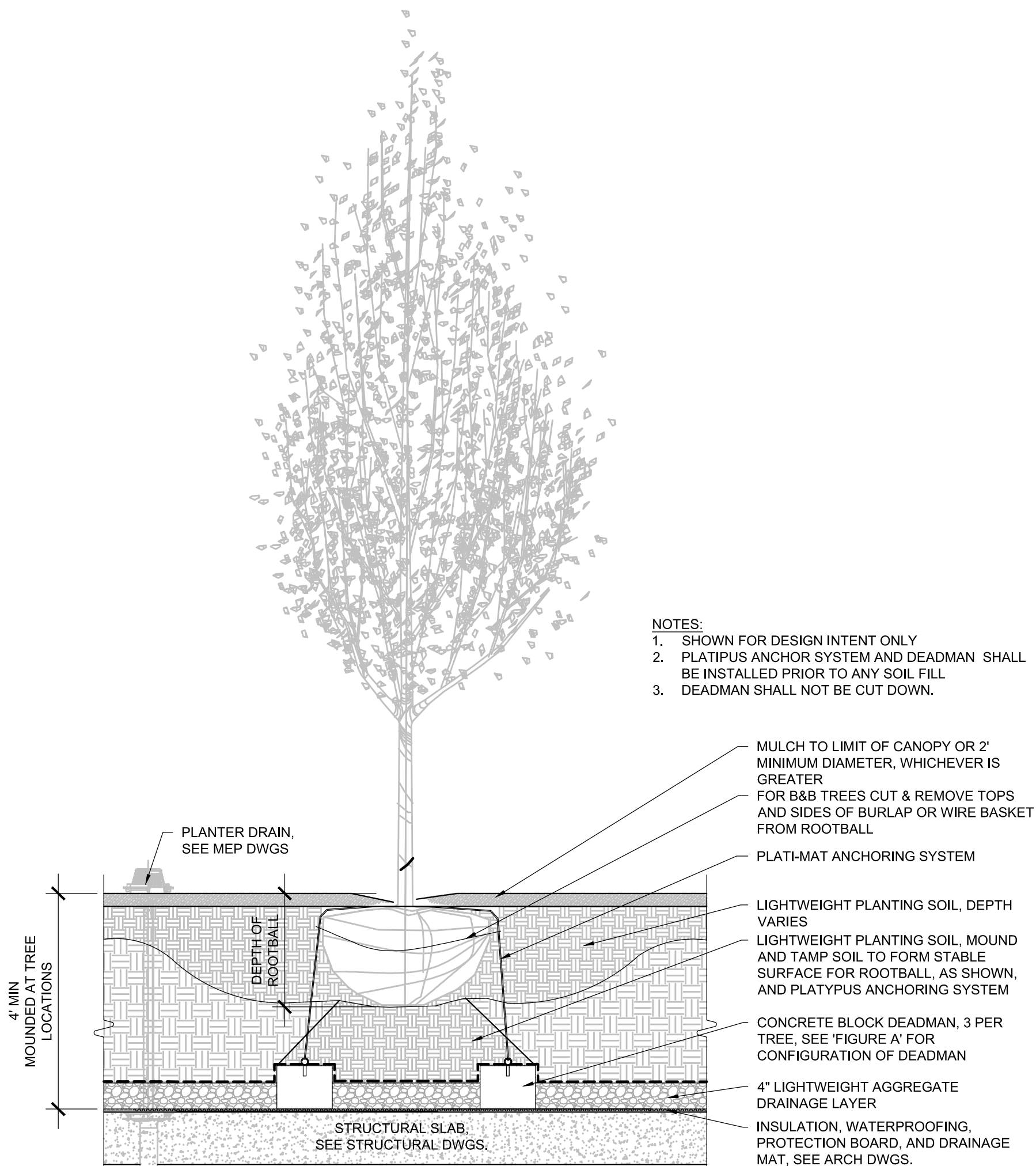
PROTECT

EXISTING

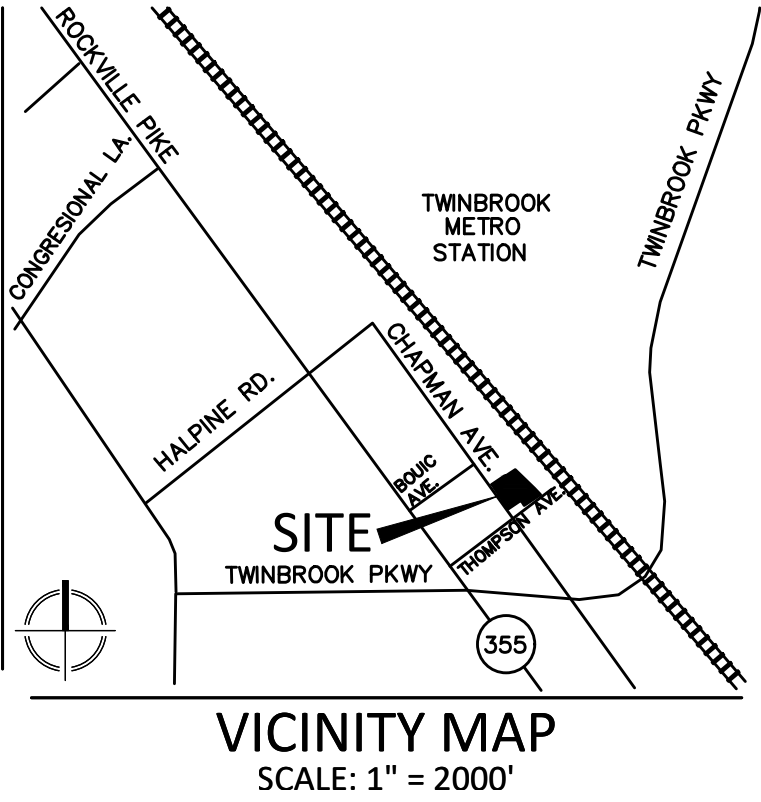
“FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY”

The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation. The
excavator is responsible for compliance with requirements of Chapter
36A of the Montgomery County Code.

PROPOSED TREE SUMMARY CHART										
PFCP/FFCP										
#	SCIENTIFIC NAME	COMMON NAME	DBH	Area CRZ	CTLA %	COR CTLA %	Remarks	PREVIOUS FTP PLAN #	PREV. CREDIT	
DISPOSITION										
OWED										
REPLACEMENT TREES REQD.										
CREDIT TYPE										
MAXIMUM CREDIT AMOUNT										
LANDSCAPE SETTING ≥12" DBH (NO EXISTING CREDIT)										
3	Robinia pseudoacacia	Black Locust	17	2043	75					Remove
4	Robinia pseudoacacia	Black Locust	18	2290	75					Remove
5	Robinia pseudoacacia	Black Locust	14	1385	75					Remove
6	Robinia pseudoacacia	Black Locust	15	1590	75					Remove
7	Robinia pseudoacacia	Black Locust	25	4418	68					Remove
8	Robinia pseudoacacia	Black Locust	16	1810	78					Remove
9	Robinia pseudoacacia	Black Locust	12	1018	72					Remove
10	Robinia pseudoacacia	Black Locust	14	1385	68					Remove
11	Robinia pseudoacacia	Black Locust	12	1018	72					Remove
12	Robinia pseudoacacia	Black Locust	18	2552	78					Remove
13	Robinia pseudoacacia	Black Locust	26	4778	75					Remove
14	Juniperus virginiana	Redcedar	12	1018	75					Remove
15	Acer rubrum	Red Maple	21	3117	56					Remove
16	Acer rubrum	Red Maple	23	3739	41					Remove
17	Acer rubrum	Red Maple	32	7238	50					Remove
144	Pinus strobus	White Pine	21	3117	72					Remove
145	Robinia pseudoacacia	Black Locust	21	3117	66					Remove
146	Pinus strobus	White Pine	18	2290	75					Remove
147	Pinus strobus	White Pine	25	4418	75					Remove
148	Pinus strobus	White Pine	30	6362	78					Remove
149	Pinus strobus	White Pine	29	5945	78					Remove
150	Robinia pseudoacacia	Black Locust	23	3739	81					Remove
151	Robinia pseudoacacia	Black Locust	12	1018	81					Remove
152	Robinia pseudoacacia	Black Locust	14	1385	81					Remove
153	Robinia pseudoacacia	Black Locust	12	1018	81					Remove
154	Robinia pseudoacacia	Black Locust	14	1385	88					Remove
155	Robinia pseudoacacia	Black Locust	13	1195	84					Remove
156	Robinia pseudoacacia	Black Locust	12	1018	88					Remove
157	Pinus strobus	White Pine	14	1385	81					Remove
158	Pinus strobus	White Pine	12	1018	72					Remove
159	Pinus strobus	White Pine	21	3117	75					Remove
160	Robinia pseudoacacia	Black Locust	14	1385	72					Remove
161	Robinia pseudoacacia	Black Locust	12	1018	69					Remove
162	Robinia pseudoacacia	Black Locust	13	1195	69					Remove
163	Robinia pseudoacacia	Black Locust	13	1195	84					Remove
164	Pinus strobus	White Pine	23	3739	69					Remove
165	Pinus strobus	White Pine	18	2290	69					Remove
166	Pinus strobus	White Pine	20	2827	75					Remove
167	Pinus strobus	White Pine	18	2290	75					Remove
168	Populus deltoides	Cottonwood	21	3117	75					Remove
169	Populus deltoides	Cottonwood	25	4418	72					Remove
170	Populus deltoides	Cottonwood	35	8659	72					Remove
171	Morus alba	White Mulberry	15	1590	69					Remove
172	Pinus strobus	White Pine	18	2290	75					Remove
173	Pinus strobus	White Pine	19	2552	75					Remove
174	Ulmus rubra	Slippery Elm	12	1018	75					Remove
175	Acer saccharinum	Silver Maple	32	7238	78					Remove
176	Robinia pseudoacacia	Black Locust	13	1195	81					Remove
177	Robinia pseudoacacia	Black Locust	12	1018	72					Remove
178	Robinia pseudoacacia	Black Locust	27	5153	78					Remove
179	Robinia pseudoacacia	Black Locust	16	1810	75					Remove
180	Robinia pseudoacacia	Black Locust	16	1810	75					Remove
181	Robinia pseudoacacia	Black Locust	18	2290	69					Remove
182	Populus deltoides	Cottonwood	26	4778	69					Remove
183	Populus deltoides	Cottonwood	24	4072	75					Remove
184	Robinia pseudoacacia	Black Locust	12	1018	75					Remove
185	Robinia pseudoacacia	Black Locust	12	1018	72					Remove
186	Robinia pseudoacacia	Black Locust	13	1195	75					Remove
187	Robinia pseudoacacia	Black Locust	12	1018	78					Remove
188	Robinia pseudoacacia	Black Locust	14	1385	81					Remove
189	Robinia pseudoacacia	Black Locust	15	1590	81					Remove
190	Robinia pseudoacacia	Black Locust	13	1195	75					Remove
191	Robinia pseudoacacia	Black Locust	13	1195	78					Remove
192	Robinia pseudoacacia	Black Locust	13	1195	78					Remove
193	Robinia pseudoacacia	Black Locust	18	2290	75					Remove
194	Robinia pseudoacacia	Black Locust	13	1195	75					Remove
195	Robinia pseudoacacia	Black Locust	12	1018	78					Remove
196	Robinia pseudoacacia	Black Locust	13	1195	78					Remove
197	Robinia pseudoacacia	Black Locust	18	2290	72					Remove
198	Robinia pseudoacacia	Black Locust	12	1018	75					Remove
199	Robinia pseudoacacia	Black Locust	13	1195	72					Remove
200	Morus alba	White Mulberry	14	1385	56					Remove
201	Pyrus calleryana	Callery Pear	20	2827	59					Remove
202	Prunus serotina	Black Cherry	15	1590	50					Remove
203	Morus alba	White Mulberry	20	2827	63					Remove
1023	Platanus occidentalis	American Sycamore	20	2827	81					Remove
1024	Platanus occidentalis	American Sycamore	17	2043	81					Remove
1025	Platanus occidentalis	American Sycamore	27	5153	81					Remove
1026	Platanus occidentalis	American Sycamore	16	1810	84					Remove
STREET TREES OF ANY SIZE; STREET TREES MAY HAVE PRIOR FC CREDIT (Tree number must include F if previous FC credit was assigned)										
1000	Platanus x. acerifolia	American Sycamore	12	1018	84					Remove
1001	Platanus x. acerifolia	American Sycamore	11	855	81					Remove
1002	Platanus x. acerifolia	American Sycamore	12	1018	81					Save
1003	Platanus x. acerifolia	American Sycamore	9	573	81					Save
1004	Prunus spp.	Ornamental Cherry	23	3739	44					Remove
1005	Prunus spp.	Ornamental Cherry	16	1810	44					Remove
1006	Prunus spp.	Ornamental Cherry	27	5153	47					Remove
1007	Quercus imbricaria	Shingle Oak	5	177	81					Save
1008	Quercus imbricaria	Shingle Oak	5	177	88					Save
1009	Quercus imbricaria	Shingle Oak	5	177	88					Save
1010	Quercus imbricaria	Shingle Oak	5	177	88					Save
1011	Quercus imbricaria	Shingle Oak	5	177	88					Save
1012	Quercus imbricaria	Shingle Oak	5	177	88					Save
1013	Quercus imbricaria	Shingle Oak	5	177	88					Save
1014	Quercus imbricaria	Shingle Oak	5	177	91					Save
1015	Platanus occidentalis	American Sycamore	6	64	88					Save
1016	Platanus occidentalis	American Sycamore	3	64	88					Save
1017	Platanus occidentalis	American Sycamore	3	64	84					Save
1018	Platanus occidentalis	American Sycamore	3	64	85					Save
1019	Platanus occidentalis	American Sycamore	3	64	84					Save
1018	Platanus occidentalis	American Sycamore	3	64	84					Save
1021	Platanus occidentalis	American Sycamore	3	64	88					Save
1022	Platanus occidentalis	American Sycamore	3	64	81					Save
1027	Platanus occidentalis	American Sycamore	19	2552	84					Remove
1028	Platanus occidentalis	American Sycamore	12	1018	81					Save
TOTAL SIG TREE REMOVED										
TOTAL SIG TREE REPLACEMENTS REQD										
85										
136										



TYPICAL TREE PLANTING ON STRUCTURE



Community Planning &
Development Services
Received
12/14/2022

Vika

Vika Maryland, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com

Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPTON LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP:GQ63

PRELIMINARY
FOREST
CONSERVATION
TABLES

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED, REGISTERED
LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
LA NAME: CHANDRA BEAUFORT, RIA
LICENSE NUMBER: 33117
EXPIRATION DATE: SEPTEMBER 7, 2024

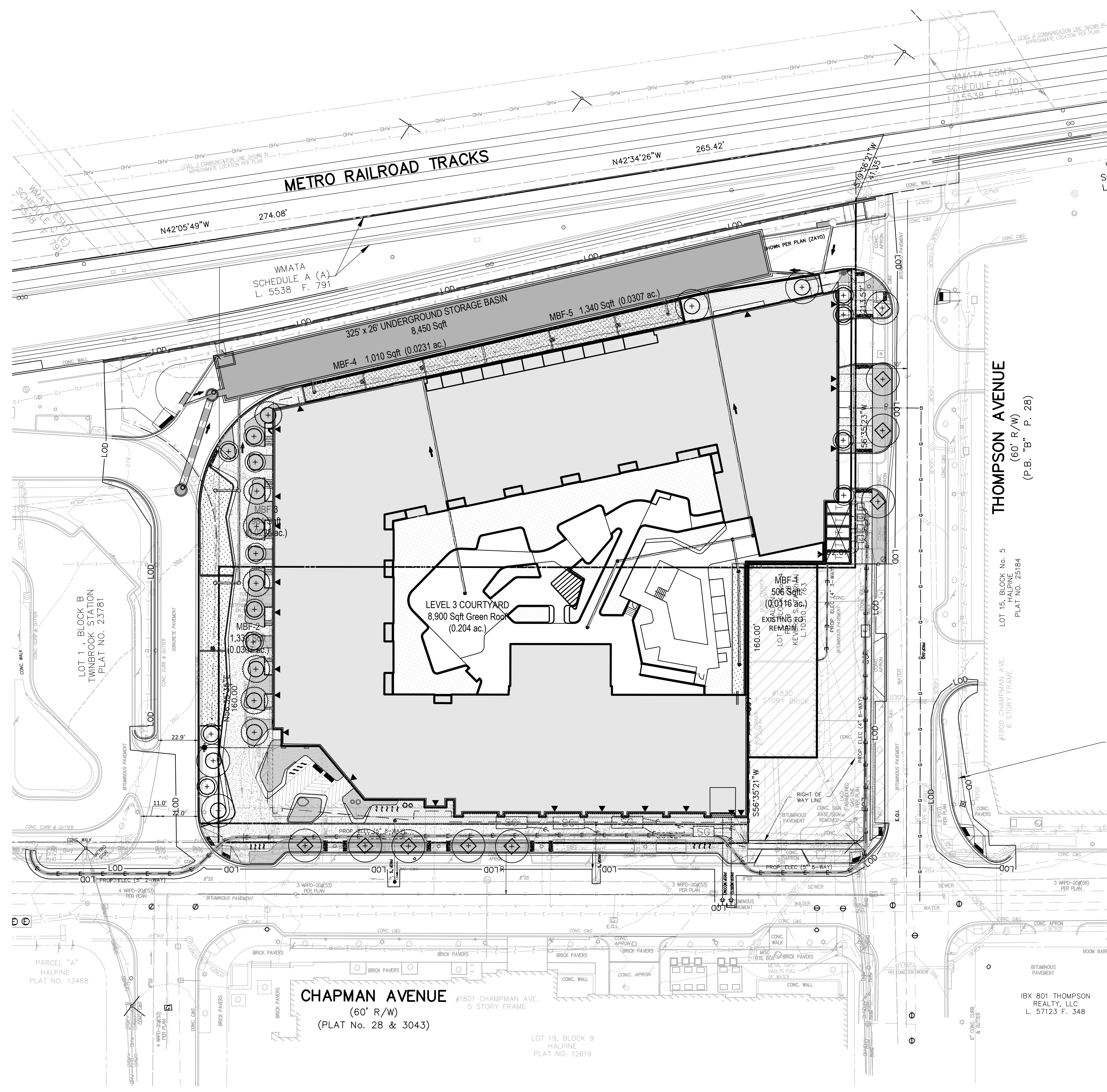
THE INFORMATION, DESIGN AND CONTENT OF THESE
DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK
MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY
INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR
DOCUMENTS MUST NOT BE FORWARDED, SHARED,
COPIED, DIGITALLY CONVERTED, MODIFIED OR USED
FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR
WRITTEN AUTHORIZATION FROM VIK MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIK MARYLAND, LLC

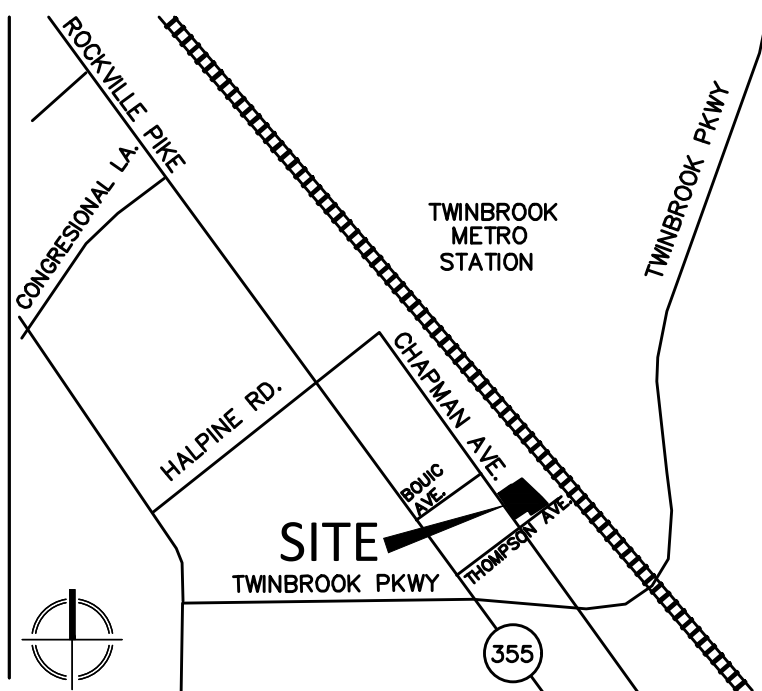
DRAWN BY: DLK
DESIGNED BY: DLK
DATE ISSUED: 10/14/2021

Vika
PROJECT
DRAWING
NO.

SHEET NO. PFCP-3



Community Planning &
Development Services
Received
12/14/2022



VICINITY MAP
SCALE: 1" = 2000'

LEGEND:

- PROP. CANOPY TREE
- PROP. EVERGREEN TREE
- STREET TREE CREDIT
- FOREST CONSERVATION CREDIT
- PERMEABLE PAVEMENT
- MICRO-BIORETENTION PLANTER
- WATER LINE
- SEWER LINE
- UNDERGROUND STORMWATER STRUCTURE
- DRAINAGE DIVIDE

CITY OF ROCKVILLE FOREST CONSERVATION WORKSHEET
Twinbrook Hines (50024J)

NET TRACT AREA:

A. Total tract area ...	2.24
B. Deductions (land dedication not in construction on this plan, other deductions - specify)	0.00
C. Net Tract Area	2.24

LAND USE CATEGORY:

ZONING:	R-400, R-200	R-60, R-150	RMD10, RMD15, RMD25	I-L, I-H, RPR, RPC, MXT, MXC, MXNC, MXB, MXE, MXCD, MXTD, PD	Park
Place a "1" under the column corresponding to the correct zone of the site (choose only one)	0	0	0	1	0

D. Afforestation Threshold ...	15%	x C =	0.34
E. Conservation Threshold ...	15%	x C =	0.34

EXISTING FOREST COVER:

F. Existing forest cover (within net tract) (Existing easement) ...	0.00
G. Area of forest above conservation threshold ...	0.00

BREAK EVEN POINT:

H. Breakeven Point (amount of forest retained so that no mitigation is required) ...	0.00
I. Clearing permitted without mitigation ...	0.00

PROPOSED FOREST CLEARING:

J. Total area of forest to be cleared ...	0.00
K. Total area of forest to be retained ...	0.00

PLANTING REQUIREMENTS:

L. Reforestation for clearing above conservation threshold ...	0.00
M. Reforestation for clearing below conservation threshold ...	0.00
N. Credit for retention above conservation threshold ...	0.00
P. Total reforestation required ...	0.00
Q. Total afforestation required ...	0.34
R. Total planting requirement ...	0.34

Vika
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

STORMWATER
MANAGEMENT
FCP OVERLAY

PROFESSIONAL SEAL
STATE OF MARYLAND
LAURENT G. MOUNAUD
PROFESSIONAL ENGINEER
LICENSE NO. 36749
EXPIRATION DATE: JANUARY 31, 2023
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: LAURENT G. MOUNAUD LICENSE NO.: 36749 EXPIRATION DATE: JANUARY 31, 2023

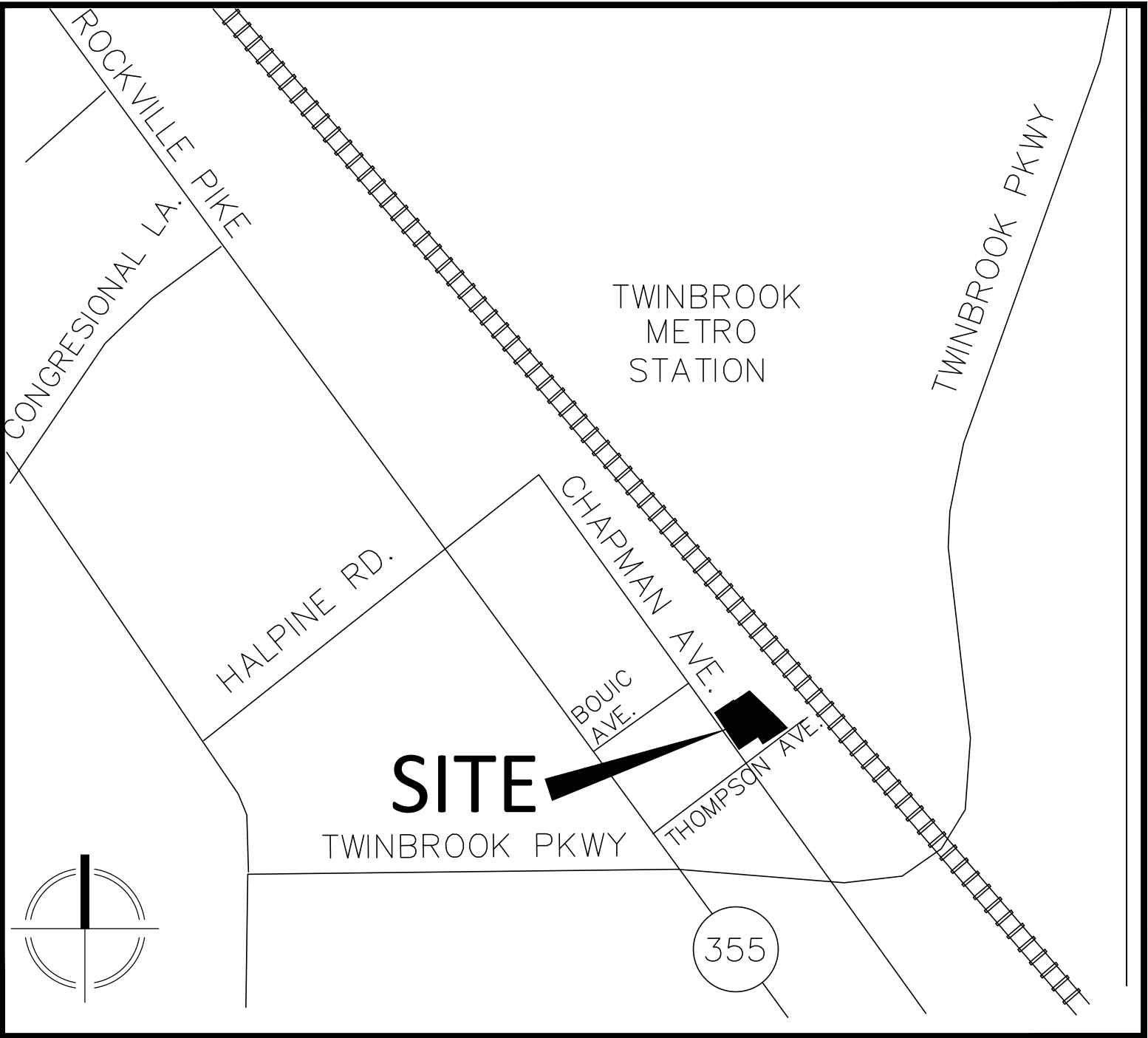
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC
DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021
VIKA PROJECT VM50024
DRAWING NO.
SHEET NO. 1 OF 1

“FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY”
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

TWINBROOK HINES PAVEMENT MARKING AND SIGNAGE PLAN

4TH ELECTION DISTRICT ROCKVILLE MONTGOMERY COUNTY, MARYLAND



VICINITY MAP

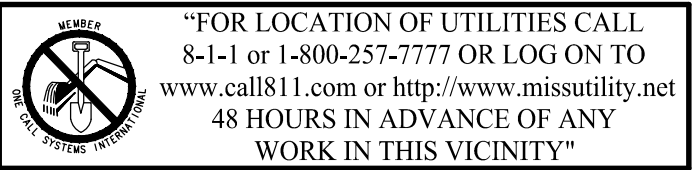
SCALE: 1" = 1000'

SHEET INDEX

PMS-1 OF 3	PAVEMENT MARKING AND SIGNAGE PLAN COVER SHEET
PMS-2 OF 3	PAVEMENT MARKING AND SIGNAGE PLAN
PMS-3 OF 3	PAVEMENT MARKING AND SIGNAGE DETAILS

CITY OF ROCKVILLE SIGNING AND MARKING NOTES:

- ALL SIGNING MARKING SHALL BE DONE IN ACCORDANCE WITH THE LATEST MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MD MUTCD), MARYLAND STATE HIGHWAY ADMINISTRATION'S BOOK OF STANDARDS, SPECIFICATIONS AND GUIDELINES.
- ALL SIGNS SHALL BE DONE ON DIAMOND GRADE REFLECTIVE SHEETING.
- CROSSWALK MARKING SHALL BE DONE USING 12 INCHES WIDE WHITE HEAT APPLIED PREFORMED THERMOPLASTIC. ADA RAMPS SHALL BE PROVIDED AT ALL CROSSWALKS. WHEN CROSSWALK IS HATCHED, IT SHOULD BE DONE USING A LADDER PATTERN HATCHING AND THE SPACING BETWEEN THE HATCHING SHOULD BE 2 FEET.
- STOP LINE SHOULD BE 24 INCH WIDE WHITE HEAT APPLIED PREFORMED THERMOPLASTIC. THE SPACING BETWEEN THE STOP LINE AND THE CROSSWALK MARKING SHALL BE 4 FEET AT A MINIMUM.
- TRAVEL LANE MARKING SHALL BE DONE USING 5 INCHES WIDE WHITE REFLECTIVE LEAD FREE THERMOPLASTIC.
- WHEN SIGNS ARE INSTALLED IN CONCRETE, A PVC SLEEVE SHALL BE PROVIDED USING 40 SCHEDULE PVC (4" DIAMETER).
- NO PARKING SIGNS SHALL BE INSTALLED AT A 45 DEGREE ANGLE.
- PEDESTRIAN CROSSING SIGNS SHOULD BE INSTALLED AT MARKED CROSSWALKS AND THE BACKGROUND COLOR OF THE SIGNS SHOULD BE FLUORESCENT YELLOW GREEN (FYG).
- SIGN HEIGHT SHALL BE MINIMUM 7 FEET HIGH FROM THE BOTTOM OF THE SIGN FACE TO THE GROUND.
- "MAXIMUM FINE \$250" SIGN (12"x6") SHALL BE PLACED UNDERNEATH ALL HANDICAPPED PARKING SIGNS.
- THE STREET NAME SIGNS FOR PUBLIC STREETS SHOULD HAVE BLUE BACKGROUND WITH WHITE LETTERING.
- ALL STREET NAME SIGNS WILL BE ON A 9" EXTRUDED ALUMINUM BLANK WITH A MAXIMUM LENGTH OF 48". ALL LETTERING SHOULD BE COMPOSED OF INITIAL UPPER CASE LETTERS 6" IN HEIGHT AND LOWER CASE LETTERS 4.5" IN HEIGHT USING HIGHWAY FONTS. ON THE LEFT SIDE OF THE BLANK, THERE MUST BE ROOM FOR A 6"x6" CITY LOGO. IF THE LETTERING OF THE STREET NAME WILL NOT FIT ON A 48" LENGTH BLANK THAN THE CITY LOGO MAY BE OMITTED TO ALLOW THE LETTERING TO FI ON THE BLANK.
- PRIVATE STREET NAME SIGNS SHOULD HAVE WHITE BACKGROUND WITH BLACK LETTERING, BUT THE CITY LOGO WILL NOT BE ON THEM. LETTERING STANDARD SHALL BE THE SAME AS THOSE OF PUBLIC STREET NAME SIGNS EXCEPT THE CITY LOGO.
- WHEN SIGN POSTS ARE NEEDED, 2# GALVANIZED "U" CHANNEL POSTS OR GALVANIZED BREAKAWAY TUBULAR STEEL SIGN POSTS (MD SHA STANDARD # 802.04) CAN BE USED.



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning &
Development Services
Received
12/14/2022



Our Site Set on the Future.

PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON

ATTORNEY:
WIRES GILL LLP
4800 HAMPOEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

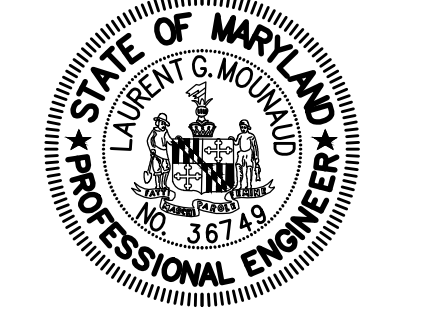
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

PAVEMENT MARKING & SIGNAGE PLAN COVER SHEET

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT G. MOUJAUD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

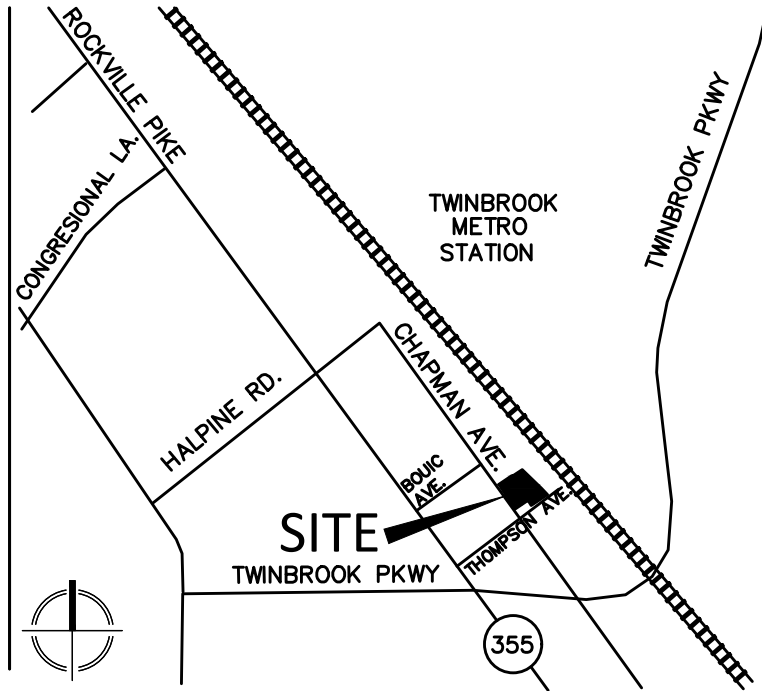
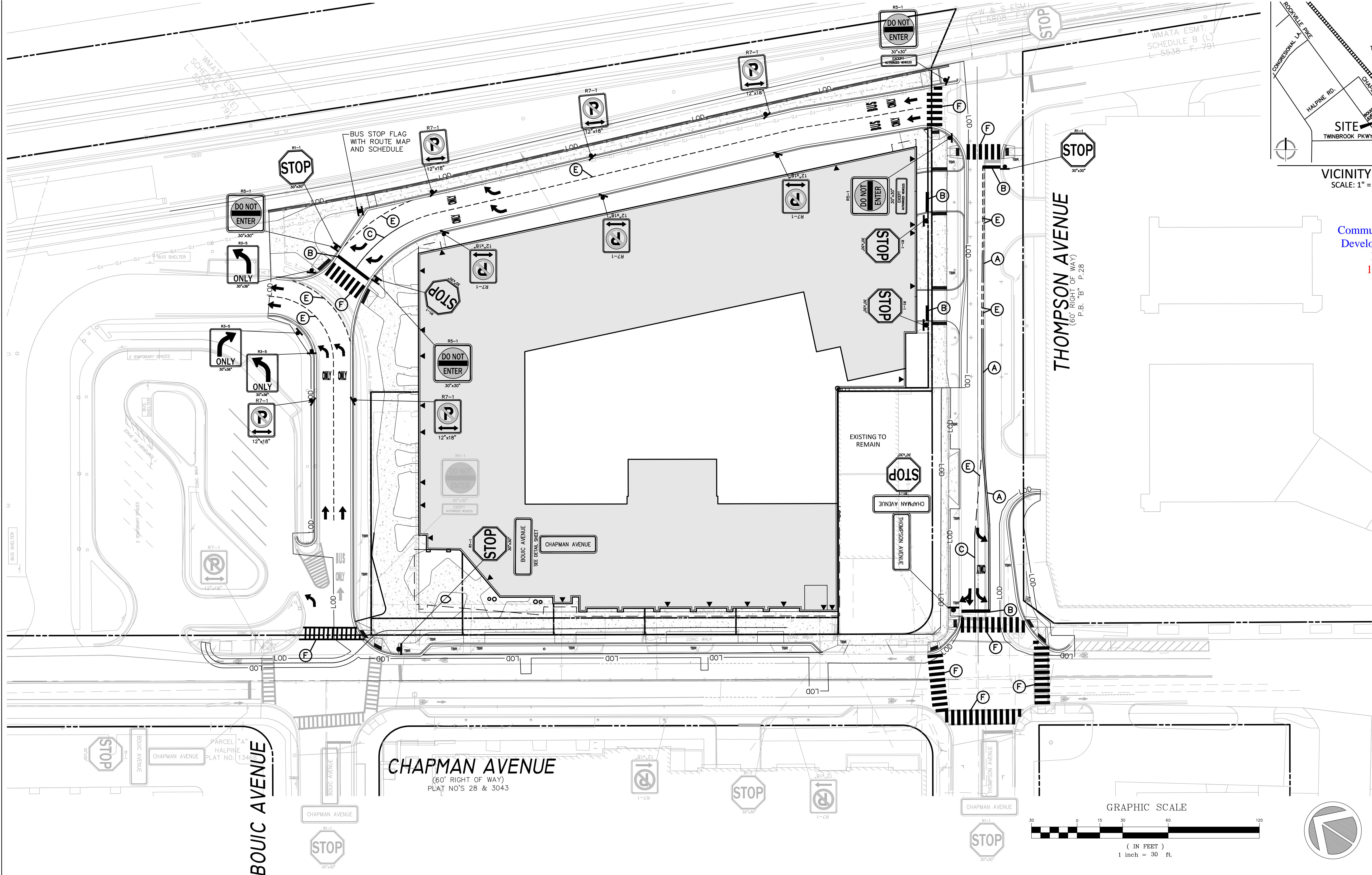
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC

DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021

VIKA
PROJECT VM50024
DRAWING
NO.

SHEET NO. PMS 1 OF 3



Community Planning &
Development Services
Received
12/14/2022

Vika
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com

Our Site Set on the Future.
PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTINGTON
ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022

1800
CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

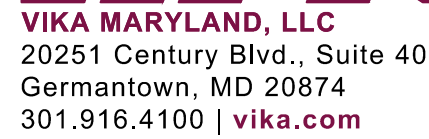
PAVEMENT
MARKING &
SIGNAGE PLAN
PROFESSIONAL SEAL

STATE OF MARYLAND
LAURENT G. JOUJOU
PROFESSIONAL ENGINEER
No. 36749
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT G. JOUJOU
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2023

THE INFORMATION, DESIGN AND CONTENT OF THESE
DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA
MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY
INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR
DOCUMENTS MUST NOT BE FORWARDED, SHARED,
COPIED, DIGITALLY CONVERTED, MODIFIED OR USED
FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR
WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.
© 2019 VIKA MARYLAND, LLC
DRAWN BY: CC
DESIGNED BY: JAE
DATE ISSUED: 11/12/2021
VIKA PROJECT VM50024
DRAWING NO.
SHEET NO. PMS 2 OF 3

“FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY”
The excavator must notify all public utility companies with underground
facilities in the area of proposed excavation and have those facilities
located by the utility companies prior to commencing excavation. The
excavator is responsible for compliance with requirements of Chapter
36A of the Montgomery County Code.

LAYOUT: PMS-2, Plotted By: Kadri



PREPARED FOR:
HINES CONCEPTUAL
CONSTRUCTION GROUP
2800 POST OAK
BOULEVARD
HOUSTON, TX 77056
CAMERON CHRISTIAN
CAMERON.CHRISTIAN@HINES.COM

ARCHITECT:
HORD COPLAN MACHT
700 E. PRATT STREET,
SUITE 1200
BALTIMORE, MD 21202
443.451.2342
WWW.HCM2.COM
CONTACT: KACEY HUNTING

ATTORNEY:
WIRES GILL LLP
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD, 20814
301.263.6275
CONTACT:
HEATHER DLHOPOLSKY

TRAFFIC:
WELLS + ASSOCIATES
1110 BONIFANT STREET,
SUITE 210
SILVER SPRING, MD 20910
301.448.1333
CONTACT: NANCY RANDALL

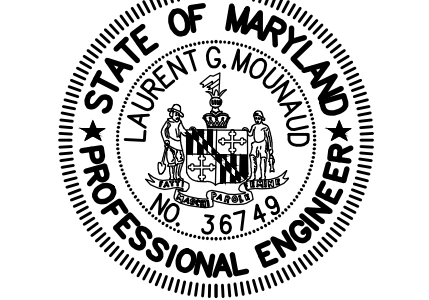
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
301 NORTH WEST STREET
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

[illegible]

**1800
CHAPMAN**
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP:GQ63

PAVEMENT MARKING & SIGNAGE DETAILS

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT G. MOUHAUD
LICENSE No.: 36749
EXPIRATION DATE: JANUARY 21, 2023

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC

DRAWN BY: CC

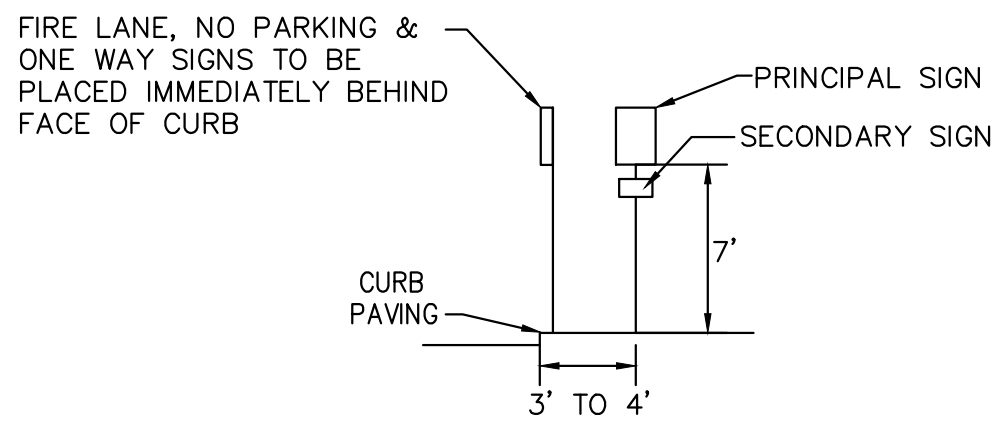
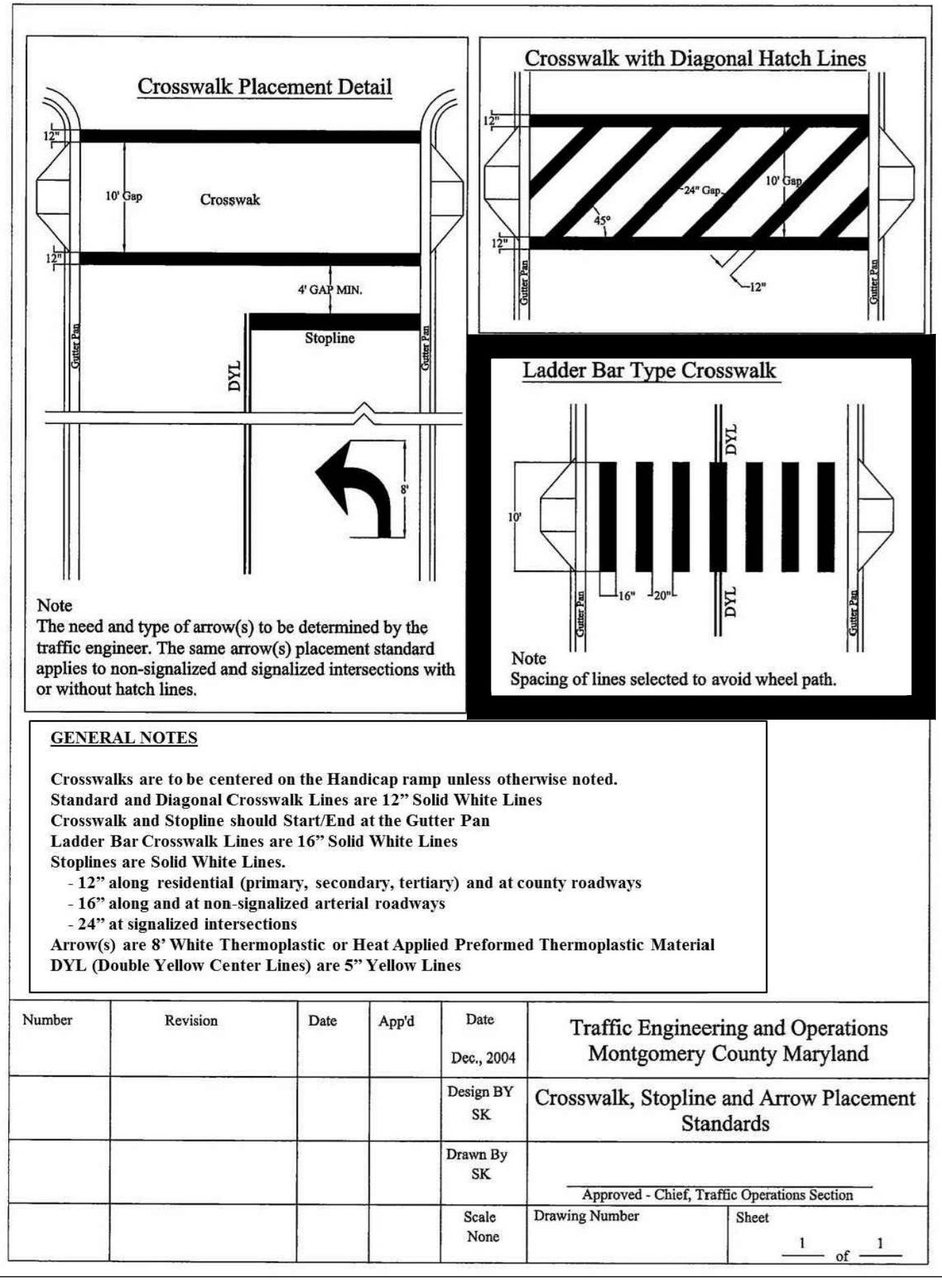
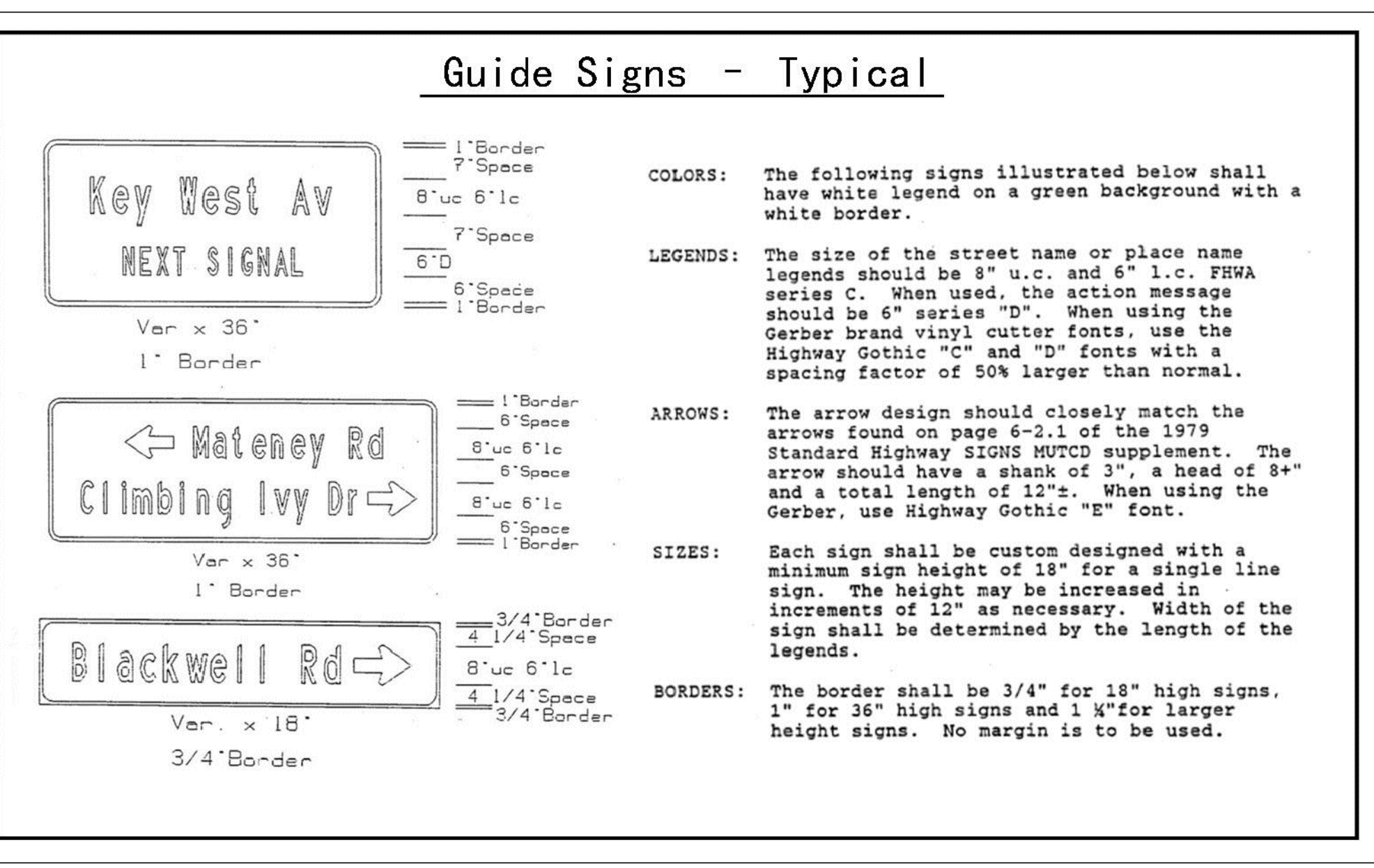
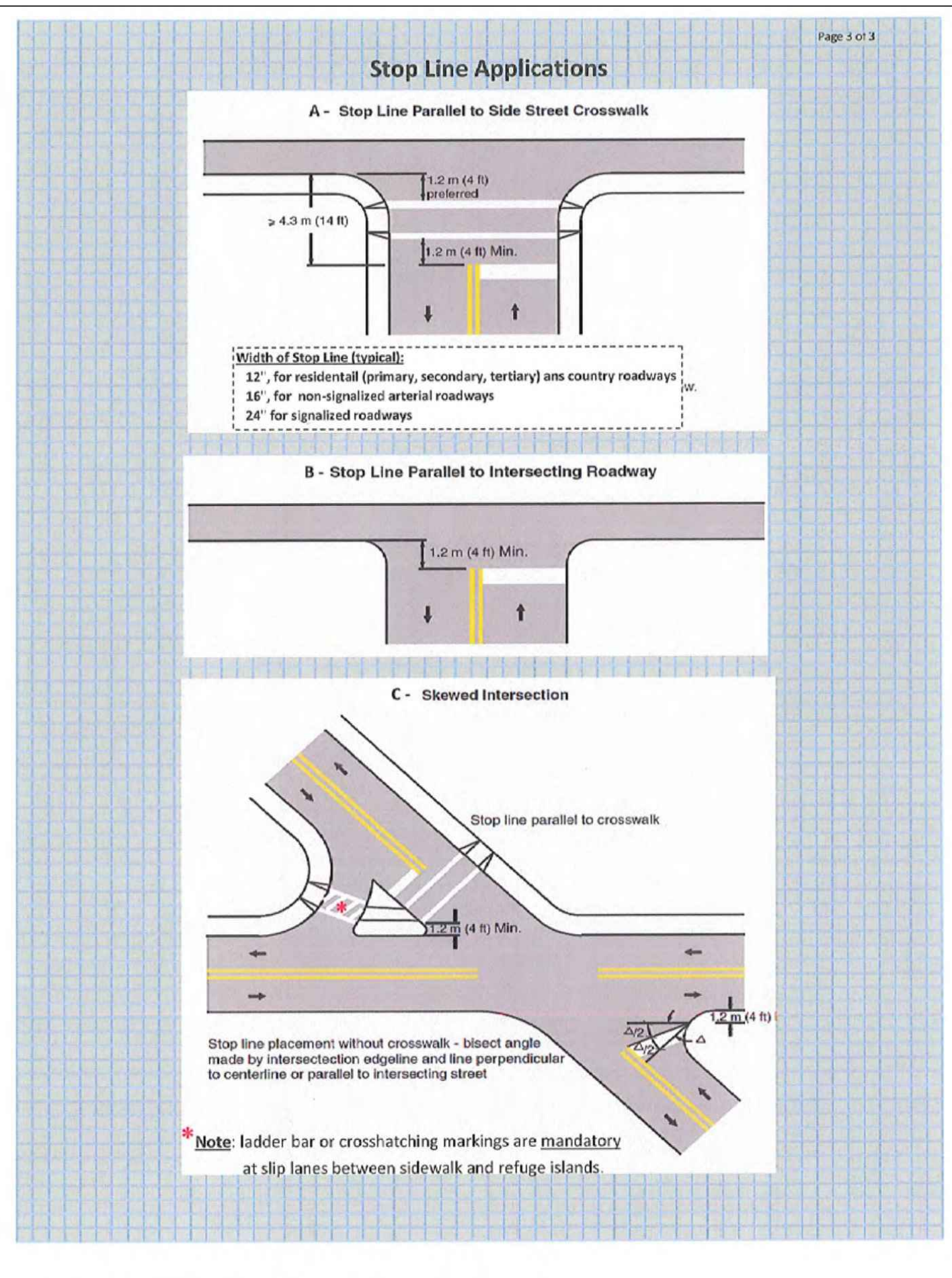
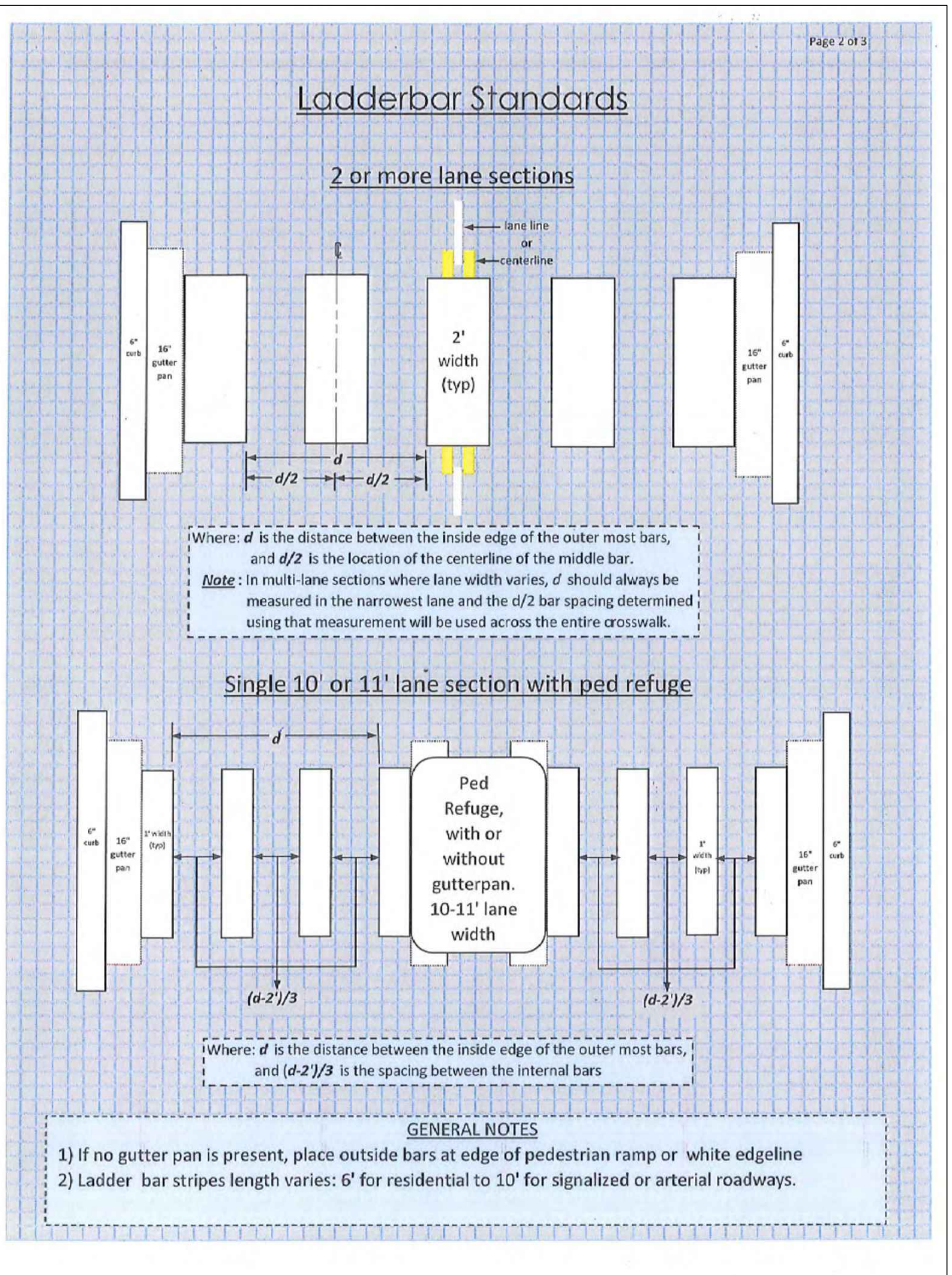
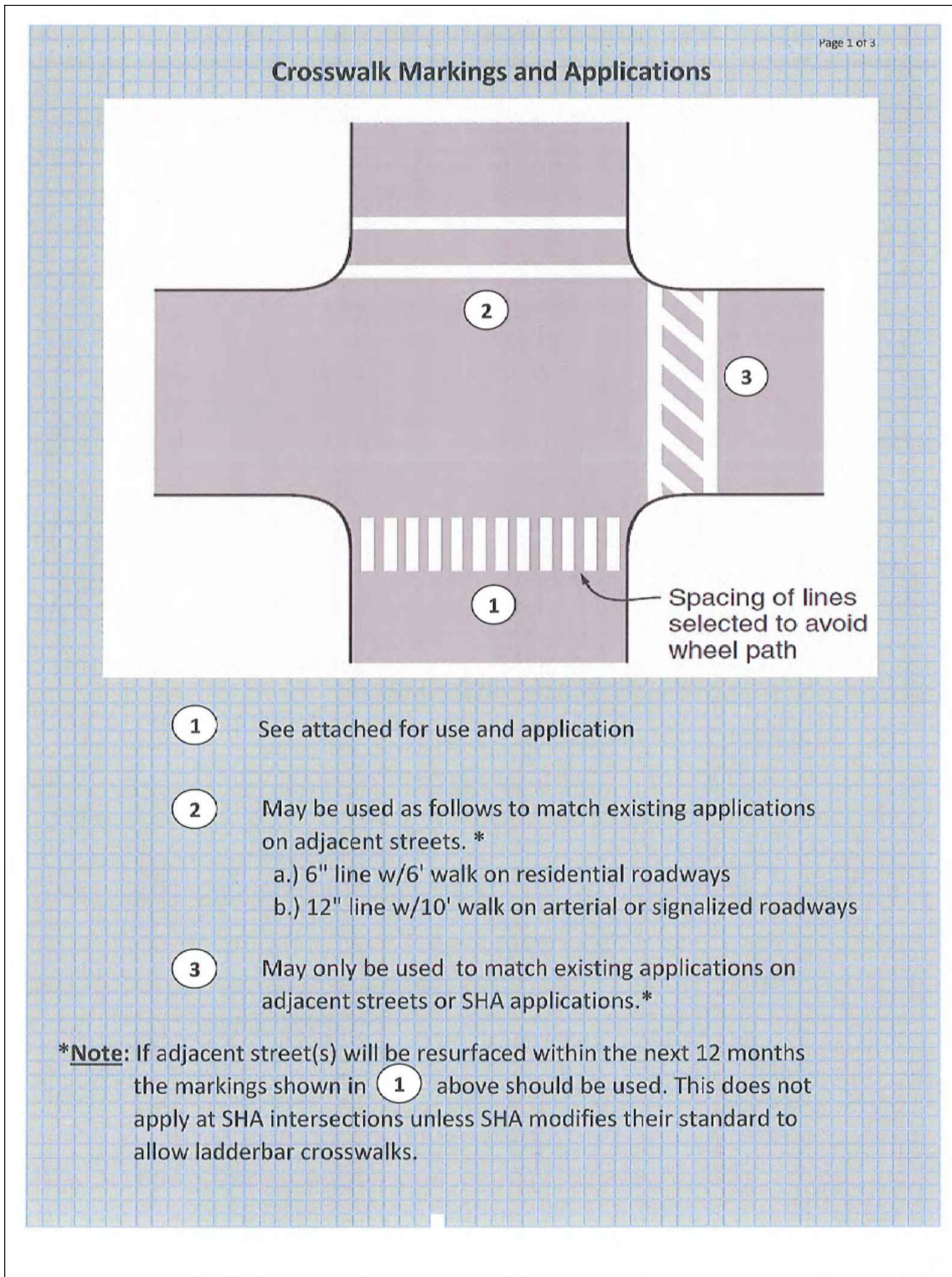
DESIGNED BY: JAE

DATE ISSUED: 11/12/2021

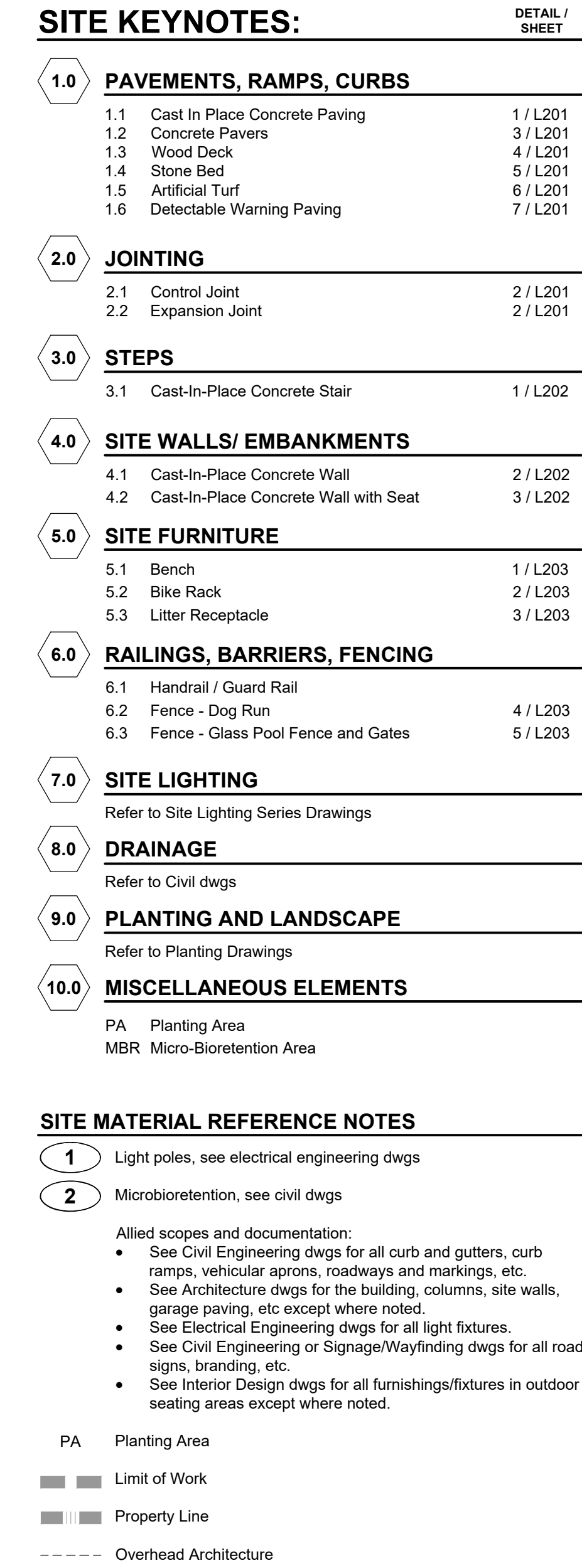
VIKA PROJECT VM50024

DRAWING NO.

SHEET NO. PMS 3 OF 3



TYPICAL SIGN PLACEMENT DETAIL
NOT TO SCALE



Community Planning &
Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
700 E. Pratt St, Suite 1200
p. 410. 837. 7311
Baltimore, MD 21202
f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 2123
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 Century Blvd, Suite 400 Germantown, MD 20876
p. 301.916.4100

**LANDSCAPE ARCHITECT
DESIGN WORKSHOP**
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

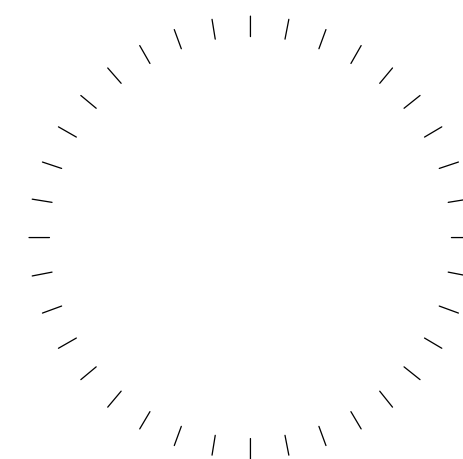
INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

HINES

**TWINBROOK
MULTIFAMILY**
1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.22

Scale

Drawing

LANDSCAPE MATERIALS PLAN -
STREETSCAPE

L-101

SITE PLAN SUBMISSION

3"

SAW CUT CONTROL JOINT, SEE DETAIL 2 THIS SHEET; SEE PLAN FOR LOCATIONS

EXPANSION JOINT, SEE DETAIL 2 THIS SHEET, SEE PLAN FOR LOCATIONS

REINFORCED CONCRETE, SEE CIVIL DWS

COMPACTED AGGREGATE BASE, SEE CIVIL DWS

TOP OF COMPACTED OR UNDISTURBED SUBGRADE

NOTE:

- CROSS SLOPES TO BE 2.0% MAXIMUM

PEDESTRIAN CONCRETE PAVING
ON GRADE

METAL PAVING EDGING; MOUNTED TO CONCRETE BASE

1/8" POLYMERIC SAND JOINT, SAND SWEEP, HAND TIGHT

CONCRETE UNIT PAVERS

3/4" BITUMINOUS SETTING BED W/ TACK COAT

EXPANSION JOINT, SEE DETAIL 2 THIS SHEET, SEE PLAN FOR LOCATIONS

4" THK. REINFORCED CONCRETE; SEE CIVIL DWGS

4" COMPACTED AGGREGATE BASE

TOP OF COMPACTED OR UNDISTURBED SUBGRADE

3'

NOTE:

- CROSS SLOPES TO BE 2.0% MAXIMUM

PEDESTRIAN CONCRETE UNIT PAVERS, ON GRADE

A cross-sectional diagram of a shallow wood deck assembly. The diagram shows a concrete slab at the base, with a metal flashing and a G.S. standoff post base bolted to it. A 6x8 wood post is attached to the bolt. A 2x8 ledger board is attached to the post. A 1x6 IPE wood decking is attached to the ledger board. A 2x8 pressure-treated wood joist is attached to the decking. The joist is supported by a joist hanger. The deck is labeled 'SHALLOW WOOD DECK ON STRUCTURE'.

Labels and dimensions:

- 1'-0"
- 2X8 LEDGER BOARD
- METAL FLASHING
- 6X8 WOOD POST
- G.S. STANDOFF POST BASE BOLTED TO CONCRETE
- 1"X 6" IPE WOOD DECKING
- 2"X8" PRESSURE TREATED WOOD JOIST @ 1'-4" O.C.
- JOIST HANGER
- SHALLOW WOOD DECK ON STRUCTURE

Diagram illustrating the construction of a stone bed adjacent to a building face. The diagram shows a cross-section of the structure with the following components and labels:

- 1/4"x4" STEEL EDGE RESTRAINT WITH SPIKE
- 3"- 4" THK. STONE BED
- ADJACENT BUILDING FACE
- 8" THK. #57 STONE
- FILTER FABRIC
- TOP OF COMPACTED OR UNDISTURBED SUBGRADE

SEE PLAN

STONE BED ON GRADE

NOTE:

1. REFER TO ARTIFICIAL TURF MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION

ADJACENT PAVING, SEE MATERIALS PLAN

PRESSURE TREATED 2" X 4" LEDGER BOARD; BOLTED TO CONCRETE

ARTIFICIAL TURF; NAILED TO PRESSURE TREATED LEDGER BOARD

INFILL MATERIAL, SPREAD INTO BLADES

GEOTEXTILE FABRIC

LIGHTWEIGHT AGGREGATE, PER MANUFACTURER'S RECOMMENDATIONS

6" WIDE CONCRETE CURB

VARIES

ARTIFICIAL TURF ON GRADE

6" MIN. EMBEDMENT INTO STRUCTURAL SLAB. DRILL & EPOXY INTO SLAB WITH HILTI HIT-HY 200 (OR EQUIV.)

CONCRETE CURB, SEE CIVIL DWGS

EXPANSION JOINT, SEE DETAIL 2, THIS SHEET

DETECTABLE WARNING PAVER

POLYMERIC SAND SWEEP JOINTS; HANDTIGHT TO 1/8"

3/4" BITUMINOUS SETTING BED W/ TACK COAT

CONCRETE PAVING, SEE DETAIL 1, THIS SHEET, STIFF BROOM FINISH, CHEVRON PATTERN

COMPACTED AGGREGATE

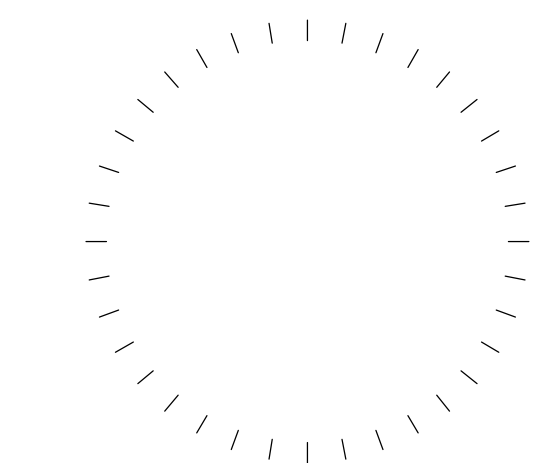
TOP OF COMPACTED OR UNDISTURBED SUBGRADE

NOTE:

- ALL RAMPS TO MEET ADA STANDARDS
- REFER TO CIVIL DWGS FOR SITE GRADING AND CURB RAMPS

PEDESTRIAN CONCRETE PAVING ON GRADE

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.22

Scale

Drawing _____
SITE DETAILS

L-201

SITE PLAN SUBMISSION



1

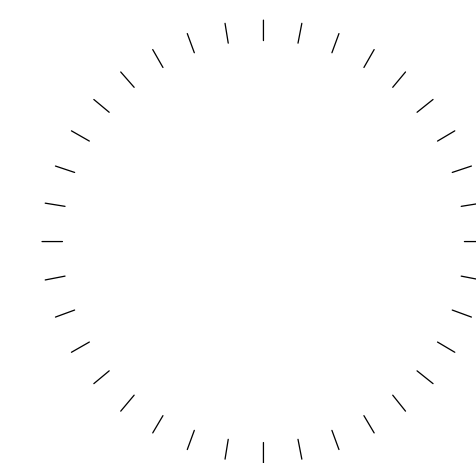
2

3

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

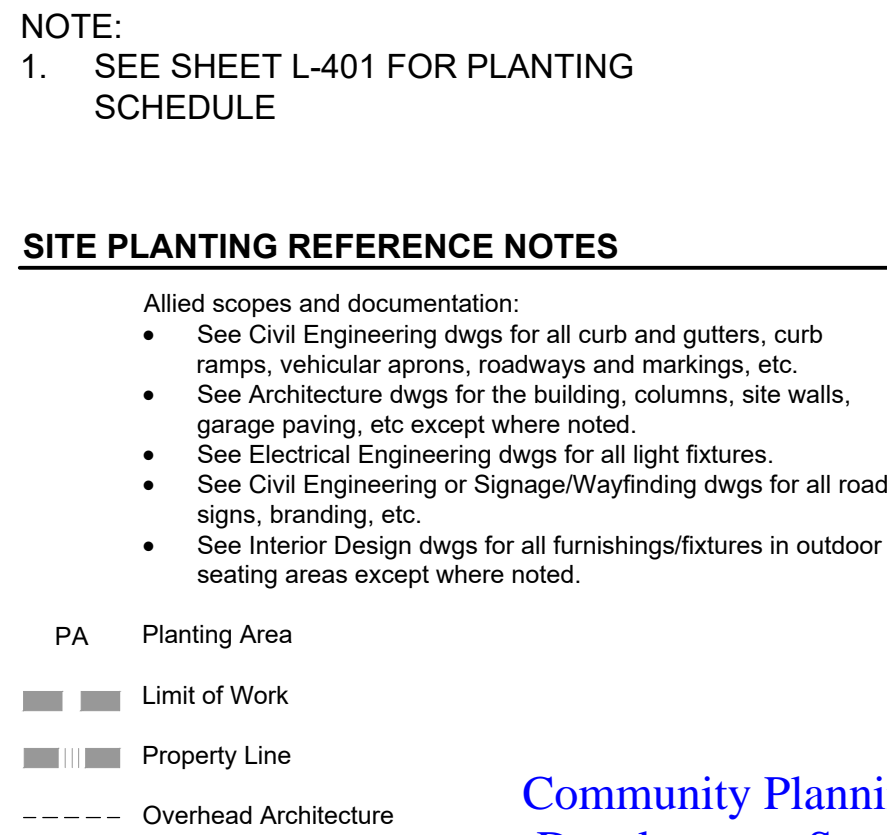
Date
12.08.22

Scale

Drawing
SITE DETAILS

L-202

SITE PLAN SUBMISSION



Community Planning &
Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
700 E. Pratt St, Suite 1200 Baltimore, MD 21202
p. 410. 837. 7311 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 2123
o. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20876
 P. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
P. 919.973.6254

INTERIOR DESIGNER
WILES BOLTON ASSOCIATES
 3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
 P. 404.365.7600

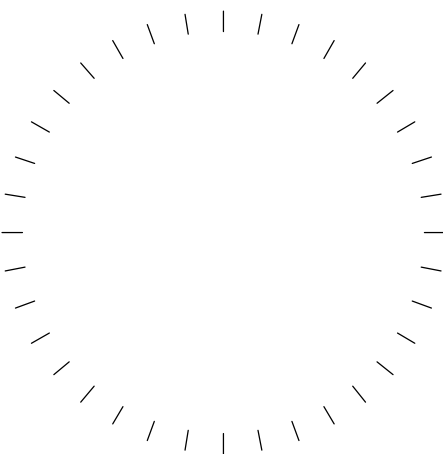
HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.22

Scale

Drawing

PLANTING PLAN - GROUND FLOOR

L-301

SITE PLAN SUBMISSION

NOTE:
1. SEE SHEET L-401 FOR PLANTING
SCHEDULE

Community Planning &
Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 Century Blvd, Suite 400 Germantown, MD 20876
p. 301.916.4100

**LANDSCAPE ARCHITECT
DESIGN WORKSHOP**
301 North West St, Suite 109
p. 919.973.6254

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

HINES

**TWINBROOK
MULTIFAMILY**

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

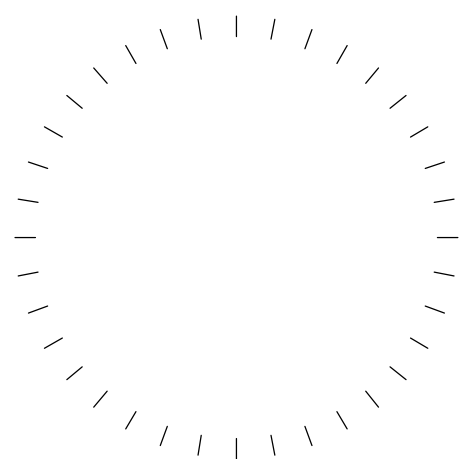
hord | coplan | macht

ARCHITECTURE

LANDSCAPE ARCHITECTURE

PLANNING

INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.22

Scale

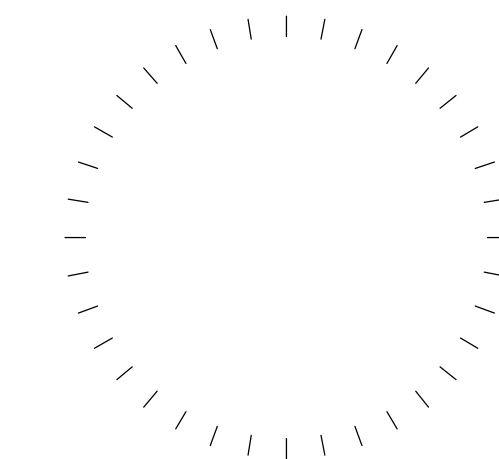
Drawing

PLANTING PLAN - AMENITY DECK

L-302

SITE PLAN SUBMISSION

1800 CHAPMAN AVE, ROCKVILLE
MD 20852



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

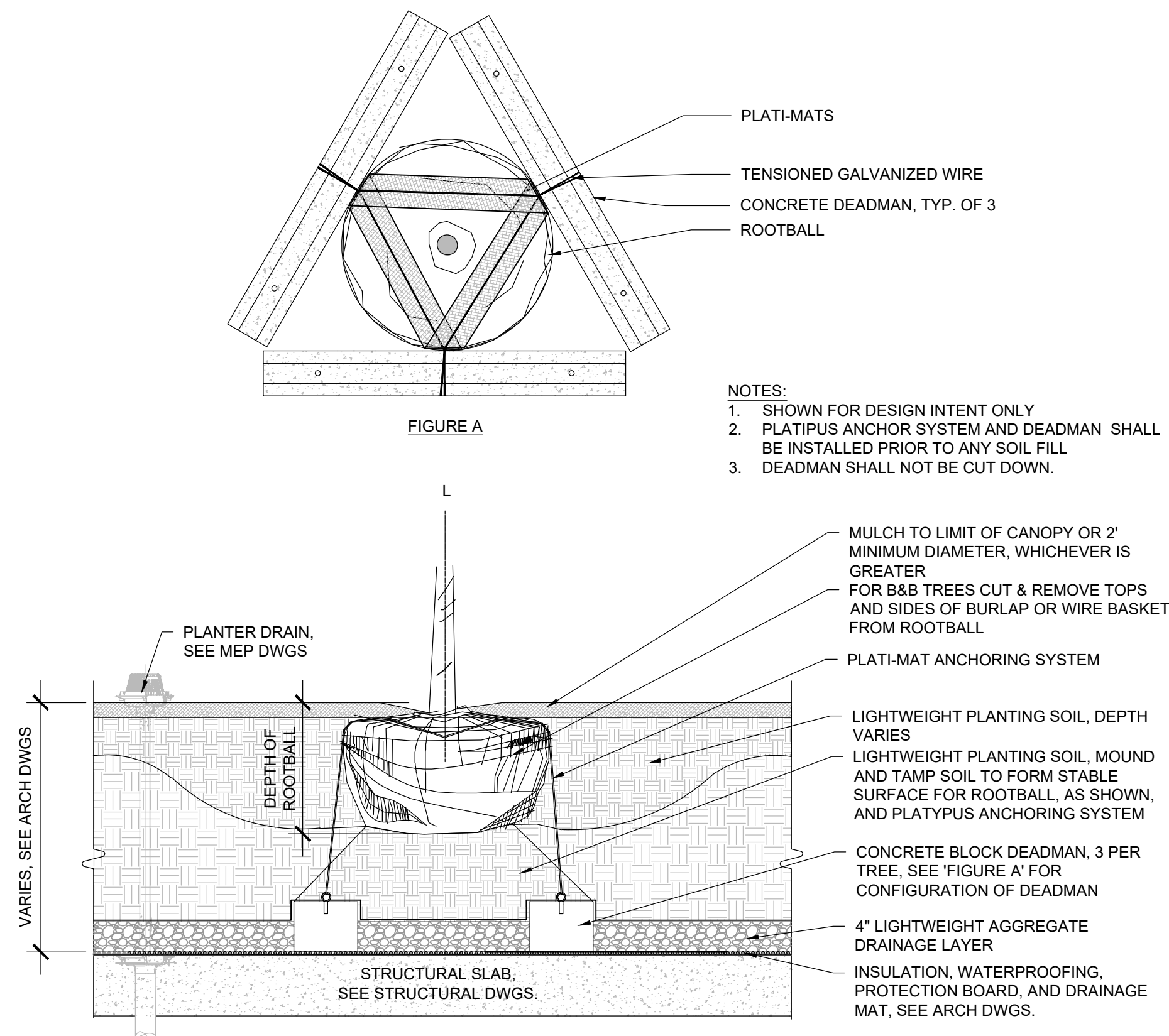
Date
12.08.22

Scale

Drawing

PLANTING DETAILS

L-402



1 TREE PLANTING, ON STRUCTURE

ARCHITECT		
Hord Coplan Macht, Inc.		
700 E. Pratt St, Suite 1200	Baltimore, MD 21202	
p. 410.837.7311	f. 410.837.6530	
STRUCTURAL ENGINEER		
SK&A		
1155 Connecticut Avenue, NW, Suite 800		
Washington, DC 20036		
p. 202.659.2520		
M/E/P ENGINEER		
AKF		
37 W. Cross St, Suite 300		
p. 443.602.9520		
CIVIL ENGINEER		
VIKA MARYLAND, LLC		
20251 Century Blvd, Suite 400		
p. 301.916.4100		
LANDSCAPE ARCHITECT		
DESIGN WORKSHOP		
301 North West St, Suite 109		
p. 919.973.6254		
INTERIOR DESIGNER		
NILES BOLTON ASSOCIATES		
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305		
p. 404.365.7600		

HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER:
EXPIRATION DATE:

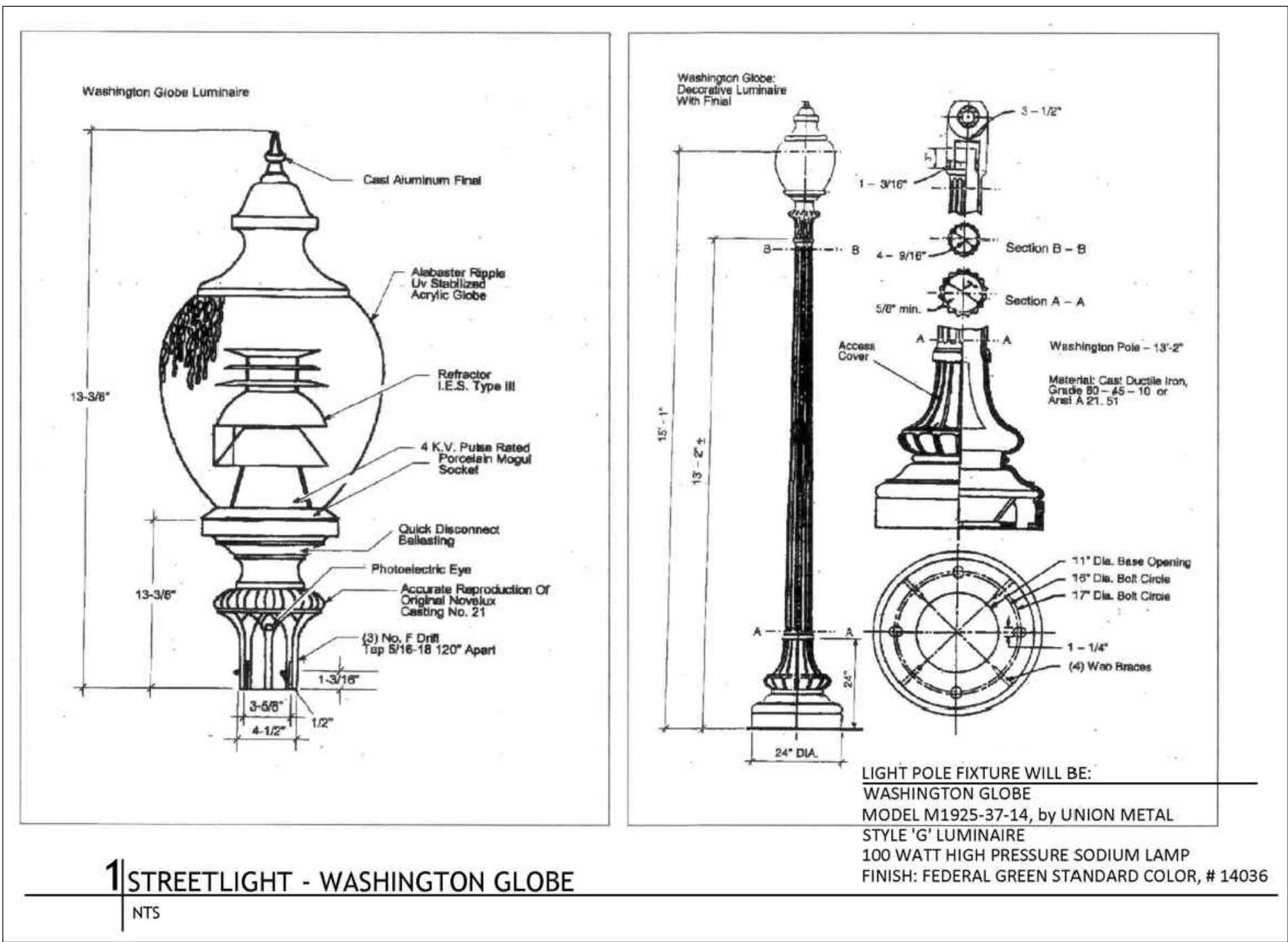
no.	date	revision
-----	------	----------

Project Name	TWINBROOK MULTIFAMILY
Project Number	220252.00
Date	12.08.22
Scale	

Drawing
LIGHTING DETAILS

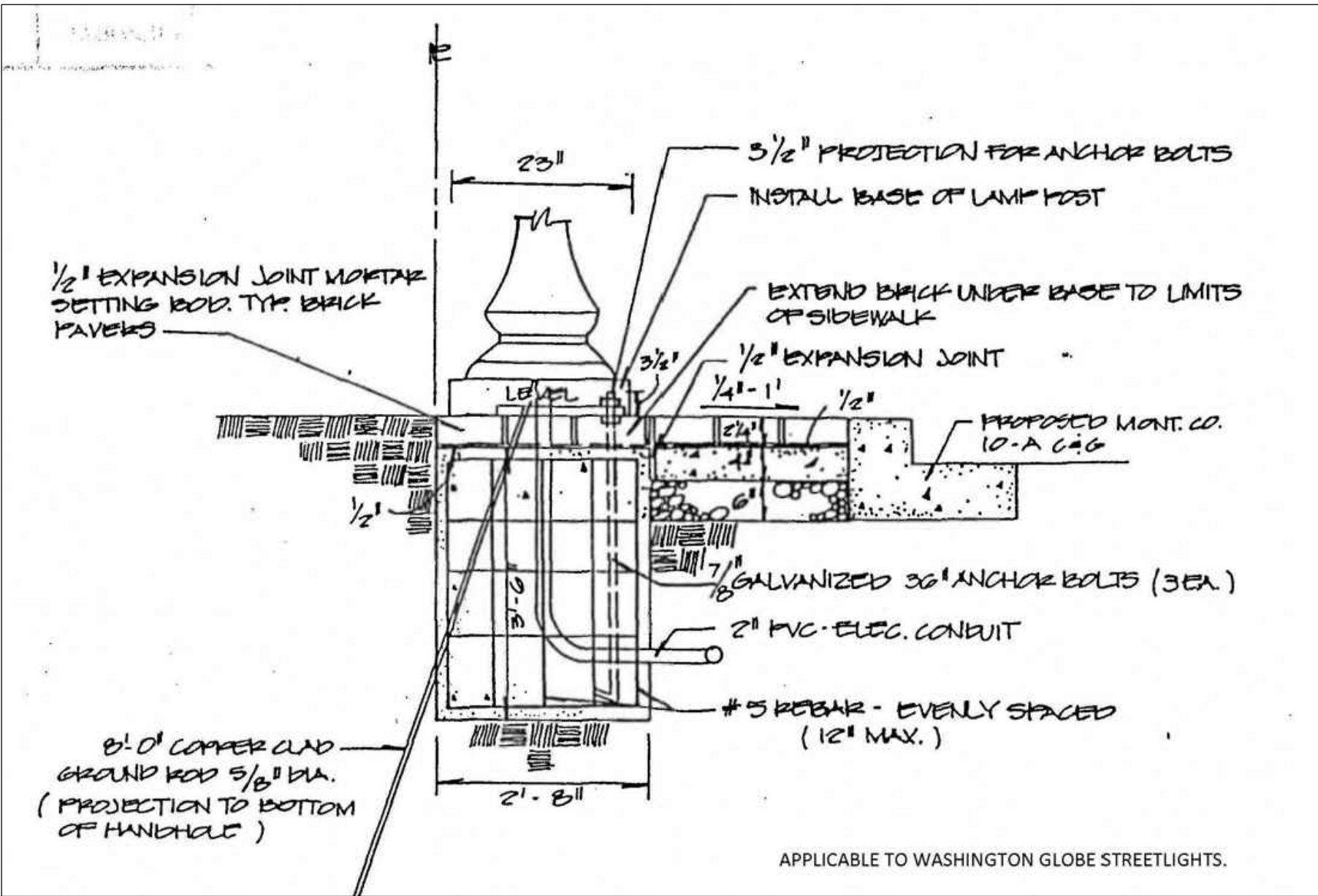
L-601

SITE PLAN SUBMISSION



1 STREETLIGHT - WASHINGTON GLOBE

N.T.S.



2 STREETLIGHT FOUNDATION, TYPICAL

N.T.S.



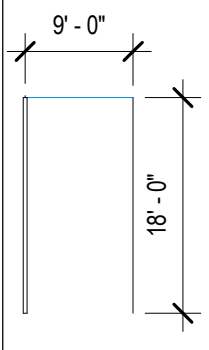
NOTE:
• IMAGE SHOWN FOR REFERENCE ONLY

3 BOLLARD LIGHT, TYPICAL

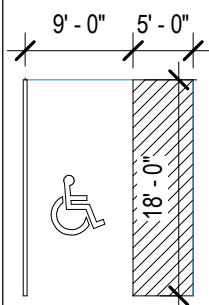
N.T.S.

PARKING SCHEDULE BY LEVEL	
PARKING TYPE	PARKING COUNT
LEVEL P1	
STANDARD	160
PARALLEL	1
EV READY SPACE	10
EV CHARGING STATION	4
ACCESSIBLE	4
LEVEL 1	
STANDARD	105
EV READY SPACE	6
EV CHARGING STATION	4
ACCESSIBLE	2
LEVEL 2	
STANDARD	127
PARALLEL	1
EV READY SPACE	8
EV CHARGING STATION	2
ACCESSIBLE	3
	437

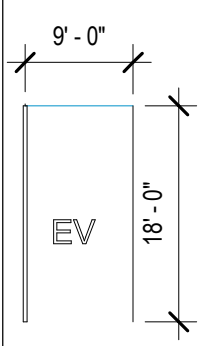
PARKING LEGEND



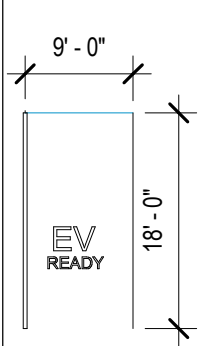
STANDARD PARKING SPACE



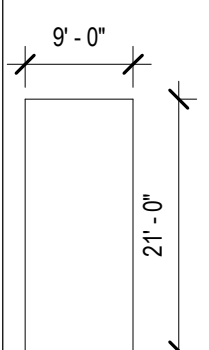
ACCESSIBLE SPACE



ELECTRIC VEHICLE CHARGING STATION

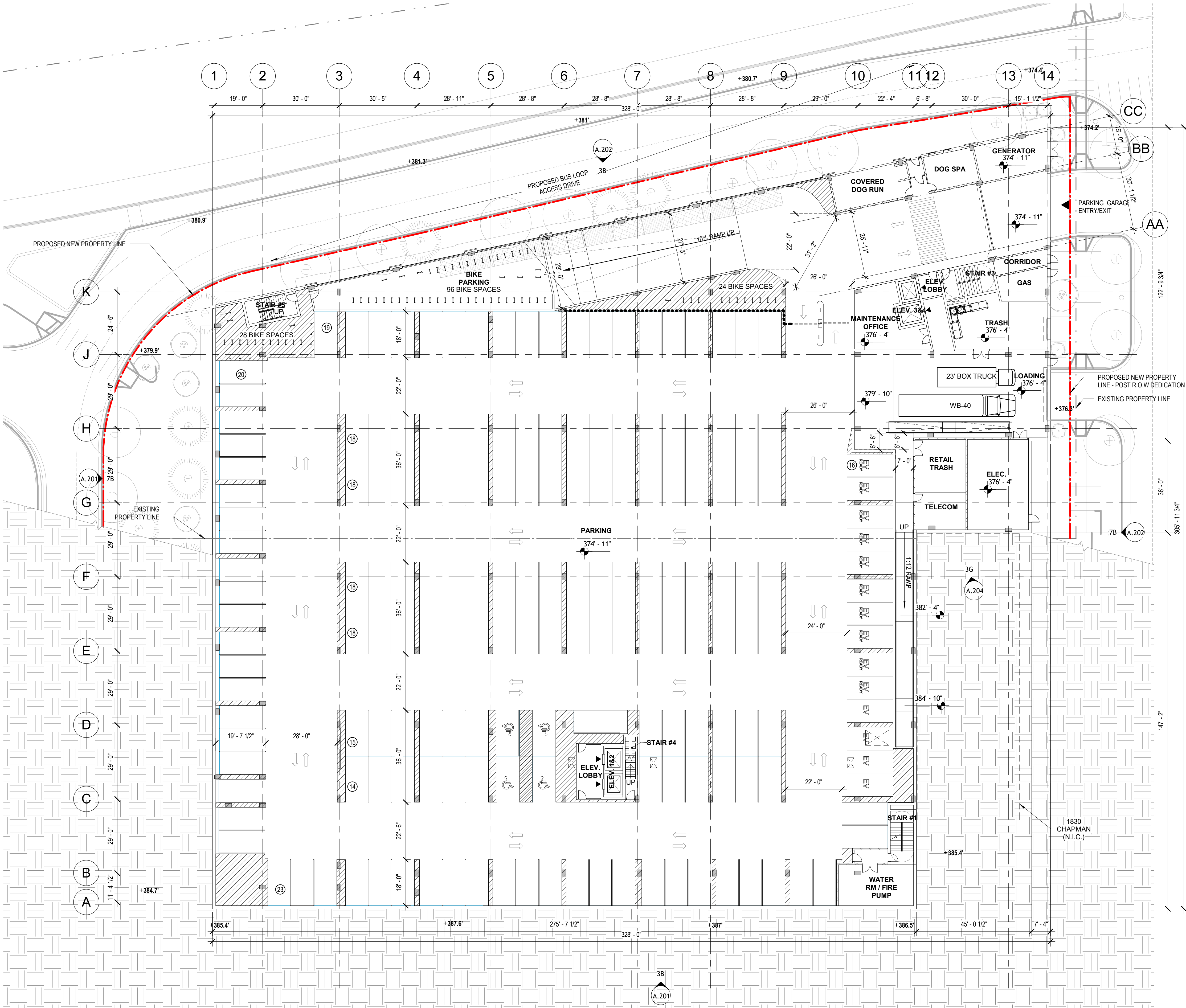
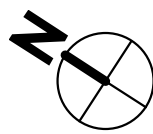


EV READY SPACE



PARALLEL PARKING SPACE

7B FLOOR PLAN - LEVEL P1
A.201 | A.100 1" = 20'-0"



Community Planning &
Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
700 E. Pratt St, Suite 1200
p. 410.837.7311 Baltimore, MD 21202
f. 410.837.6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300
p. 443.602.9520 Baltimore, MD 21230

CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 Century Blvd, Suite 400
p. 301.916.4100 Germantown, MD 20874

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109
p. 919.973.6254 Raleigh, NC 27603

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord coplan macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER:
EXPIRATION DATE:

no. date revision

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
As indicated

Drawing
FLOOR PLAN - LEVEL P1

A.100

SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.

LEVEL 2	
STANDARD	127
PARALLEL	1
EV READY SPACE	8
EV CHARGING STATION	2
ACCESSIBLE	3
	437

9 - 0*

STANDARD PARKING SPACE

ACCESSIBLE SPACE

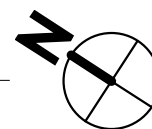
ELECTRIC VEHICLE CHARGING STATION

EV READY SPACE

PARALLEL PARKING SPACE



A-102	A.101	1" = 20'-0"
-------	-------	-------------



A.101

SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.

ARCHITECT
Hord Coplan Macht, Inc.
700 E. Pratt St, Suite 1200
p. 410. 837. 7311
Baltimore, MD 21202
f. 410. 837. 6530

STRUCTURAL ENGINEER

SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER

AKF
37 W. Cross St, Suite 300 Baltimore, MD 21230
p. 410.602.0520

CIVIL ENGINEER

VIKA MARYLAND, LLC
20251 Century Blvd, Suite 400 Germantown, MD 20874
p. 301.916.4100

LANDSCAPE ARCHITECT

DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

INTERIOR DESIGNER

NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

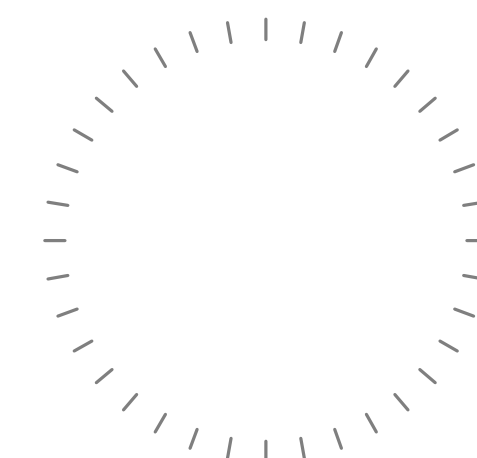
HINES

TWINBROOK
MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
As indicated

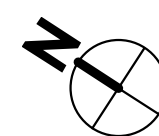
Drawing

FLOOR PLAN - LEVEL 01

LEVEL 2	
STANDARD	127
PARALLEL	1
EV READY SPACE	8
EV CHARGING STATION	2
ACCESSIBLE	3
	437

The diagram illustrates five different parking space configurations with their respective dimensions and labels:

- STANDARD PARKING SPACE:** A rectangular space with a width of 9'-0" and a length of 18'-0".
- ACCESSIBLE SPACE:** A rectangular space with a width of 9'-0" and a length of 18'-0". It includes a wheelchair icon and a 5'-0" wide hatched area to the right of the main space.
- ELECTRIC VEHICLE CHARGING STATION:** A rectangular space with a width of 9'-0" and a length of 18'-0". It includes an "EV" icon.
- EV READY SPACE:** A rectangular space with a width of 9'-0" and a length of 18'-0". It includes an "EV READY" icon.
- PARALLEL PARKING SPACE:** A rectangular space with a width of 9'-0" and a length of 21'-0".

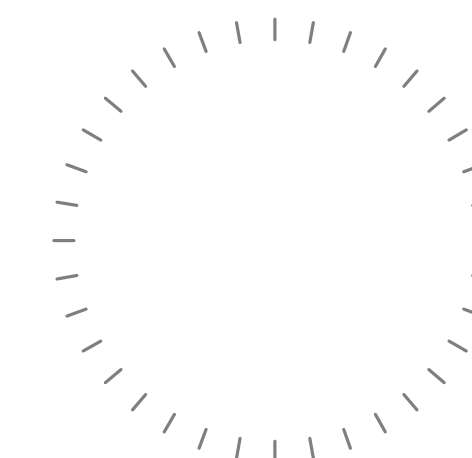


Community Planning &
Development Services
Received
12/14/2022

HINES

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER: _____
EXPIRATION DATE: _____

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
As indicated

Drawing

FLOOR PLAN - LEVEL 02

A.102

SITE PLAN RESUBMISSION

ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 21230
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20876
 p. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

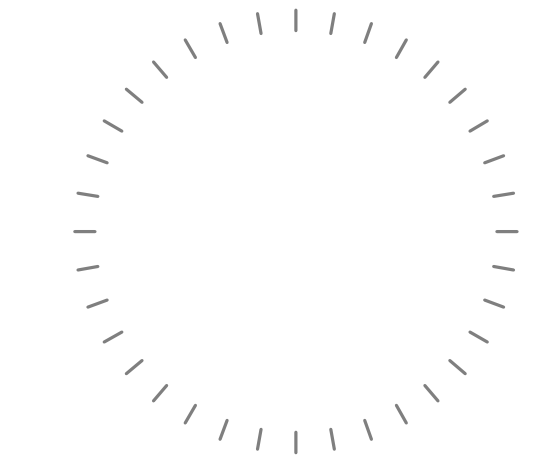
HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 03

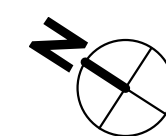
A.103

SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.



7B FLOOR PLAN - LEVEL 03



Community Planning &
Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 21230
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20876
 p. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

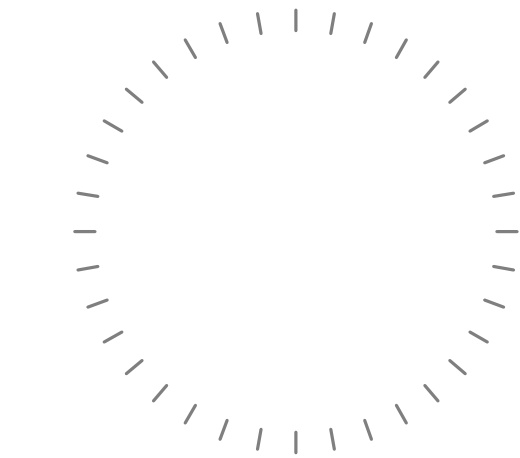
HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 04

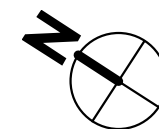
A.104

SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.



7B		FLOOR PLAN - LEVEL 04
A-201	A.104	1" = 20'-0"



Community Planning &
Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 21230
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20876
 p. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

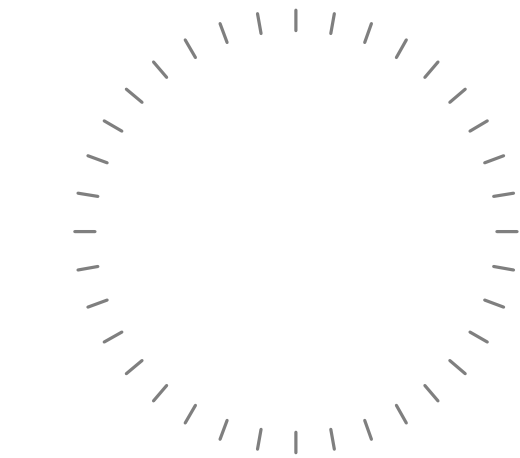
INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

HINES

**TWINBROOK
MULTIFAMILY**
1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
1" = 20'-0"

Drawing

FLOOR PLAN - TYPICAL (LEVELS 5 - 8)

A.105

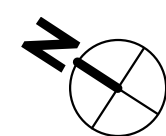
SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.



7B FLOOR PLAN - TYPICAL (LEVELS 5 - 8)

A-201	A.105	1" = 20'-0"
-------	-------	-------------



Community Planning &
Development Services
Received
12/14/2022

12/8/2022 1:51:55 PM
C:\Users\khuntington\Documents\Revit Local\220252.00 - Twinbrook - ARCH
RVT2020_no compact spaces_KaasyHuntington.rvt

ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 21230
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20876
 p. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

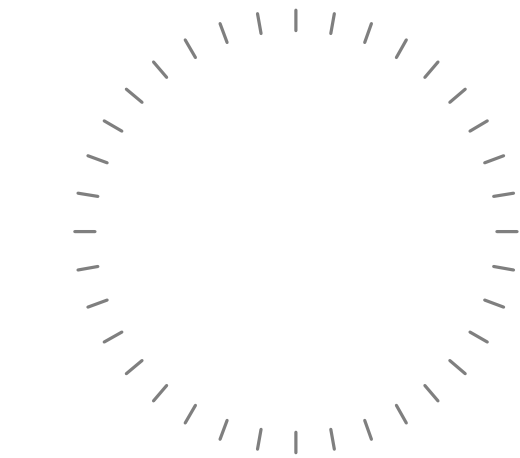
INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

HINES

**TWINBROOK
MULTIFAMILY**
1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 09

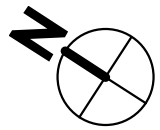
SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.



7B | FLOOR PLAN - LEVEL 09

A-201	A.109	1" = 20'-0"
-------	-------	-------------



Community Planning &
Development Services
Received
12/14/2022

A.109

ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300 Baltimore, MD 21230
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20876
 p. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

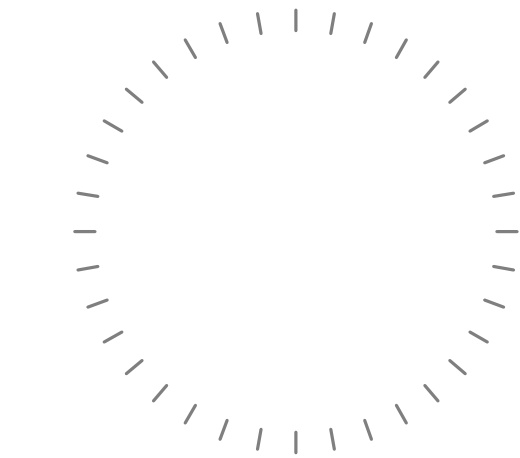
HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 10

A.110

SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.



ARCHITECT
Hord Coplan Macht, Inc.
 700 E. Pratt St, Suite 1200
 p. 410. 837. 7311
 Baltimore, MD 21202
 f. 410. 837. 6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300
p. 443.602.9520

CIVIL ENGINEER
VIKA MARYLAND, LLC
 20251 Century Blvd, Suite 400 Germantown, MD 20878
 p. 301.916.4100

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109 Raleigh, NC 27603
p. 919.973.6254

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
 3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
 p. 404.365.7600

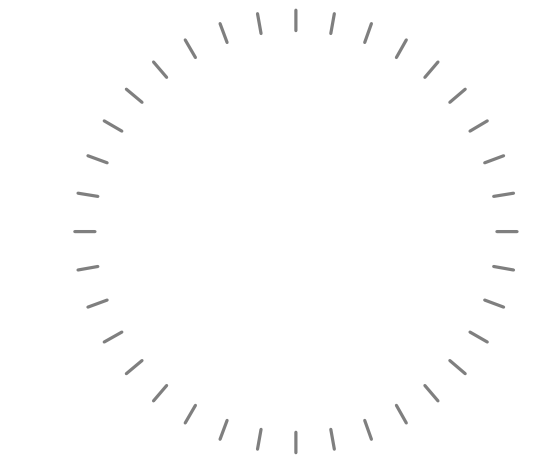
HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NUMBER:
EXPIRATION DATE:

[illegible]

no.	date	revision
-----	------	----------

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

Scale
1" = 20'-0"

Drawing _____

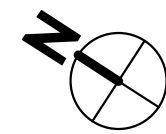
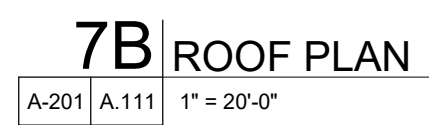
ROOF PLAN

ROOT PLAN

A.111

SITE PLAN RESUBMISSION

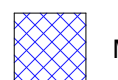
© Hord Coplan Macht, Inc.



Community Planning &
Development Services
Received
12/14/2022

12/8/2022 1:52:04 PM
C:\Users\khurtington\Documents\Revit Local\220252.00 - Twinbrook - ARCH -
RV\T2020_no compact spaces_KaasyHuntington.rvt

MPDU LEGEND

	MPDU
LEVELS 1+2 (2-STORY):	1 MPDU
LEVEL 3:	12 MPDUS
LEVEL 4:	12 MPDUS
LEVEL 5:	12 MPDUS
LEVEL 6:	11 MPDUS
LEVEL 7:	9 MPDUS
LEVEL 8:	9 UNITS
TOTAL:	66 MPDUS

MPDU SCHEDULE	
UNIT TYPE	COUNT

LEVEL 1	
UNIT E2	1

LEVEL 3	
UNIT A1	1
UNIT A2	2
UNIT B1	1
UNIT B4	1
UNIT C1	2
UNIT C5	1
UNIT D2	1
UNIT D1	1
UNIT JR1A	1
UNIT S1	1

LEVEL 4	
UNIT A1	1
UNIT A2	2
UNIT B1	1
UNIT B4	1
UNIT C1	4
UNIT D3	1
UNIT D1A	1
UNIT S1	1

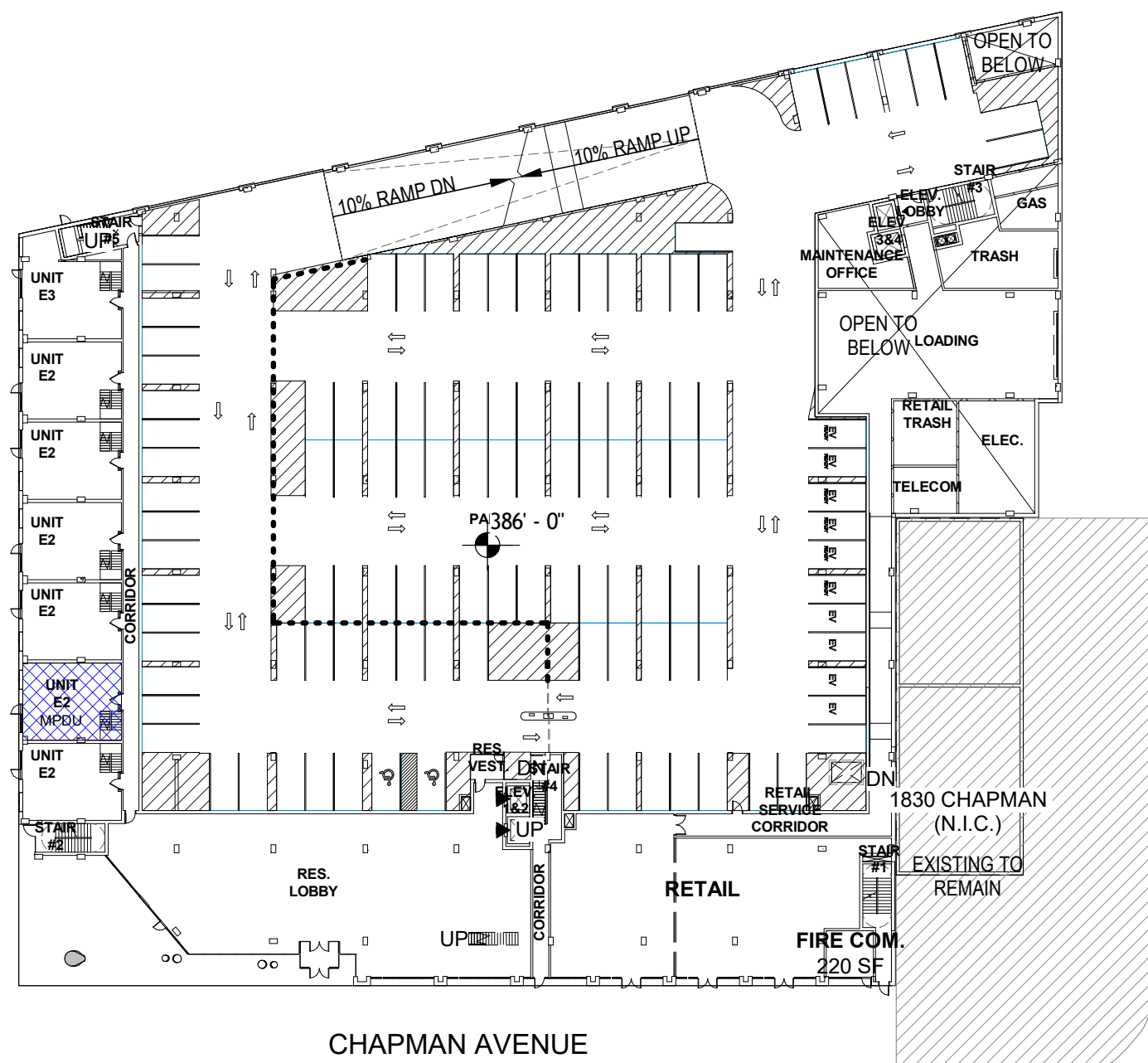
LEVEL 5	
UNIT A1	1
UNIT A2	3
UNIT B2	1
UNIT C1	2
UNIT C2	1
UNIT C4	1
UNIT E1	1
UNIT JR1A	1
UNIT S1	1

LEVEL 6	
UNIT A1	2
UNIT A2	1
UNIT B1	1
UNIT C1	3
UNIT D1	1
UNIT JR1A	1
UNIT S1	2

LEVEL 7	
UNIT A1	1
UNIT A2	2
UNIT B1	1
UNIT C1	3
UNIT JR1A	1
UNIT S1	1

LEVEL 8	
UNIT A1	3
UNIT A2	2
UNIT C1	1
UNIT C5	1
UNIT JR1A	1
UNIT S1	1

Grand total: 66



4A FLOOR PLAN - GROUND FLOOR (TWO-STORY UNITS)

A-102 | A.112 1" = 50'-0"



6A FLOOR PLAN - LEVEL 5

A-201 | A.112 1" = 50'-0"



9A FLOOR PLAN - LEVEL 8

A-201 | A.112 1" = 50'-0"



3E FLOOR PLAN - LEVEL 03

A-102 | A.112 1" = 50'-0"



6E FLOOR PLAN - LEVEL 6

A-201 | A.112 1" = 50'-0"



9E FLOOR PLAN - LEVEL 09

A-201 | A.112 1" = 50'-0"



3H FLOOR PLAN - LEVEL 04

A-201 | A.112 1" = 50'-0"



6H FLOOR PLAN - LEVEL 7

A-201 | A.112 1" = 50'-0"



9H FLOOR PLAN - LEVEL 10

A-201 | A.112 1" = 50'-0"

Community Planning & Development Services
Received
12/14/2022

ARCHITECT
Hord Coplan Macht, Inc.
700 E. Pratt St, Suite 1200
p. 410.837.7311 Baltimore, MD 21202
f. 410.837.6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300
p. 443.602.9520 Baltimore, MD 21230

CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 Century Blvd, Suite 400
p. 301.916.4100 Germantown, MD 20874

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109
p. 919.973.6254 Raleigh, NC 27603

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

HINES

TWINBROOK
MULTIFAMILY
1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord coplan macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER:
EXPIRATION DATE:

no. date revision

Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
12.08.2022

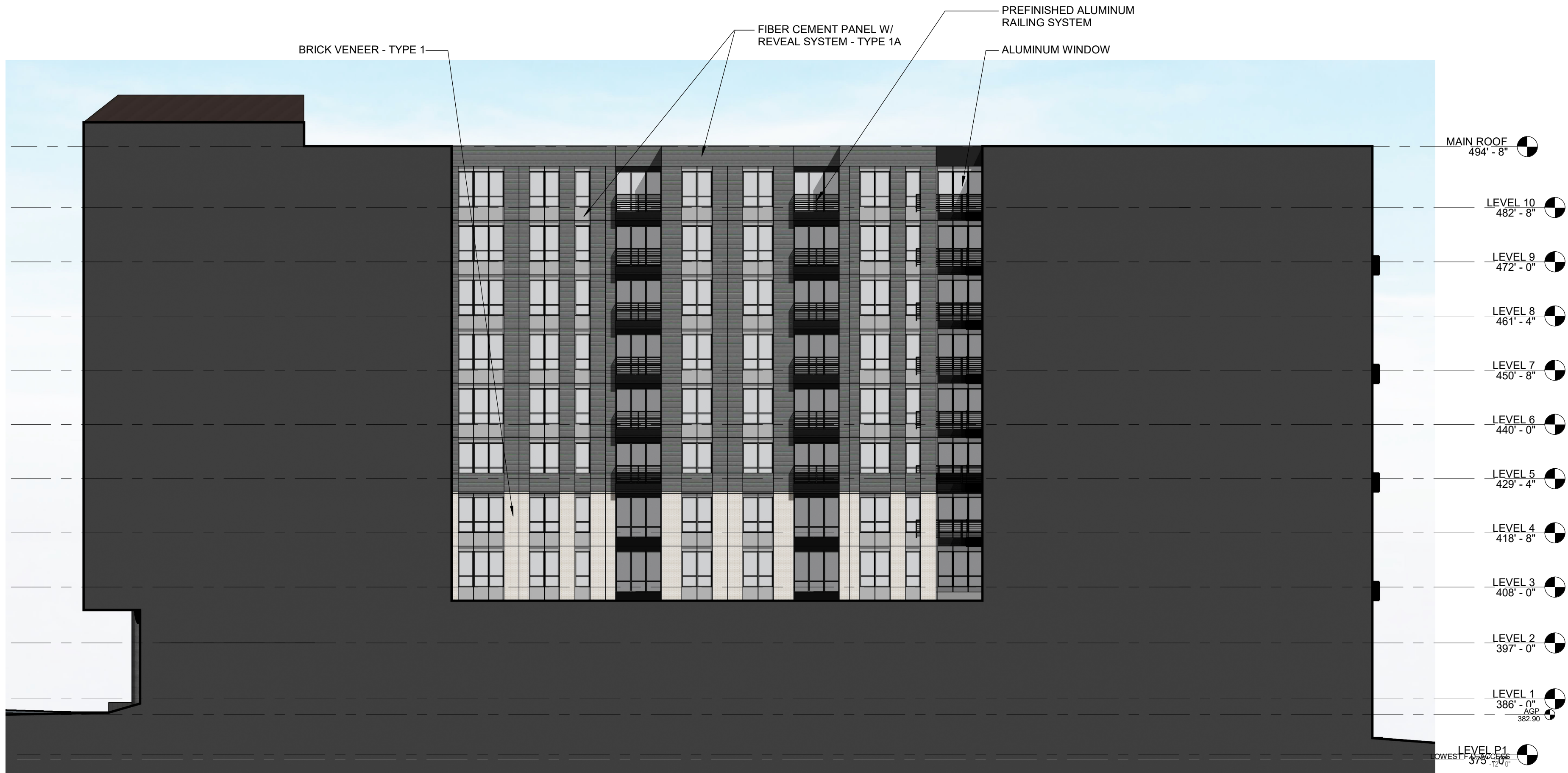
Scale
As indicated

Drawing
MPDU DESIGNATION FLOOR
PLANS

A.112

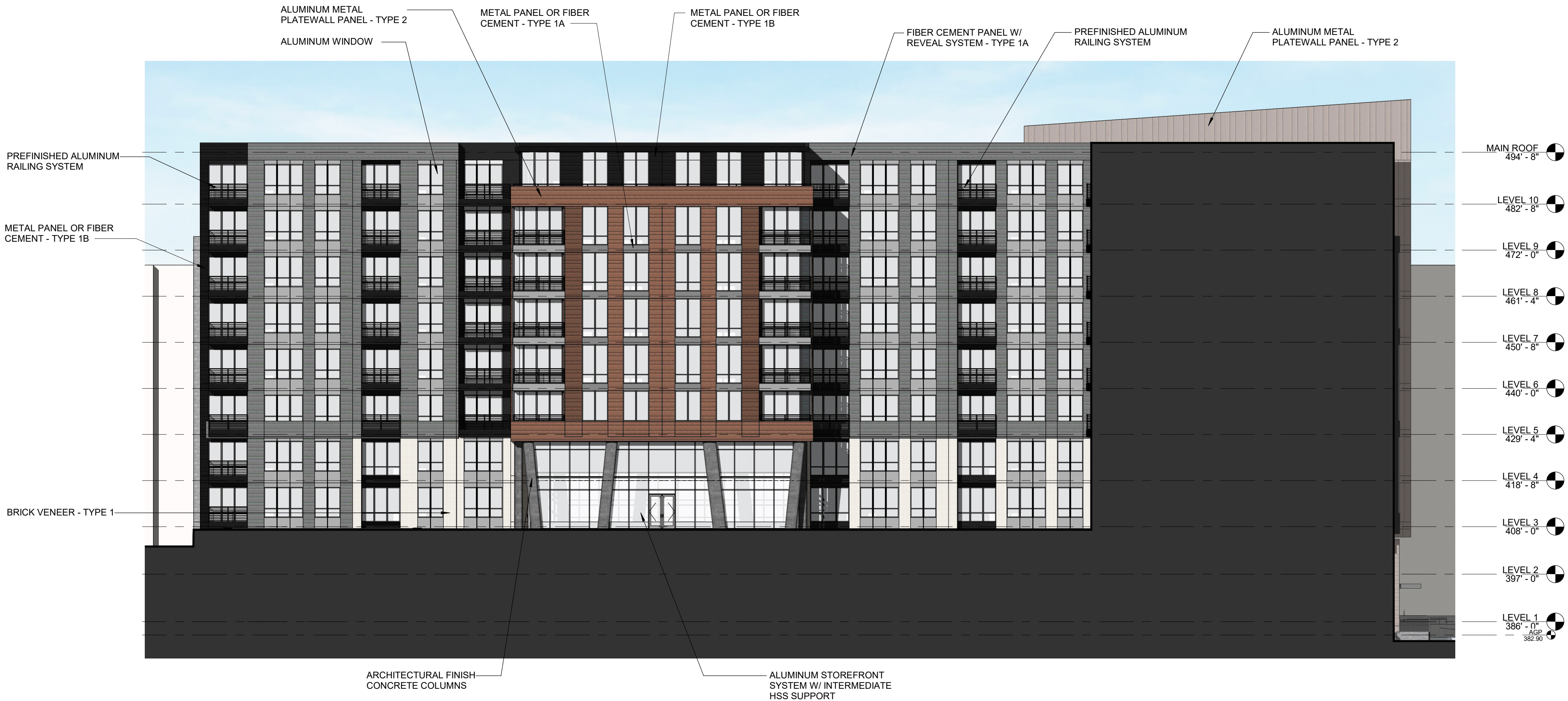
SITE PLAN RESUBMISSION

© Hord Coplan Macht, Inc.



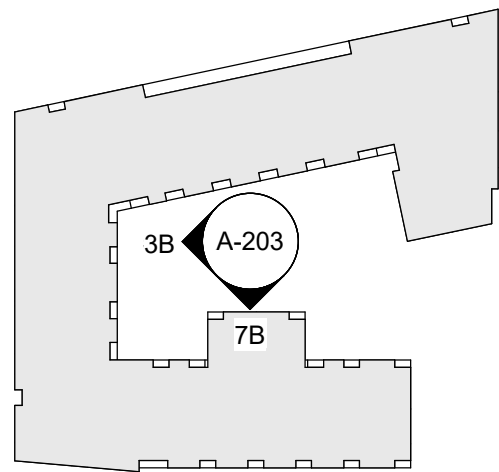
3B NORTH COURTYARD ELEVATION

A-103 | A.203 1/16" = 1'-0"



7B WEST COURTYARD ELEVATION

A-103 | A.203 1/16" = 1'-0"



BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY. DIMENSIONS AND LOCATIONS OF SETBACKS, PROJECTIONS AND ARCHITECTURAL ELEMENTS, MATERIALS AND COLORS ARE SUBJECT TO CHANGE.

12/8/2022 1:52:37 PM
C:\Users\khurlington\Documents\Reel Local\220252.00 - Twinbrook - ARCH
RVT2022, no compact spaces, f:\caykhurlington\rl

ARCHITECT
Hord Coplan Macht, Inc.
700 E. Pratt St, Suite 1200
p. 410.837.7311 Baltimore, MD 21202
f. 410.837.6530

STRUCTURAL ENGINEER
SK&A
1155 Connecticut Avenue, NW, Suite 800
Washington, DC 20036
p. 202.659.2520

M/E/P ENGINEER
AKF
37 W. Cross St, Suite 300
p. 443.602.9520 Baltimore, MD 21230

CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 Century Blvd, Suite 400
p. 301.916.4100 Germantown, MD 20874

LANDSCAPE ARCHITECT
DESIGN WORKSHOP
301 North West St, Suite 109
p. 919.973.6254 Raleigh, NC 27603

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
p. 404.365.7600

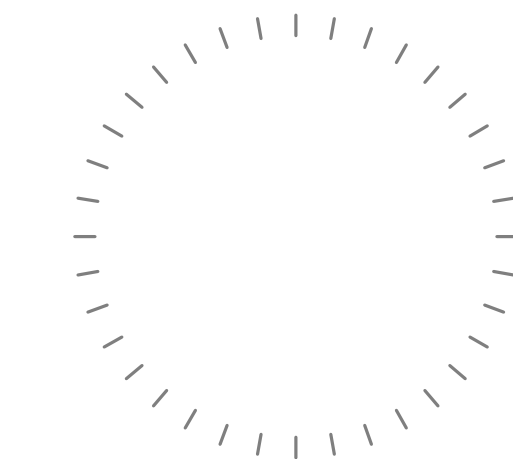
HINES

TWINBROOK MULTIFAMILY

1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: _____

EXPIRATION DATE: _____

no. date revision

Project Name

TWINBROOK MULTIFAMILY

Project Number

220252.00

Date

12.08.2022

Scale

1/16" = 1'-0"

Drawing

EXTERIOR ELEVATIONS -

COURTYARD
