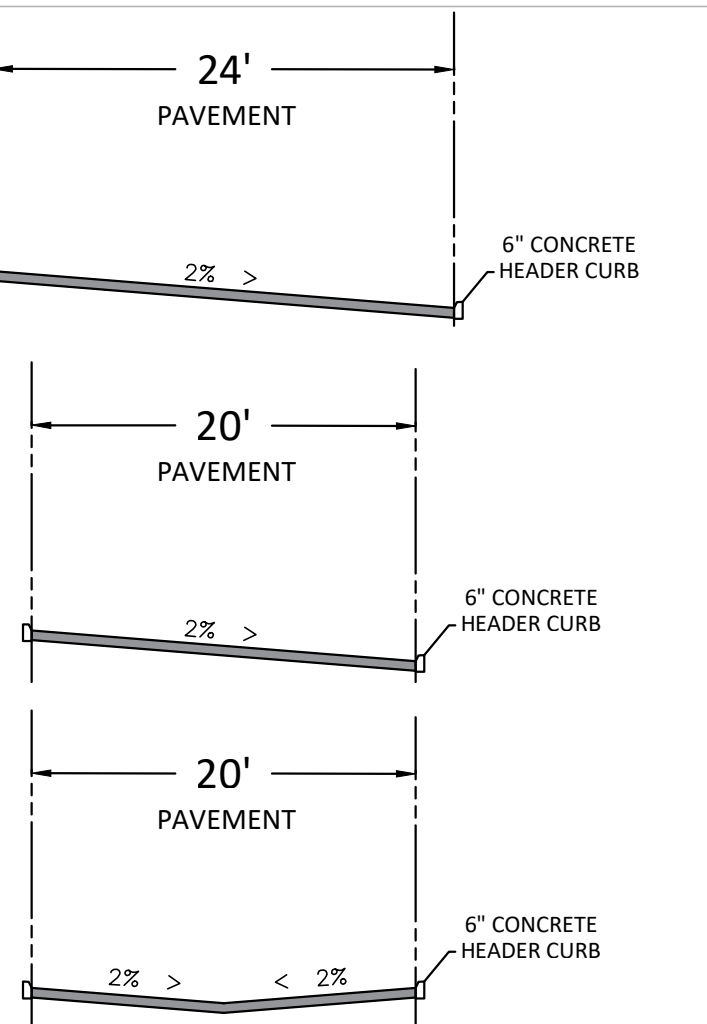
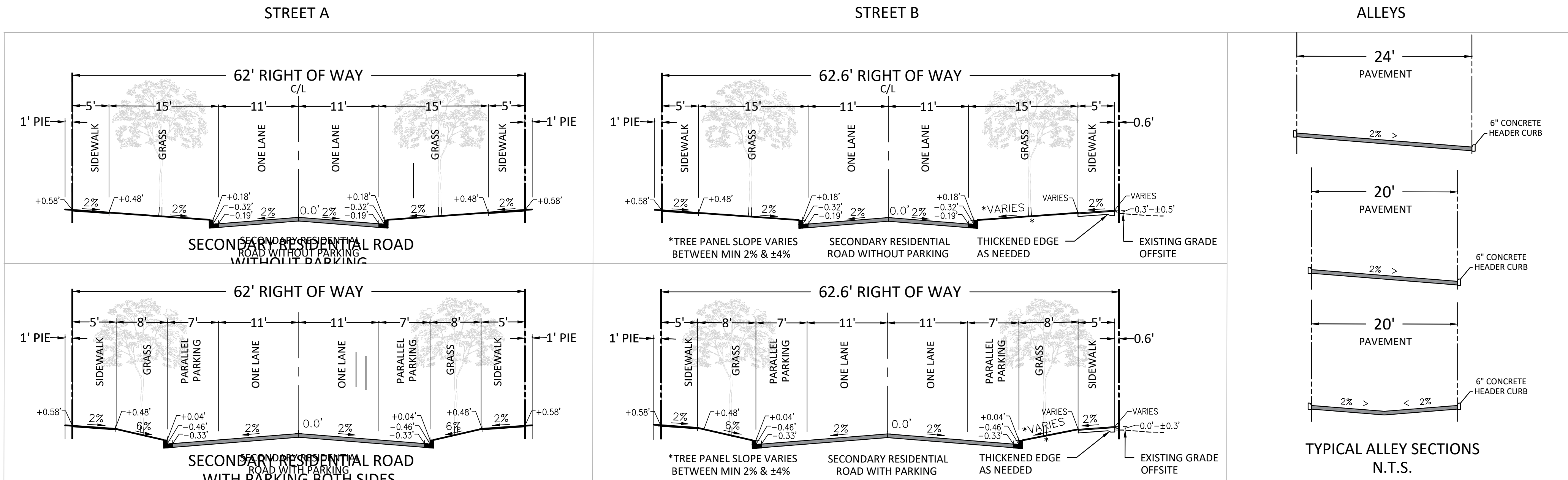
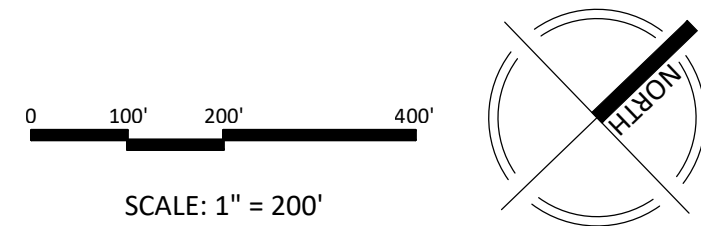


Property Information			
Zoning (see footnote 1)		PD-RS/MXNC	
Tract Area (Parcel A)		318,968 SF	7.32 AC
Proposed Dedications		54,384 SF	1.25 AC
Site Area		264,584 SF	6.07 AC
Development Program			
Residential		up to	60
Dwelling, Single unit detached		up to	31
Dwelling, Townhouse		up to	29
Commercial and Office			
To be determined (permitted or conditional uses per table 25.13.03)		up to	5200
MPDUs		UNITS	%
Minimum Required		9	15.0%
Proposed		9	15.0%
Density		SF	FAR
Proposed Residential GFA		217,110	0.82
Proposed Non-Residential		5,200	0.02
Total		222,310	0.84
Building Height		<i>Maximum Allowed</i>	<i>Maximum Requested</i>
		45'	45'
Open Space		<i>Minimum Required</i>	<i>Proposed (see footnote 2)</i>
Open Area (includes public use space)		10% 26,458 SF	36.2% 95,821 SF
Public Use Space		5% 13,230 SF	7.6% 20,298 SF
Lot width at front lot line		<i>Minimum Required</i>	<i>Proposed (minimum)</i>
		10	10
Building Setbacks		<i>Minimum Required</i>	<i>Proposed</i>
Abutting public right-of-way		0', 10' if provided	10' minimum
Side			
Abutting residential land		25' or bldg. hgt. whichever is greater	N/A
Non-Residential abutting land		0', 10' if provided	10' minimum
Rear			
		0'	
Abutting residential land		25' or bldg. hgt. whichever is greater	N/A
Non-Residential abutting land		0', 10' if provided	10' minimum
Parking		<i>Minimum Required</i>	<i>Proposed</i>
Residential			
Dwelling, Single unit (2 per unit)		62	62
Dwelling, Townhouse (2 per unit)		58	58
Visitor			
On-street		--	25
Surface Lot			
Rockshire Assoc. allocation (see footnote 3)		--	30
Visitor parking ratio (excludes commercial/retail allocation)			0.91 space per unit
Commercial and Office (see footnote 4)			
Permitted and/or conditional use per Sec. 25.13.10		26	26
Bicycle			
Retail sales, trade or merchandizing		2	6
Total		148	207

Accessible Parking	<i>Minimum Required</i>	<i>Proposed</i>
On-Street Accessible Parking	1	1
Commercial	1	1
Rockshire Association/Visitor Lot	2	2

The site plan illustrates the proposed development's location at the intersection of Hurley Avenue and Wootton Parkway. The development itself is a large, rectangular complex with a central courtyard and multiple parking areas. The surrounding context includes existing residential streets, parking lots, and some undeveloped land. The proposed building is highlighted with a thick black outline.



VICINITY MAP
SCALE: 1" = 2000'

Community Planning & Development Services
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November 27, 2023

1. THE PROPERTY IS 7.32 ACRES.
2. THE PROPERTY IS ZONED PD-RS/MXNC.
3. THE SITE IS LOCATED ON WSSC MAP 218NW09.
4. THE SUBJECT PROPERTY IS LOCATED ON TAX ASSESSMENT MAP NO. FR62, WITH TAX ACCOUNT NO. 04-01779638.
5. BOUNDARY AND TOPOGRAPHIC DATA UPDATE BY VIKI MARYLAND, LLC. IN 7/21/2021.
6. THERE IS NO 100 YEAR FLOODPLAIN LOCATED ON THE SITE.
7. THERE IS NO STREAM VALLEY BUFFER LOCATED ON THE SITE.
8. THERE ARE NO WETLANDS LOCATED ON THE SITE.

SP-1.0	COVER SHEET
SP-1.1	PROJECT SITE PLAN EXISTING CONDITIONS
SP-2.0	PROJECT SITE PLAN COMPOSITE
SP-2.1	PROJECT SITE PLAN 30 SCALE
SP-2.2	PROJECT SITE PLAN 30 SCALE
SP-3.0	LOTTING PLAN
L0101	COMPOSITE MATERIALS PLAN
L0102	MATERIALS PLAN ENLARGEMENT
L0201	COMPOSITE LANDSCAPE PLAN
L0202	LANDSCAPE PLAN ENLARGEMENT
L0203	LANDSCAPE PLANT SCHEDULE
L0301	HARDSCAPE DETAILS - PAVING + CURBS
L0302	HARDSCAPE DETAILS - WALLS + BOULDERS
L0303	HARDSCAPE DETAILS - FURNISHINGS
L0304	HARDSCAPE DETAILS - FURNISHINGS
L0305	LANDSCAPE DETAILS
L0501	SITE RECREATION DIAGRAM
A100	CONCEPTUAL STREETSCAPE ELEVATION - SINGLE FAMILY HOMES
A101	UNIT A ELEVATIONS - SINGLE FAMILY HOUSES
A102	UNIT A PERSPECTIVE ELEVATIONS - SINGLE FAMILY HOUSES
A103	UNIT B ELEVATIONS - SINGLE FAMILY HOUSES
A104	UNIT B PERSPECTIVE ELEVATIONS - SINGLE FAMILY HOUSES
A105	UNIT A & B FLOOR PLANS - SINGLE FAMILY HOUSES
A200	CONCEPTUAL STREETSCAPE ELEVATIONS - TOWNHOMES
A201	CONCEPTUAL FLOOR PLANS - TOWNHOMES
A300	RETAIL PERSPECTIVES
A301	RETAIL ELEVATIONS
A302	RETAIL FLOOR PLAN

SUPPLEMENTAL EXHIBITS

EXH-1.0	OPEN AREA AND PUBLIC USE SPACE PLAN
EXH-2.0	MPDU EXHIBIT
EXH-3.0	PARKING EXHIBIT
EXH-4.0	VEHICULAR CIRCULATION EXHIBIT
EXH-5.0.1	SU-30 TURNING MOVEMENTS
EXH-5.0.2	SU-30 TURNING MOVEMENTS
EXH-5.0.3	SU-30 TURNING MOVEMENTS
EXH-5.1.1	GARBAGE TURNING MOVEMENTS
EXH-5.1.2	GARBAGE TURNING MOVEMENTS
EXH-5.1.3	GARBAGE TURNING MOVEMENTS
EXH-5.1.4	FIRE TRUCK TURNING MOVEMENTS IN
EXH-6.0	WATER AND SEWER ZONE OF INFLUENCE DIAGRAMS



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CONTACT: JASON SERENO

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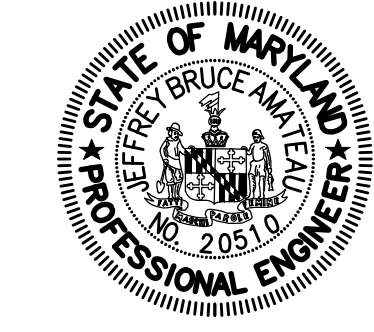
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[illegible]

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

COVER
SHEET

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
ENGINEER'S NAME: JEFFREY AMATEAU, P.E.
LICENSE No.: 20510
EXPIRATION DATE: JULY 14, 2024

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DESIGNED BY: JSL

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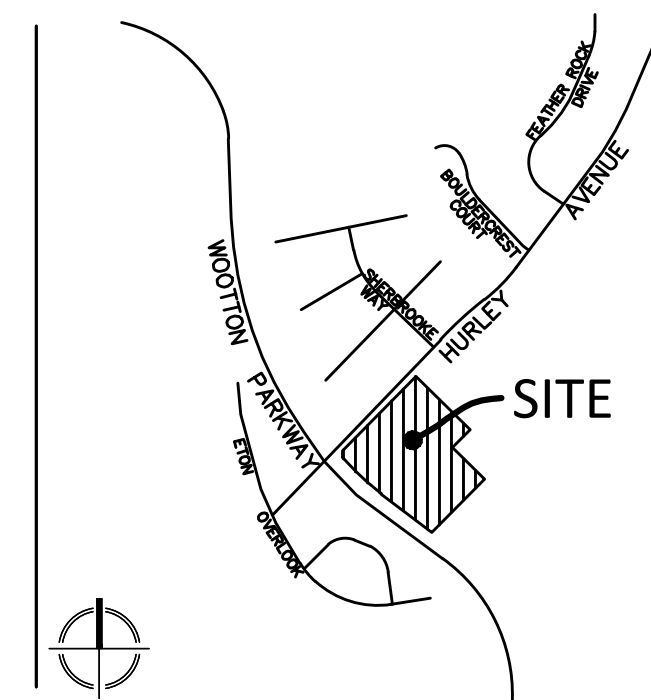
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DRAWING
NO. SP-1.0

SHEET NO.

PLAN LEGEND

PROPERTY LINES		EXISTING PARKING LABEL		EXISTING GUY POLE		EXISTING BOLLARD	
	EXISTING CABLE TELEVISION CONDUIT		EXISTING SANITARY CLEANOUT				EXISTING SIGN POST
	EXISTING ELECTRICAL CONDUIT		EXISTING STORM DRAIN MANHOLE				EXISTING WOOD POST
	EXISTING EDGE OF PAVEMENT		EXISTING ELECTRICAL JUNCTION BOX				EXISTING INLETS
	EXISTING FENCE LINE		EXISTING ELECTRICAL MANHOLE				EXISTING CURB INLET
	EXISTING NATURAL GAS CONDUIT		EXISTING FIRE DEPARTMENT CONNECTION				EXISTING CONCRETE
	EXISTING OVERHEAD WIRES		EXISTING FIRE HYDRANT				EXISTING CURB AND GUTTER
	EXISTING TELEPHONE CONDUIT		EXISTING GAS MANHOLE				EXISTING BUILDING
	EXISTING PUBLIC UTILITIES EASEMENTS						EXISTING STORY
	EXISTING SANITARY SEWER CONDUIT						EXISTING ELECTRICAL TRANSFORMER
	EXISTING STORM DRAIN CONDUIT						EXISTING ASPHALT
	EXISTING WATER CONDUIT						EXISTING EASEMENT
	EXISTING ZONE LIMITS						EXISTING REINFORCED CONCRETE PIPE
							EXISTING CORRUGATED METAL PIPE
							EXISTING BUILDING RESTRICTION LINE
							EXISTING RIGHT-OF-WAY



VICINITY MAP
SCALE: 1" = 2000'

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ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN -
EXISTING
CONDITIONS

PROFESSIONAL SEAL



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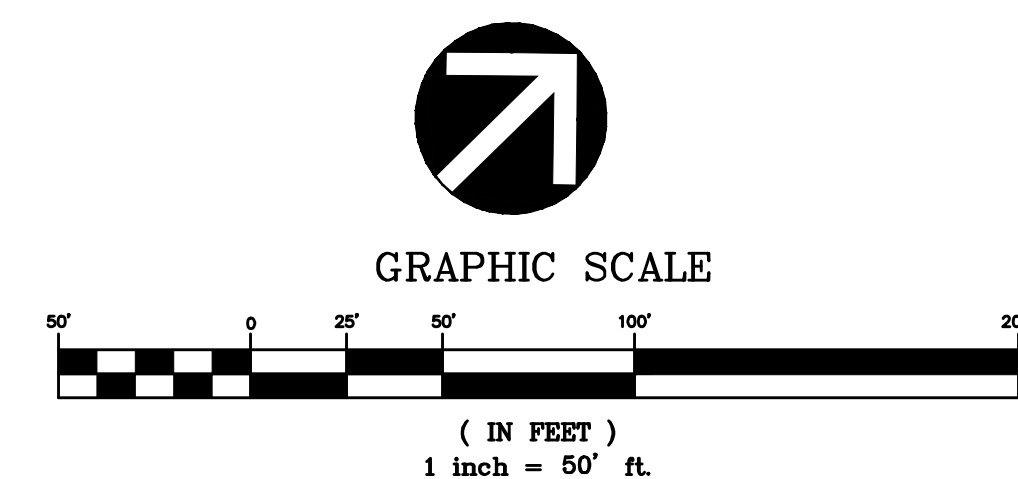
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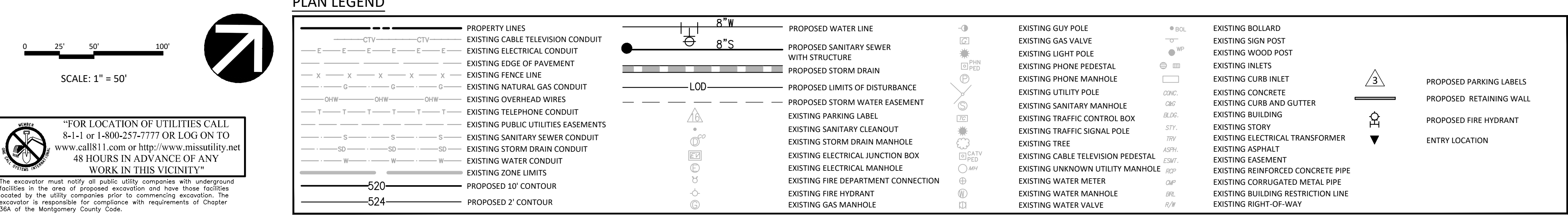
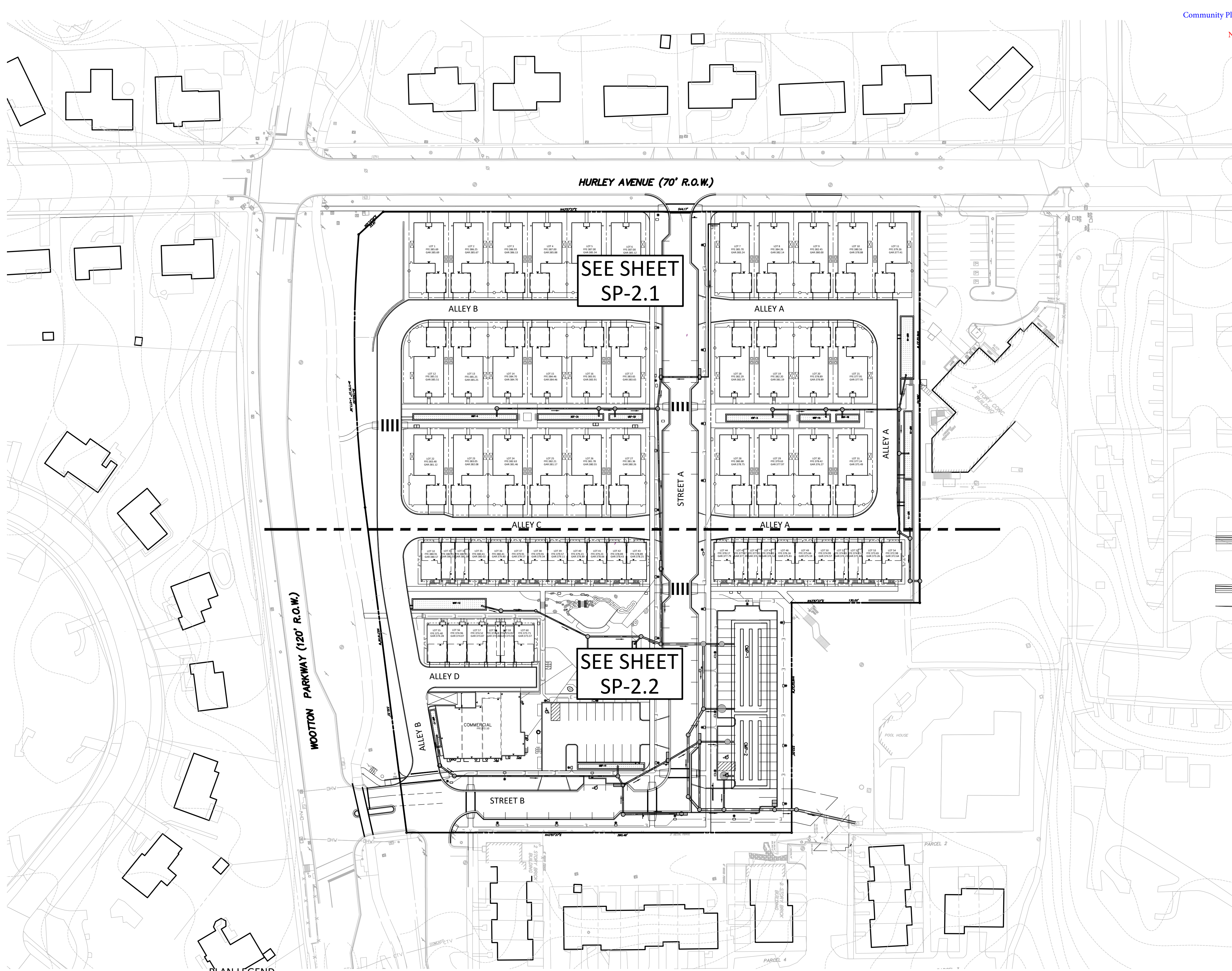
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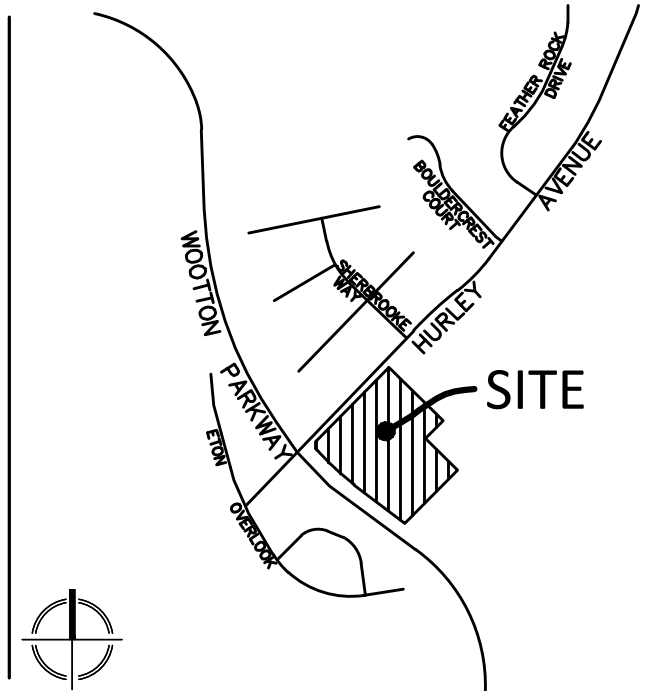
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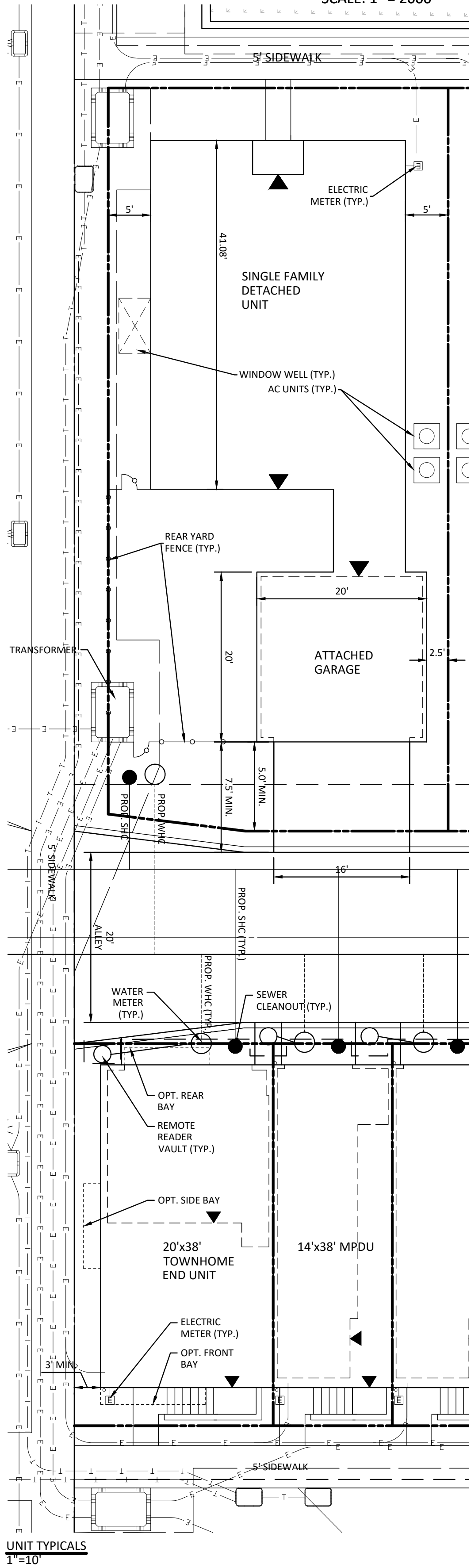




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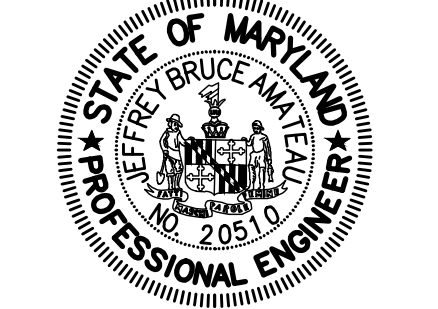
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ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23
PJT RESUBMISSION	11/22/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN
COMPOSITE

PROFESSIONAL SEAL



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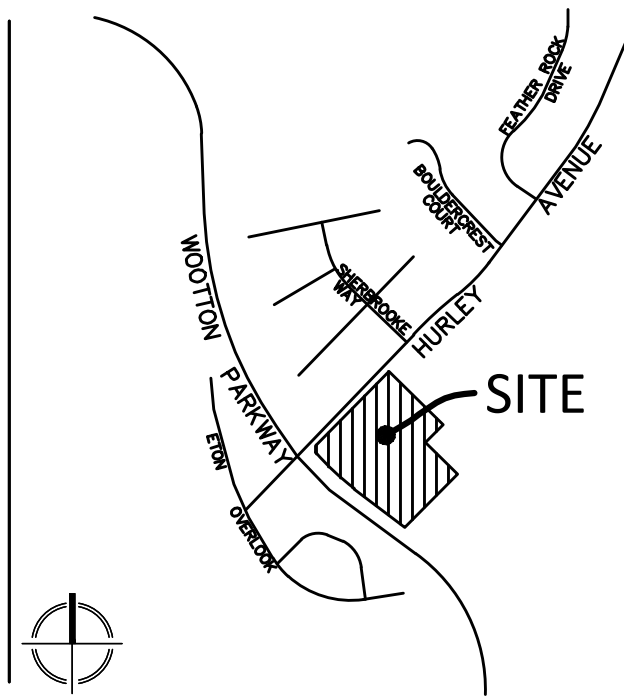
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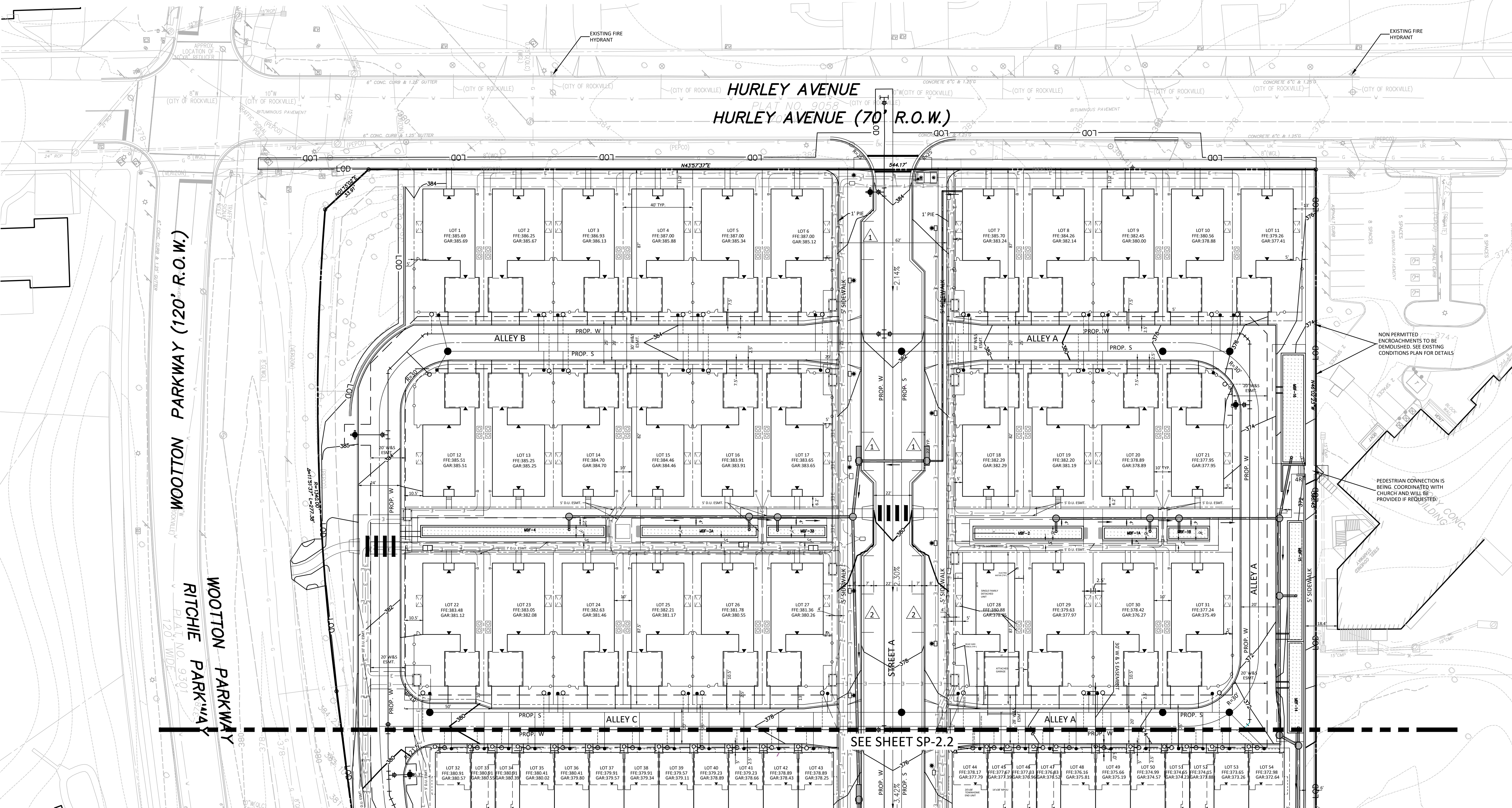
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PLAN LEGEND

<p>CTV</p> <p>E E E E E E E</p> <p>X X X X X X X</p> <p>G G G G G G G</p> <p>OHW OHW OHW OHW</p> <p>T T T T T T T</p> <p>S S S S S S S</p> <p>SD SD SD SD SD SD</p> <p>W W W W W W W</p> <p>520</p> <p>524</p>	<p>PROPERTY LINES</p> <p>EXISTING CABLE TELEVISION CONDUIT</p> <p>EXISTING ELECTRICAL CONDUIT</p> <p>EXISTING PHONE PEDESTAL</p> <p>EXISTING FENCE LINE</p> <p>EXISTING NATURAL GAS CONDUIT</p> <p>EXISTING OVERHEAD WIRES</p> <p>EXISTING TELEPHONE CONDUIT</p> <p>EXISTING PUBLIC UTILITIES EASEMENTS</p> <p>EXISTING SANITARY SEWER CONDUIT</p> <p>EXISTING STORM DRAIN CONDUIT</p> <p>EXISTING WATER CONDUIT</p> <p>EXISTING ZONE LIMITS</p> <p>PROPOSED 10' CONTOUR</p> <p>PROPOSED 2' CONTOUR</p>	<p>8" W</p> <p>8" S</p> <p>LOD</p> <p>PROPOSED WATER LINE</p> <p>PROPOSED SANITARY SEWER WITH STRUCTURE</p> <p>PROPOSED STORM DRAIN</p> <p>PROPOSED LIMITS OF DISTURBANCE</p> <p>PROPOSED STORM WATER EASEMENT</p> <p>EXISTING PARKING LABEL</p> <p>EXISTING SANITARY CLEANOUT</p> <p>EXISTING STORM DRAIN MANHOLE</p> <p>EXISTING ELECTRICAL JUNCTION BOX</p> <p>EXISTING ELECTRICAL MANHOLE</p> <p>EXISTING FIRE DEPARTMENT CONNECTION</p> <p>EXISTING FIRE HYDRANT</p> <p>EXISTING GAS MANHOLE</p>	<p>EXISTING GUY POLE</p> <p>EXISTING GAS VALVE</p> <p>EXISTING LIGHT POLE</p> <p>EXISTING PHONE PEDESTAL</p> <p>EXISTING PHONE MANHOLE</p> <p>EXISTING UTILITY POLE</p> <p>EXISTING SANITARY MANHOLE</p> <p>EXISTING TRAFFIC CONTROL BOX</p> <p>EXISTING TRAFFIC SIGNAL POLE</p> <p>EXISTING TREE</p> <p>EXISTING CABLE TELEVISION PEDESTAL</p> <p>EXISTING UNKNOWN UTILITY MANHOLE</p> <p>EXISTING WATER METER</p> <p>EXISTING WATER MANHOLE</p> <p>EXISTING WATER VALVE</p>	<p>EXISTING BOLLARD</p> <p>EXISTING SIGN POST</p> <p>EXISTING WOOD POST</p> <p>EXISTING INLETS</p> <p>EXISTING CURB INLET</p> <p>EXISTING CONCRETE</p> <p>EXISTING CURB AND GUTTER</p> <p>EXISTING STORY</p> <p>EXISTING ELECTRICAL TRANSFORMER</p> <p>EXISTING ASPHALT</p> <p>EXISTING EASEMENT</p> <p>EXISTING REINFORCED CONCRETE PIPE</p> <p>EXISTING CORRUGATED METAL PIPE</p> <p>EXISTING BUILDING RESTRICTION LINE</p> <p>EXISTING RIGHT-OF-WAY</p>	<p>PROPOSED PARKING</p> <p>PROPOSED RETAINING WALL</p> <p>PROPOSED FIRE HYDRANT</p> <p>ENTRY LOCATION</p> <p>PROPOSED SWM FACILITY</p> <p>PROPOSED UNDERGROUND SWM FACILITY</p>
--	---	---	---	--	---



VICINITY MAP
SCALE: 1" = 2000'



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ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN
30 SCALE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: JEFFREY AMATEAU, P.E. LICENSE NO.: 20510 EXPIRATION DATE: JULY 14, 2024

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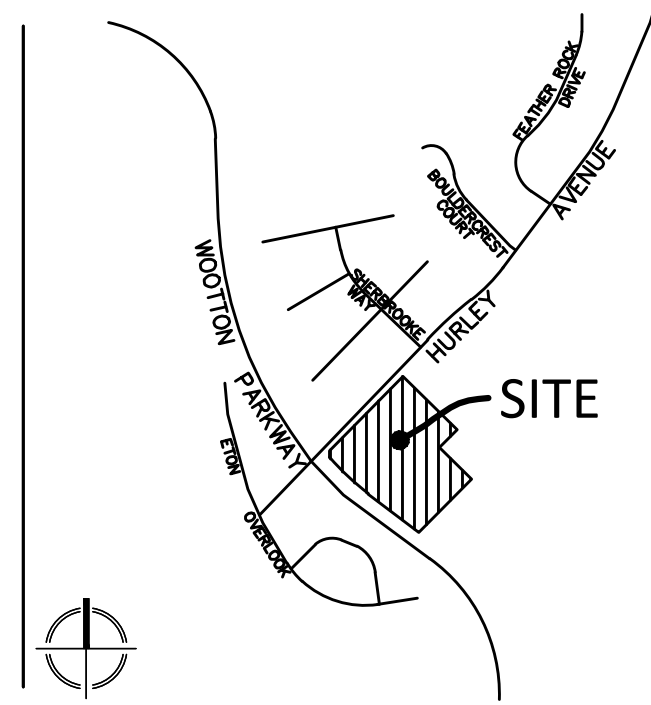
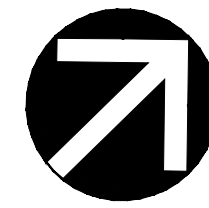
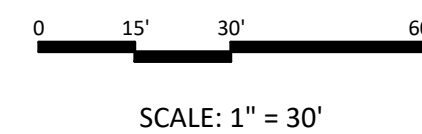
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"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

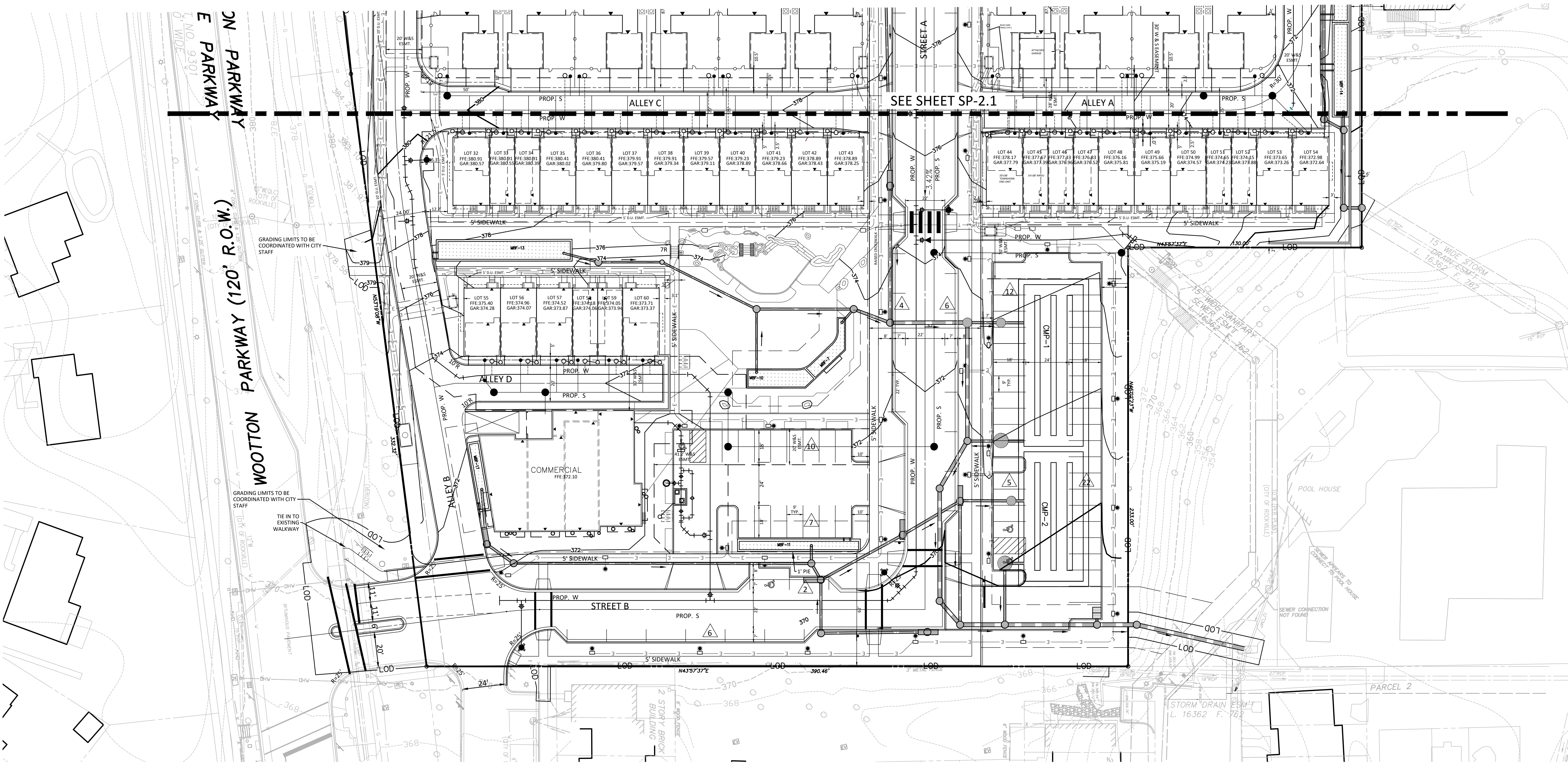
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.


Community Planning & Development Services
Received
November 27, 2023

	PROPERTY LINES		PROPOSED WATER LINE		EXISTING GUY POLE		EXISTING BOLLARD		PROPOSED DEPRESSED CURB
	EXISTING CABLE TELEVISION CONDUIT		PROPOSED SANITARY SEWER WITH STRUCTURE		EXISTING GAS VALVE		EXISTING SIGN POST		PROPOSED PARKING
	EXISTING ELECTRICAL CONDUIT		PROPOSED STORM DRAIN		EXISTING LIGHT POLE		EXISTING WOOD POST		PROPOSED RETAINING WALL
	EXISTING EDGE OF PAVEMENT				EXISTING PHONE PEDESTAL		EXISTING INLETS		PROPOSED FIRE HYDRANT
	EXISTING FENCE LINE		PROPOSED LIMITS OF DISTURBANCE		EXISTING PHONE MANHOLE		EXISTING CURB INLET		ENTRY LOCATION
	EXISTING NATURAL GAS CONDUIT		PROPOSED STORM WATER EASEMENT		EXISTING UTILITY POLE		EXISTING CONCRETE		PROPOSED SWM FACILITY
	EXISTING OVERHEAD WIRES		EXISTING PARKING LABEL		EXISTING TRAFFIC CONTROL BOX		EXISTING CURB AND GUTTER		PROPOSED UNDERGROUND SWM FACILITY
	EXISTING TELEPHONE CONDUIT		EXISTING SANITARY CLEANOUT		EXISTING TRAFFIC SIGNAL POLE		EXISTING BUILDING		
	EXISTING PUBLIC UTILITIES EASEMENTS		EXISTING ELECTRICAL JUNCTION BOX		EXISTING TREE		EXISTING STORY		
	EXISTING SANITARY SEWER CONDUIT		EXISTING ELECTRICAL MANHOLE		EXISTING CABLE TELEVISION PEDESTAL		EXISTING ELECTRICAL TRANSFORMER		
	EXISTING STORM DRAIN CONDUIT		EXISTING FIRE DEPARTMENT CONNECTION		EXISTING UNKNOWN UTILITY MANHOLE		EXISTING ASPHALT		
	EXISTING WATER CONDUIT		EXISTING FIRE HYDRANT		EXISTING WATER METER		EXISTING EASEMENT		
	EXISTING ZONE LIMITS		EXISTING GAS MANHOLE		EXISTING REINFORCED CONCRETE PIPE		EXISTING CORRUGATED METAL PIPE		
	PROPOSED 10' CONTOUR				EXISTING WATER MANHOLE		EXISTING BUILDING RESTRICTION LINE		
	PROPOSED 2' CONTOUR				EXISTING WATER VALVE		EXISTING RIGHT-OF-WAY		



VICINITY MAP
SCALE: 1" = 2000'



 "FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or <http://www.missutility.net>
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LAYOUT: SP-2.2, Plotted By: buchheister

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23
PJT RESUBMISSION	11/22/23

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN
30 SCALE

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
ENGINEER'S NAME: JEFFREY AMATEAU, P.E.
LICENSE No.: 20510
EXPIRATION DATE: JULY 14, 2024

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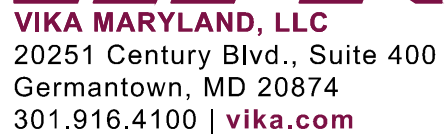
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DRAWN BY: GLS
DESIGNED BY: JSL
DATE ISSUED: 07/03/2023

VIKA PROJECT	VM1935
DRAWING NO.	SP-2.2

SHEET NO.

Community Planning & Development Services
Received
November 27, 2023



PREPARED FOR:
RK HOMES ASSOCIATES LLC
4800 HAMPDEN LANE
SUITE 300
BETHESDA, MD 20814
301-634-8600
CONTACT: JASON SERENO

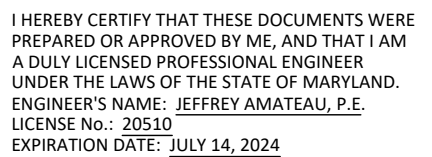
DESIGN CONSULTANTS:
PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD
SUITE 400
GERMANTOWN MD, 20874
301.916.4100
CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
LAND DESIGN, INC
200 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

[illegible]

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROFESSIONAL SEAL



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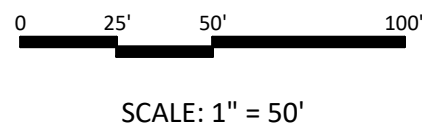
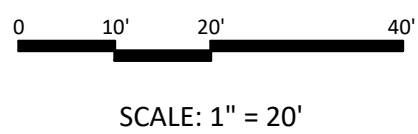
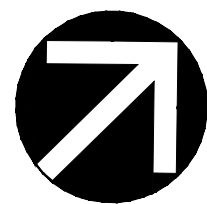
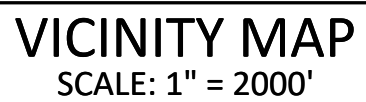
DESIGNED BY: JSL

DATE ISSUED: 07/03/2023

VIKA PROJECT VM1935

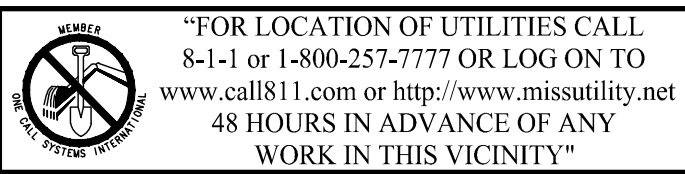
DRAWING NO. SP-3.0

SHEET NO.



PLAN LEGEND

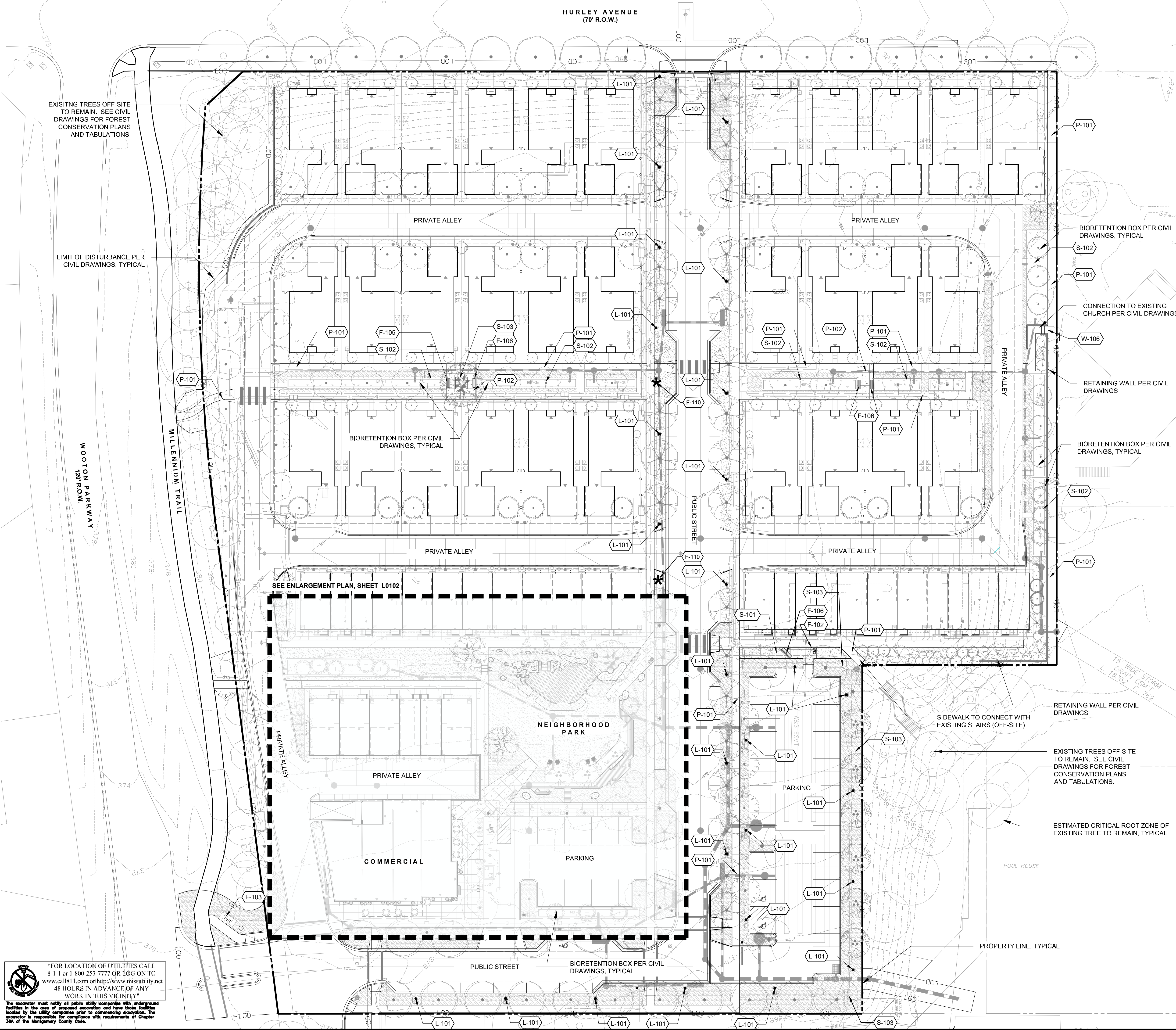
	<p>PROPERTY LINES</p> <p>EXISTING CABLE TELEVISION CONDUIT</p> <p>EXISTING ELECTRICAL CONDUIT</p> <p>EXISTING EDGE OF PAVEMENT</p> <p>EXISTING FENCE LINE</p> <p>EXISTING NATURAL GAS CONDUIT</p> <p>EXISTING OVERHEAD WIRES</p> <p>EXISTING TELEPHONE CONDUIT</p> <p>EXISTING PUBLIC UTILITIES ESMT.5</p> <p>EXISTING SANITARY SEWER CONDUIT</p> <p>EXISTING STORM DRAIN CONDUIT</p> <p>EXISTING WATER CONDUIT</p> <p>EXISTING ZONE LIMITS</p> <p>PROPOSED 10' CONTOUR</p> <p>PROPOSED 2' CONTOUR</p>		<p>PROPOSED WATER LINE</p> <p>PROPOSED SANITARY SEWER WITH STRUCTURE</p> <p>PROPOSED STORM DRAIN</p> <p>PROPOSED LIMITS OF DISTURBANCE</p> <p>PROPOSED STORM WATER ESMT.</p> <p>EXISTING PARKING LABEL</p> <p>EXISTING SANITARY CLEANOUT</p> <p>EXISTING STORM DRAIN MANHOLE</p> <p>EXISTING ELECTRICAL JUNCTION BOX</p> <p>EXISTING ELECTRICAL MANHOLE</p> <p>EXISTING FIRE DEPARTMENT CONNECTION</p> <p>EXISTING FIRE HYDRANT</p> <p>EXISTING GAS MANHOLE</p>		<p>EXISTING GUY POLE</p> <p>EXISTING GAS VALVE</p> <p>EXISTING LIGHT POLE</p> <p>EXISTING PHONE PEDESTAL</p> <p>EXISTING PHONE MANHOLE</p> <p>EXISTING UTILITY POLE</p> <p>EXISTING SANITARY MANHOLE</p> <p>EXISTING TRAFFIC CONTROL BOX</p> <p>EXISTING TRAFFIC SIGNAL POLE</p> <p>EXISTING TREE</p> <p>EXISTING CABLE TELEVISION PEDESTAL</p> <p>EXISTING UNKNOWN UTILITY MANHOLE</p> <p>EXISTING WATER METER</p> <p>EXISTING WATER MANHOLE</p> <p>EXISTING WATER VALVE</p>		<p>EXISTING BOLLARD</p> <p>EXISTING SIGN POST</p> <p>EXISTING WOOD POST</p> <p>EXISTING INLETS</p> <p>EXISTING CURB INLET</p> <p>EXISTING CONCRETE</p> <p>EXISTING CURB AND GUTTER</p> <p>EXISTING BUILDING</p> <p>EXISTING ELECTRICAL TRANSFORMER</p> <p>EXISTING ASPHALT</p> <p>EXISTING ESMT.</p> <p>EXISTING REINFORCED CONCRETE PIPE</p> <p>EXISTING CORRUGATED METAL PIPE</p> <p>EXISTING BUILDING RESTRICTION LINE</p> <p>EXISTING RIGHT-OF-WAY</p>		<p>PROPOSED PARKING LABELS</p> <p>PROPOSED RETAINING WALL</p> <p>PROPOSED FIRE HYDRANT</p> <p>ENTRY LOCATION</p>
--	--	--	---	--	---	--	--	--	--



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LAYOUT: SP-3.0, Plotted By: buchheister

Community Planning & Development Services
Received
November 27, 2023



VICINITY MAP
SCALE: 1" = 2000'

REFERENCE NOTES SCHEDULE

SYMBOL	SITE FURNISHINGS DESCRIPTION	DETAIL
F-101	CONTAINER PLANTS	1/L0303
F-102	TRASH AND RECYCLING RECEPTACLE	2/L0303
F-103	BIKE RACK	3/L0303
F-104	DINING TABLES AND CHAIRS	4/L0303
F-105	BENCH - TYPE 1	5/L0303
F-106	BENCH - TYPE 2	6/L0303
F-107	ADIRONDACK CHAIR	7/L0303
F-108	LOUNGE SEAT	8/L0303
F-109	PLAY FEATURES	4/L0302
F-110	USPS MAILBOX UNIT	1/L0304
L-101	POLE LIGHT	N/A
P-101	PAVING TYPE 1	1/L0301
P-102	PAVING TYPE 2	2/L0301
P-103	PAVING TYPE 3	3/L0301
P-104	PAVING TYPE 4	4/L0301
P-105	LANDSCAPE CURB	5/L0301
P-106	FLUSH CURB	6/L0301
R-101	STANDARD PEDESTRIAN STAIR HANDRAIL	N/A
S-101	LAWN OR ARTIFICIAL TURF (TO BE DETERMINED)	N/A
S-102	BIORETENTION	N/A
S-103	PLANT BED	N/A
W-101	BENCH SEATING	1/L0302
W-102	RETAINING WALL	2/L0302
W-103	SITE WALL TYPE 1	N/A
W-104	SITE WALL TYPE 2	4/L0302
W-105	SCREEN WALL	N/A
W-106	STANDARD STAIRS	N/A
W-107	PLAYGROUND STAIRS	5/L0302

SYMBOL	LIGHTING AND ELECTRICAL DESCRIPTION	DETAIL
L-101	POLE LIGHT	N/A

SYMBOL	PAVING AND CURB DESCRIPTION	DETAIL
P-101	PAVING TYPE 1	1/L0301
P-102	PAVING TYPE 2	2/L0301
P-103	PAVING TYPE 3	3/L0301
P-104	PAVING TYPE 4	4/L0301
P-105	LANDSCAPE CURB	5/L0301
P-106	FLUSH CURB	6/L0301

SYMBOL	RAILING AND FENCE DESCRIPTION	DETAIL
R-101	STANDARD PEDESTRIAN STAIR HANDRAIL	N/A

SYMBOL	SOILS DESCRIPTION	DETAIL
S-101	LAWN OR ARTIFICIAL TURF (TO BE DETERMINED)	N/A
S-102	BIORETENTION	N/A
S-103	PLANT BED	N/A

SYMBOL	WALLS AND STAIRS DESCRIPTION	DETAIL
W-101	BENCH SEATING	1/L0302
W-102	RETAINING WALL	2/L0302
W-103	SITE WALL TYPE 1	N/A
W-104	SITE WALL TYPE 2	4/L0302
W-105	SCREEN WALL	N/A
W-106	STANDARD STAIRS	N/A
W-107	PLAYGROUND STAIRS	5/L0302

ISSUE/REVISIONS

DATE	DATE
06/16/23	06/16/23
11/22/23	11/22/23

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

COMPOSITE MATERIALS PLAN

1"=30'
0 15' 30' 60'
PROFESSIONAL SEAL

NOT FOR CONSTRUCTION

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DRAWN BY: MB/DCLY
DESIGNED BY: MB
DATE ISSUED: 11/22/2023

VIKA PROJECT VM1935
DRAWING NO.

SHEET NO. L0101

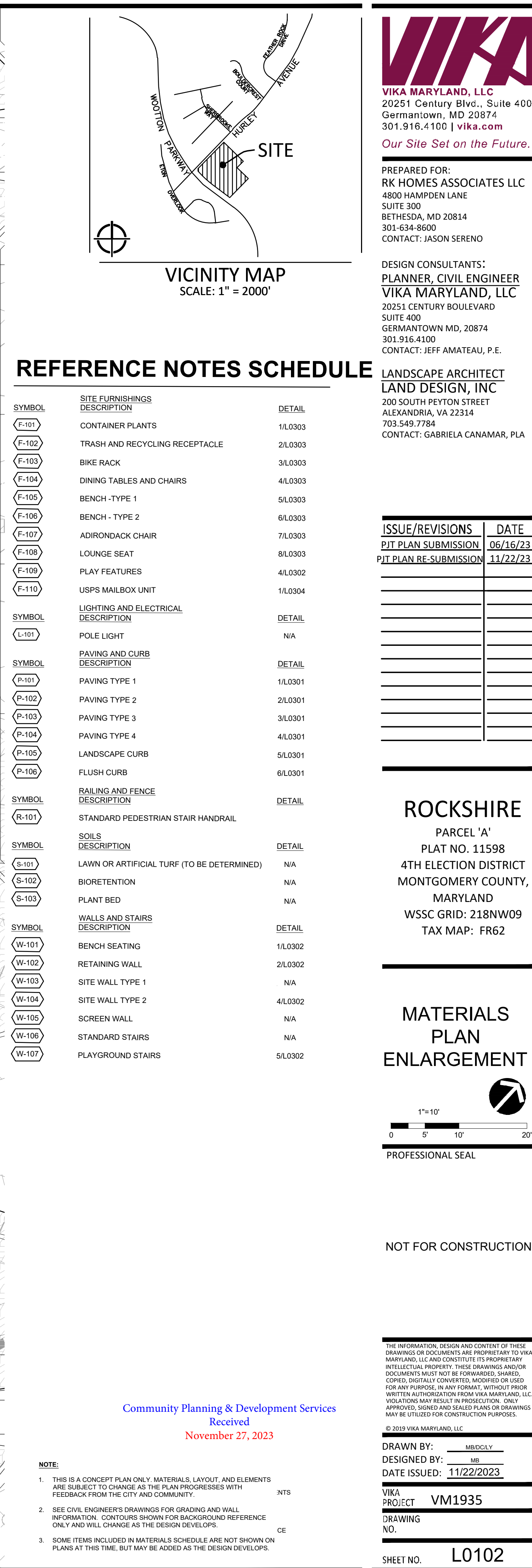
Community Planning & Development Services
Received
November 27, 2023

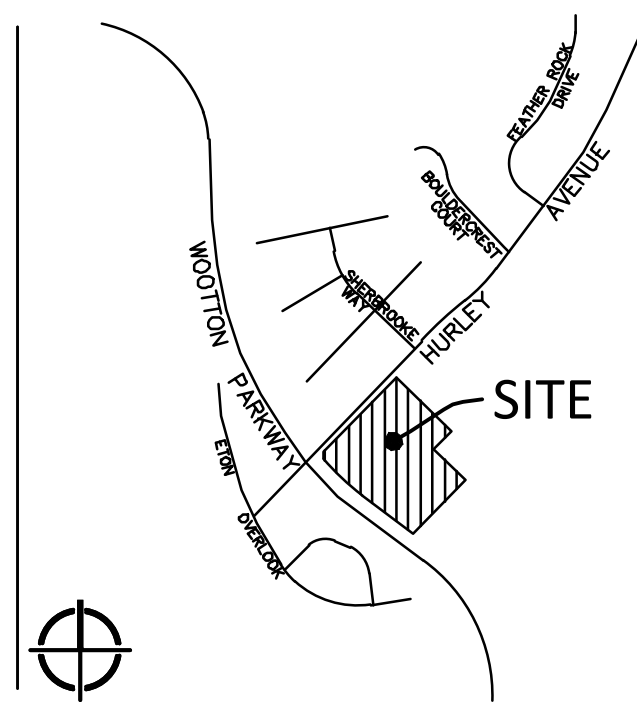
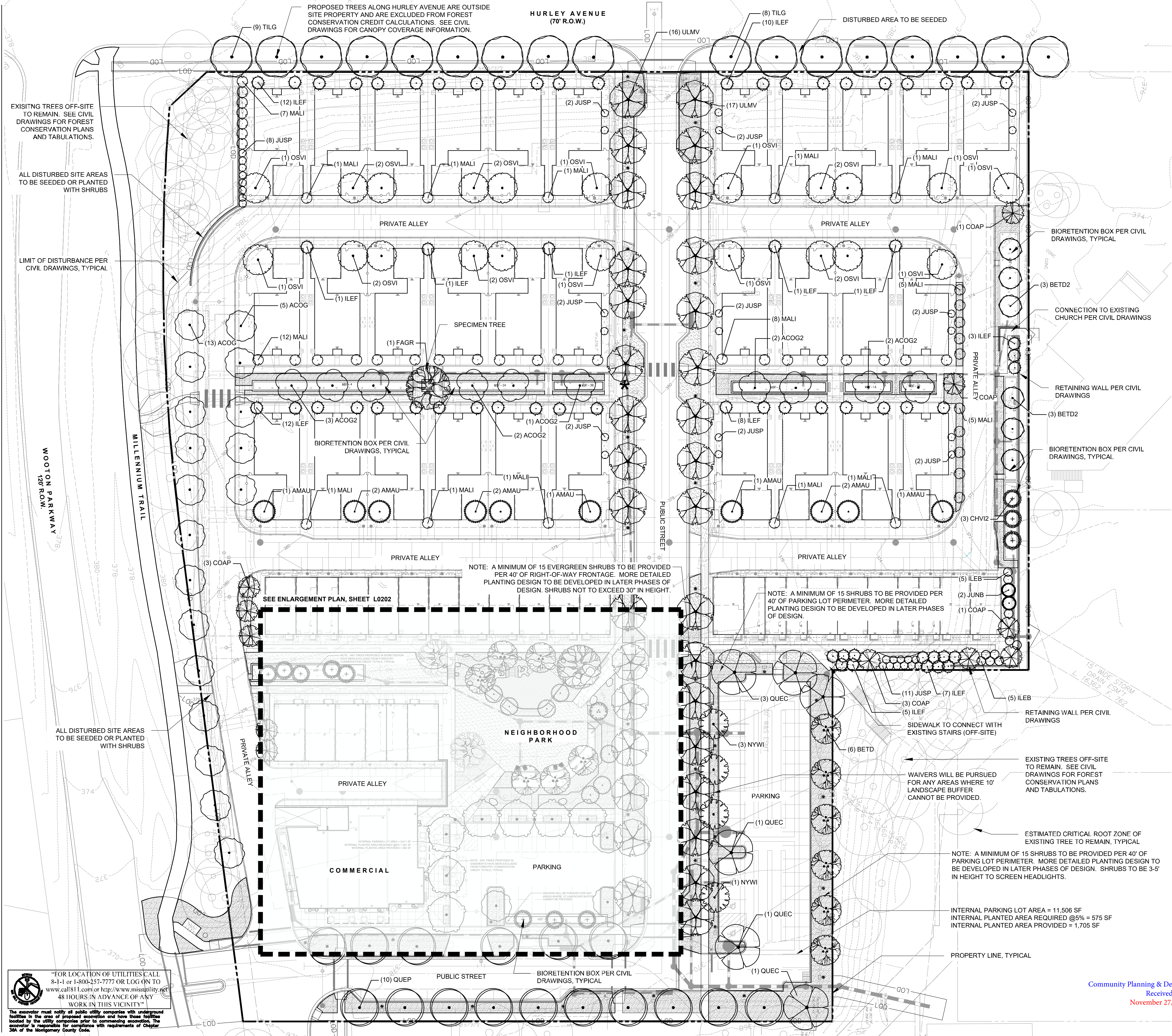
NOTE:
1. THIS IS A CONCEPT PLAN ONLY. MATERIALS, LAYOUT, AND ELEMENTS ARE SUBJECT TO CHANGE AS THE PLAN PROGRESSES WITH FEEDBACK FROM THE CITY AND COMMUNITY.
2. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND WALL INFORMATION. CONTOURS SHOWN FOR BACKGROUND REFERENCE ONLY AND WILL CHANGE AS THE DESIGN DEVELOPS.
3. SOME ITEMS INCLUDED IN MATERIALS SCHEDULE ARE NOT SHOWN ON PLANS AT THIS TIME, BUT MAY BE ADDED AS THE DESIGN DEVELOPS.

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

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LAYOUT: L0101, Plotted By: mberry





VICINITY MAP
SCALE: 1" = 2000'

PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	ILEB	ILEX CORNUTA 'BURFORDII' / BURFORD HOLLY
	ILEF	ILEX X ATTENUATA 'FOSTERI' / FOSTER'S HOLLY
	JUSP	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER
	JUNB	JUNIPERUS SILICICOLA 'BRODIE' / BRODIE SOUTHERN RED CEDAR
	MALI	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AMAU	AMELANCHIER ARBOREA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE DOWNY SERVICEBERRY
	CHV1	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE*
	CHV2	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE*
	COAP	CORNUS FLORIDA 'APPALACHIAN SPRING' / APPALACHIAN SPRING DOGWOOD
	MAV1	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
	OSV1	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM
SHADE TREES	CODE	BOTANICAL / COMMON NAME
	ACOG2	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE*
	ACOG	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE
	BETD2	BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH*
	BETD	BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH
	FAGR	FAGUS GRANDIFOLIA / AMERICAN BEECH
	MAGG	MAGNOLIA GRANDIFOLIA / SOUTHERN MAGNOLIA
	NYWI	NYSSA SYLVATICA 'WILDFIRE' / WILDFIRE TUPELO
	PLAC	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE
	QUEC	QUERCUS COCCINEA / SCARLET OAK
STREET TREES	CODE	BOTANICAL / COMMON NAME
	QUEP	QUERCUS PHELLOS / WILLOW OAK
	TILG	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN
	ULMV	ULMUS AMERICANA 'VALLEY FORGE' / VALLEY FORGE AMERICAN ELM

PLANT BED (TO INCLUDE SHRUBS, ORNAMENTAL GRASSES, AND/OR GROUNDCOVER / PERENNIALS. SEE PLANS FOR ADDITIONAL NOTES.)

TURF

BIORETENTION

NOTE:

1. THIS IS A CONCEPT PLAN ONLY. MATERIALS, LAYOUT, AND ELEMENTS ARE SUBJECT TO CHANGE AS THE PLAN PROGRESSES WITH FEEDBACK FROM THE CITY AND COMMUNITY.

2. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND WALL INFORMATION. CONTOURS SHOWN FOR BACKGROUND REFERENCE ONLY AND WILL CHANGE AS THE DESIGN DEVELOPS.

3. ANY TREES PROPOSED IN EASEMENTS, HURLEY R.O.W., OR BIORETENTION AREAS HAVE BEEN EXCLUDED FROM FORESTRY CONSERVATION CREDIT TOTALS.

Vika
VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
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CONTACT: JASON SERENO

DESIGN CONSULTANTS:
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ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	06/16/23
PJT PLAN RE-SUBMISSION	11/22/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

**COMPOSITE
LANDSCAPE
PLAN**

1"=30'

0 15' 30' 60'

PROFESSIONAL SEAL

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DESIGNED BY: MB

DATE ISSUED: 11/22/2023

VIKA PROJECT VM1935

DRAWING NO.


SHEET NO. L0201

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

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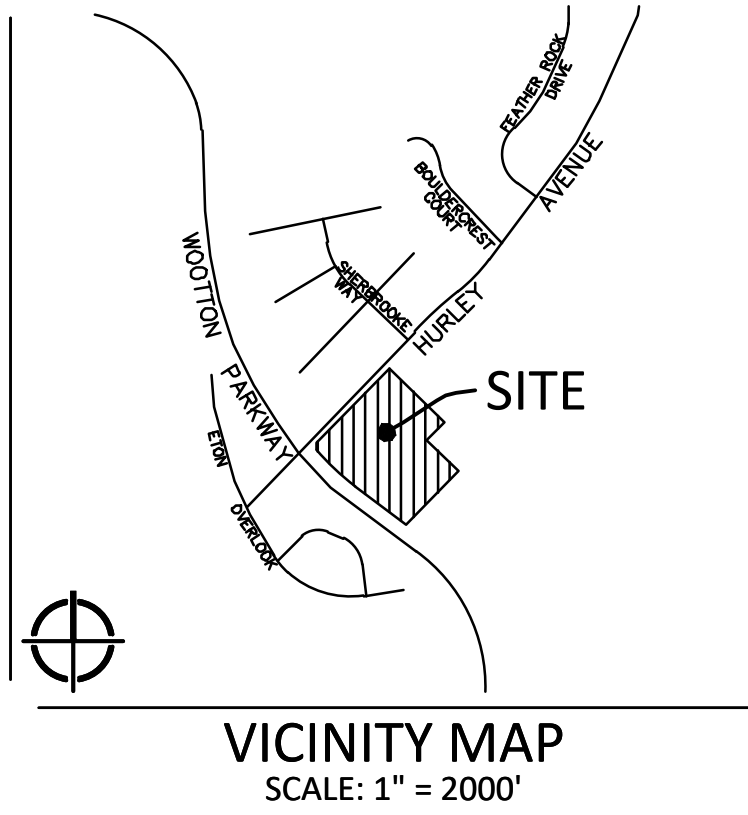
PLANT SCHEDULE SITE PLANTS							
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	MIN. CONT.	MIN. CAL.	MIN. HT.	REMARKS
ORNAMENTAL TREES							
	AMAU	10	Amelanchier arborea 'Autumn Brilliance' / Autumn Brilliance Downy Serviceberry	B&B	2"-2 1/2"	8' - 10'	SINGLE TRUNK; STRONG CENTRAL LEADER
	CHV2	11	Chionanthus virginicus / White Fringetree	30 gal	2" Min. per stem	6' - 8'	MULTI-TRUNK; FULL SPECIMEN
	CHV1	1	Chionanthus virginicus / White Fringetree	B&B	2"-2 1/2"	6' - 8'	MULTI TRUNK, FULL SPECIMEN
	COAP	11	Cornus florida 'Appalachian Spring' / Appalachian Spring Dogwood	B & B	2"-2 1/2"	6' - 8'	STRONG CENTRAL LEADER, FULL SPECIMEN
	MAV1	7	Magnolia virginiana / Sweetbay Magnolia	B&B	2"-2 1/2"	6' - 8'	STRONG CENTRAL LEADER, FULL SPECIMEN
	OSV1	21	Ostrya virginiana / American Hophornbeam	B&B	2"-2 1/2"	6' - 8'	STRONG CENTRAL LEADER, FULL SPECIMEN
EVERGREEN TREES							
	ILEB	10	Ilex cornuta 'Burfordii' / Burford Holly	B&B		6-8'	FULL TO GROUND
	ILEF	62	Ilex x attenuata 'Fosteri' / Foster's Holly	B&B		8-10'	FULL TO GROUND
	JUSP	37	Juniperus chinensis 'Spartan' / Spartan Juniper	B&B		8' - 10'	FULL SPECIMEN
	JUNB	2	Juniperus silicicola 'Brodie' / Brodie Southern Red Cedar	B&B		8-10'	FULL SPECIMEN
	MAL1	47	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	B & B	2-1/2"-3"	8' - 10'	STRONG CENTRAL LEADER, 12' O.C
SHADE TREES							
	ACOG2	10	Acer rubrum 'October Glory' / October Glory Red Maple	30 gal	2"-2 1/2"	10' - 12'	STRONG CENTRAL LEADER, FULL SPECIMEN
	ACOG	21	Acer rubrum 'October Glory' / October Glory Red Maple	B&B	3"-3 1/2"	12' - 14'	STRONG CENTRAL LEADER, FULL SPECIMEN
	BETD2	6	Betula nigra 'BNMTF' / Dura Heat® River Birch	30 gal	2" Min. per stem	6' - 8'	THREE TRUNKS, FULL SPECIMEN. MUST BE CONTAINER GROWN PLANT. CONTAINER-GROWN SPECIMENS FOR USE IN BIORETENTION AREAS ONLY.
	BETD	12	Betula nigra 'BNMTF' / Dura Heat® River Birch	B&B	2" Min. per stem	10' - 12'	3 STRONG TRUNKS, FULL SPECIMEN
	FAGR	2	Fagus grandifolia / American Beech	B&B	3"-3 1/2"	12'-14'	STRONG CENTRAL LEADER, FULL SPECIMEN
	MAGG	2	Magnolia grandiflora / Southern Magnolia	B&B	3" CAL	10-12' HT	STRONG CENTRAL LEADER, WELL-FORMED HABIT
	NYW1	4	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	B&B	3"-3 1/2"	12' - 14'	STRONG CENTRAL LEADER, FULL SPECIMEN
	PLAC	7	Platanus occidentalis / American Sycamore	B&B	3"-3 1/2"	12'-14'	STRONG CENTRAL LEADER, FULL SPECIMEN
	QUEC	6	Quercus coccinea / Scarlet Oak	B&B	2"-2/12"	12' - 14'	STRONG CENTRAL LEADER, FULL SPECIMEN
STREET TREES							
	QUEP	16	Quercus phellos / Willow Oak	B&B	3"-3 1/2"	12' - 14'	STRONG CENTRAL LEADER, FULL SPECIMEN
	TILG	17	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	3"-3 1/2"	12'-14'	STRONG CENTRAL LEADER, FULL SPECIMEN
	ULMV	33	Ulmus americana 'Valley Forge' / Valley Forge American Elm	B&B	3"-3 1/2"	12'-14'	FULL SPECIMEN, STRONG CENTRAL LEADER

- NOTES:
1. CONTAINER-GROWN TREES TO BE INSTALLED IN BIORETENTION AREAS ONLY AS NOTED ON PLANS. ALL OTHER PROPOSED TREES TO BE BALLED AND BURLAPPED.
 2. ANY TREES PROPOSED IN EASEMENTS, HURLEY R.O.W., OR BIORETENTION AREAS HAVE BEEN EXCLUDED FROM FORESTRY CONSERVATION CREDIT TOTALS. SEE CIVIL DRAWINGS FOR CANOPY COVERAGE CALCULATIONS AND INFORMATION.



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301-634-8600
CONTACT: JASON SERENO

DESIGN CONSULTANTS':
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703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	06/16/23
PJT PLAN RE-SUBMISSION	11/22/23

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PLANT SCHEDULE

PROFESSIONAL SEAL

- NOTE:
1. THIS IS A CONCEPT PLAN ONLY. MATERIALS, LAYOUT, AND ELEMENTS ARE SUBJECT TO CHANGE AS THE PLAN PROGRESSES WITH FEEDBACK FROM THE CITY AND COMMUNITY.
 2. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND WALL INFORMATION. CONTOURS SHOWN FOR BACKGROUND REFERENCE ONLY AND WILL CHANGE AS THE DESIGN DEVELOPS.
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VIKA
PROJECT: **VM1935**
DRAWING NO. **L0203**

SHEET NO. **L0203**

Community Planning & Development Services
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November 27, 2023



1 PAVING TYPE 1
L0301 PICTORIAL

P-101
NTS



4 PAVING TYPE 4
L0301 PICTORIAL

P-104
NTS



2 PAVING TYPE 2
L0301 PICTORIAL

P-102
NTS



5 LANDSCAPE CURB
L0301 PICTORIAL

P-105
NTS




3 PAVING TYPE 3
L0301 PICTORIAL

P-103
NTS



6 FLUSH CURB
L0301 PICTORIAL

P-106
NTS



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LAYOUT: L0301, Plotted By: mberry



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PJT PLAN RE-SUBMISSION	11/22/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
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**HARDSCAPE
DETAILS -
PAVING +
CURBS**

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PROJECT VM1935
DRAWING
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SHEET NO. L0301

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W-101
NTS



PICTORIAL



W-102
NTS



L0302 PICTORIAL

W-107
N.T.S



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[illegible]

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

HARDSCAPE DETAILS - WALLS + BOULDERS

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DRAWING NO.	

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LAYOUT: L0302, Plotted By: mberry

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1 CONTAINER PLANTS
L0303 PICTORIAL

F-101
NTS

4 DINING TABLES AND CHAIRS
L0303 PICTORIAL

F-104
NTS

7 ADIRONDACK CHAIR
L0303 PICTORIAL

F-107
NTS



2 TRASH AND RECYCLING RECEPACLE
L0303 PICTORIAL

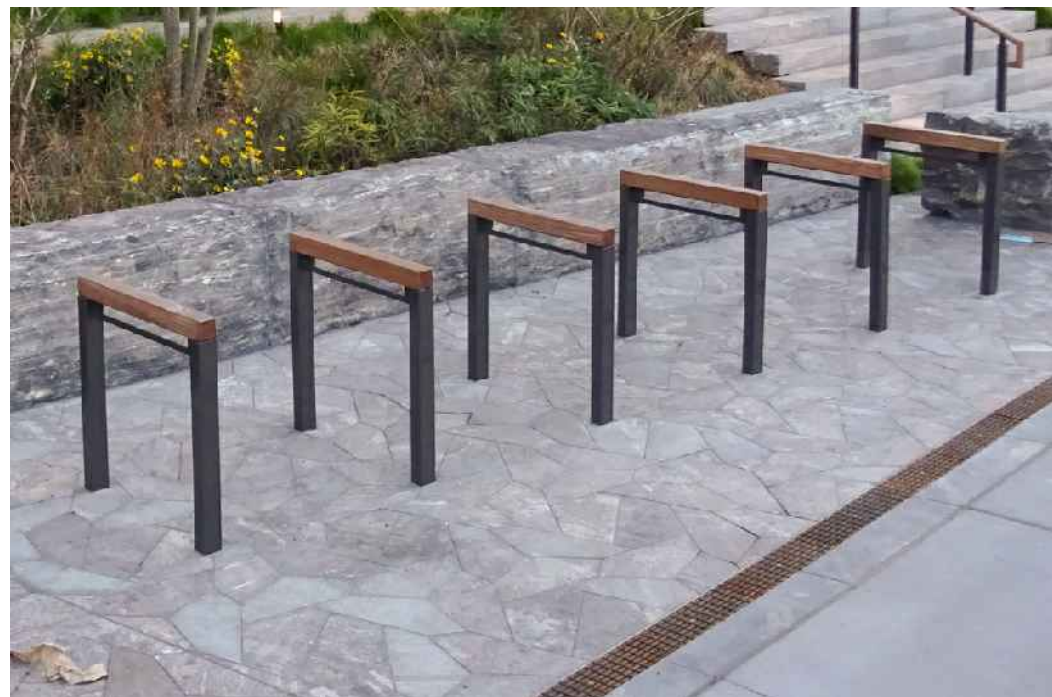
F-102
NTS

5 BENCH - TYPE 1
L0303 PICTORIAL

F-105
NTS

8 LOUNGE SEAT
L0303 PICTORIAL

F-108
NTS




3 BIKE RACK
L0303 PICTORIAL

F-103
NTS

6 BENCH - TYPE 2
L0303 PICTORIAL

F-106
NTS

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ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

**HARDSCAPE
DETAILS -
FURNISHINGS**

PROFESSIONAL SEAL

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1


L0304

USPS MAILBOX UNIT

PICTORIAL

F-110

NTS



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LAYOUT: L0304, Plotted By: mberry



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ROCKSHIRE
PARCEL 'A'
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**HARDSCAPE
DETAILS -
FURNISHINGS**

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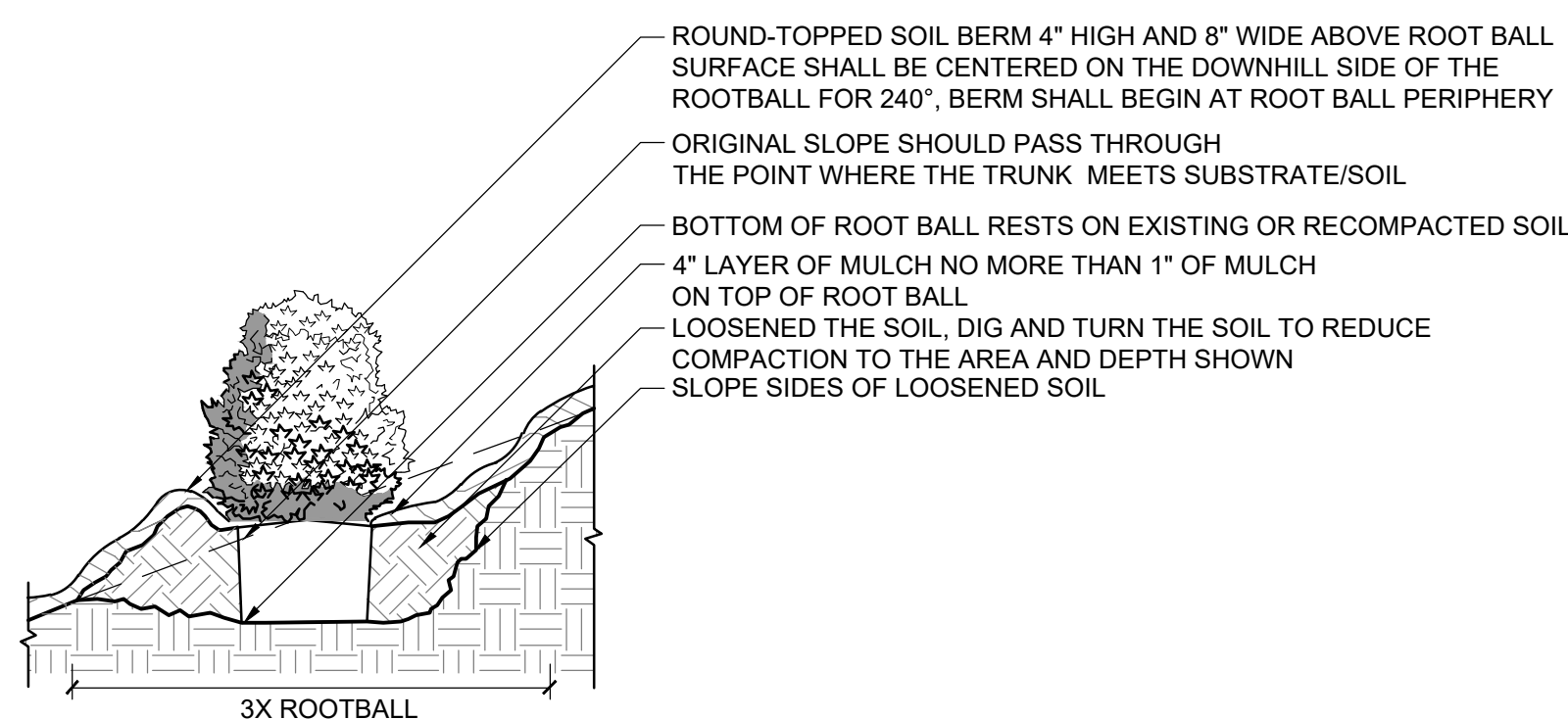
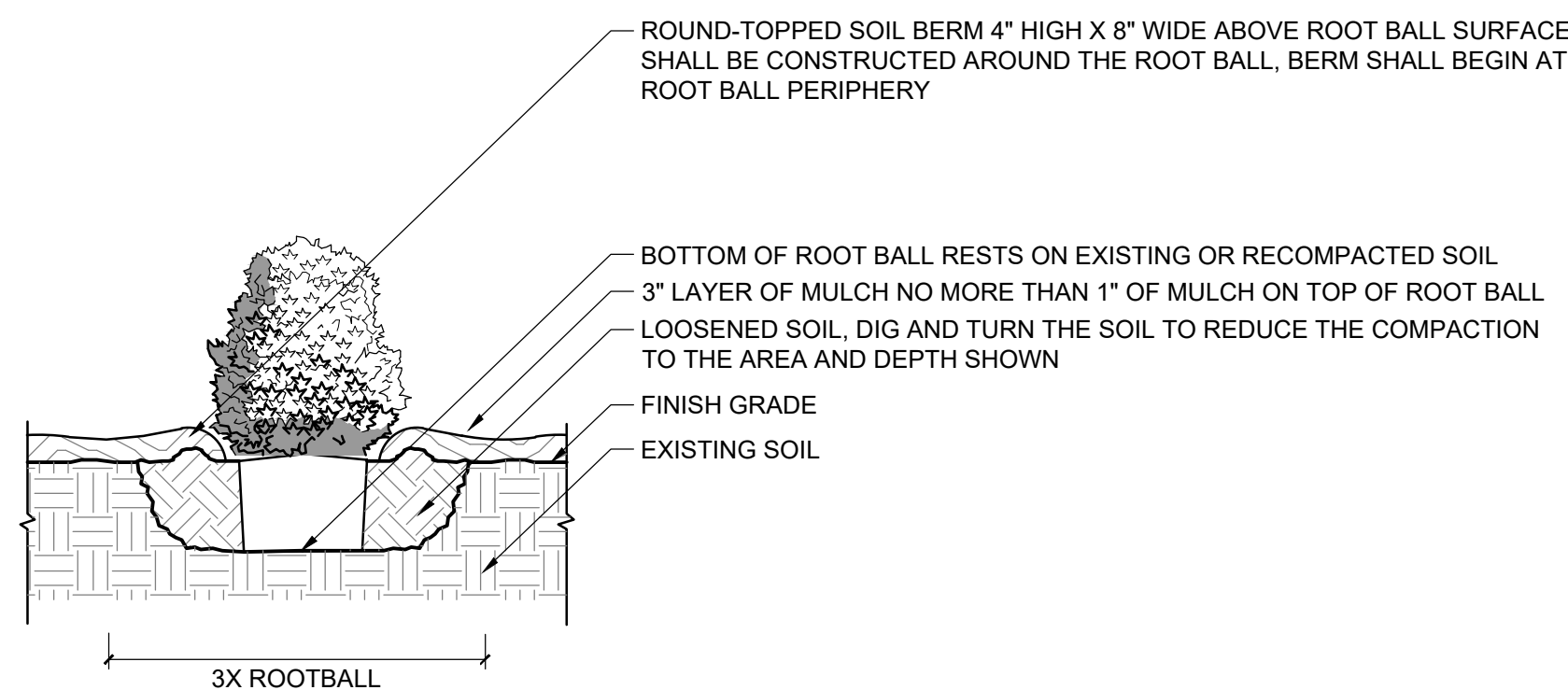
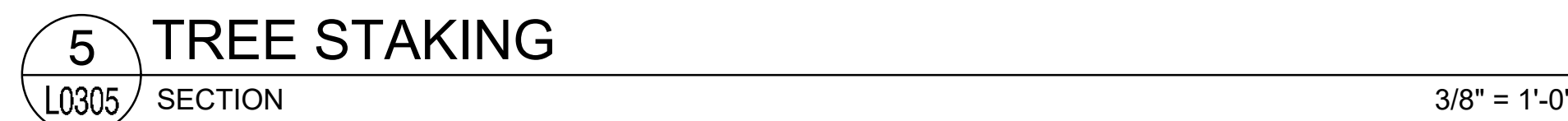
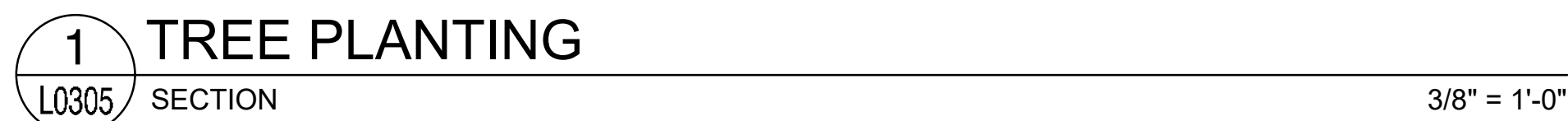
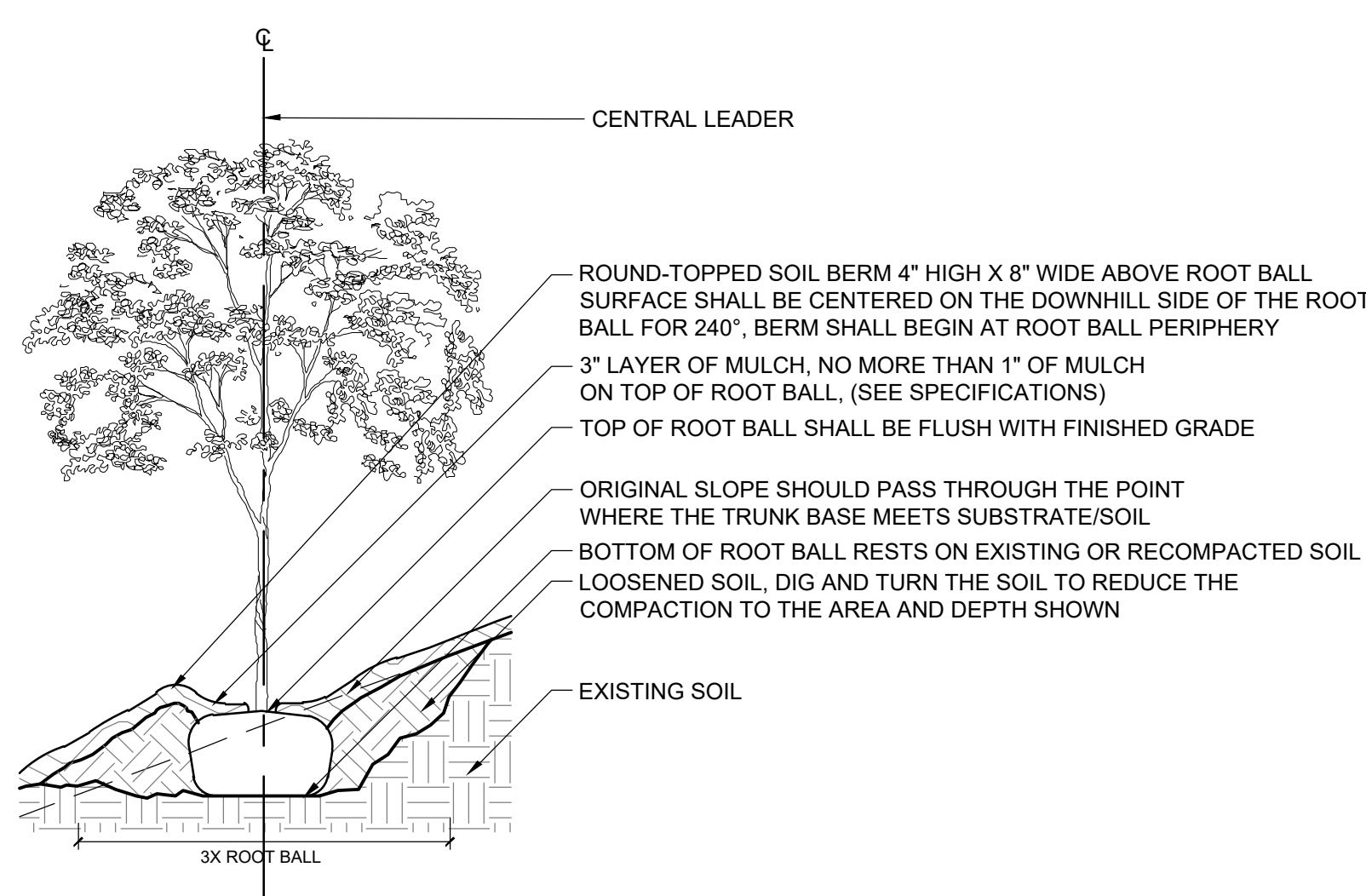
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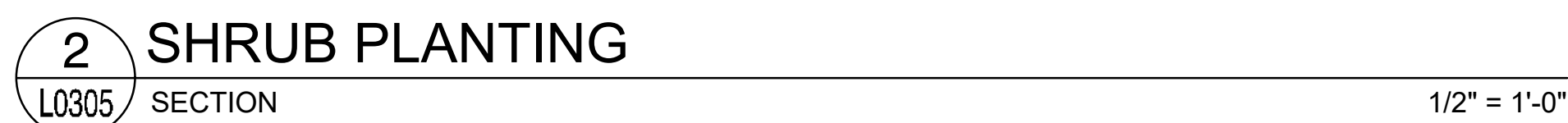
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PLANT SPACING CHART

	SPACING "D"	ROW "A"	PLANTS / S.F.
	6" O.C.	5.20" O.C.	4.61
	8" O.C.	6.93" O.C.	2.60
	10" O.C.	8.66" O.C.	1.66
	12" O.C.	10.40" O.C.	1.15
	15" O.C.	13.00" O.C.	0.73
	18" O.C.	15.60" O.C.	0.51
	24" O.C.	20.80" O.C.	0.29

LAYER OF MULCH
 FINISHED GRADE
 MODIFIED SOIL, DEPTH VARIES,
 (SEE SPECIFICATIONS FOR SOIL MODIFICATION)
 EXISTING SOIL

[illegible]

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

LANDSCAPE DETAILS

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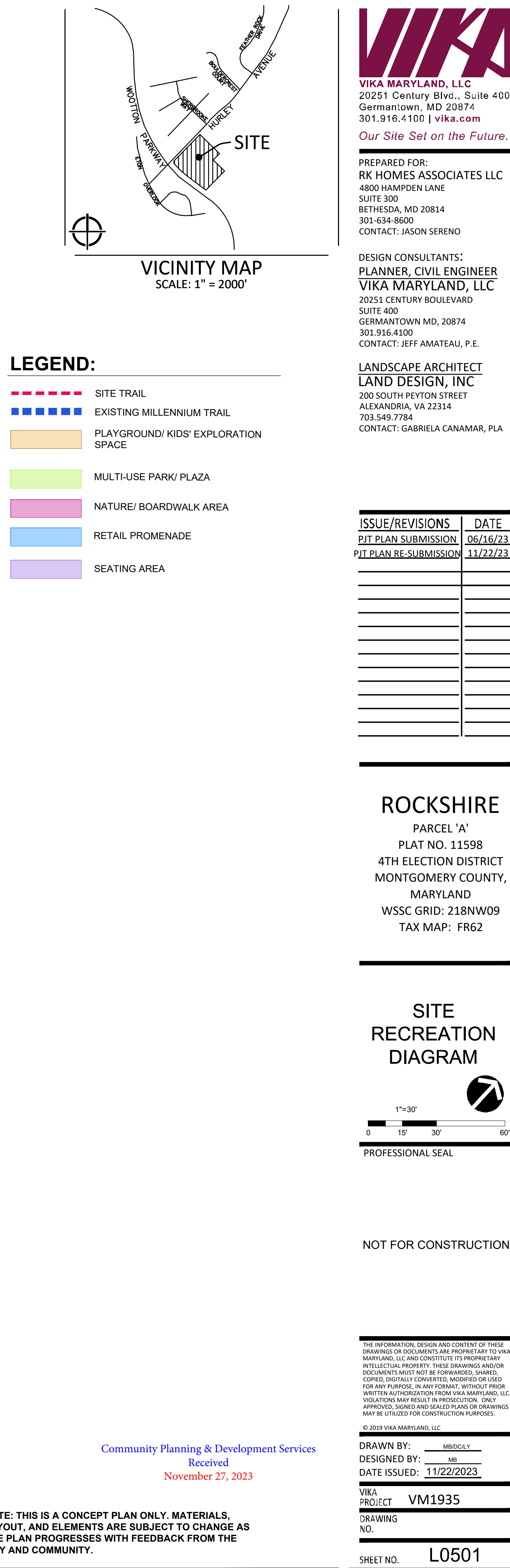
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NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND
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ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
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CONCEPTUAL
STREETSCAPE
ELEVATION

SINGLE FAMILY
HOMES

PROFESSIONAL SEAL

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ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
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WSSC GRID: 218NW09
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UNIT A
ELEVATIONS

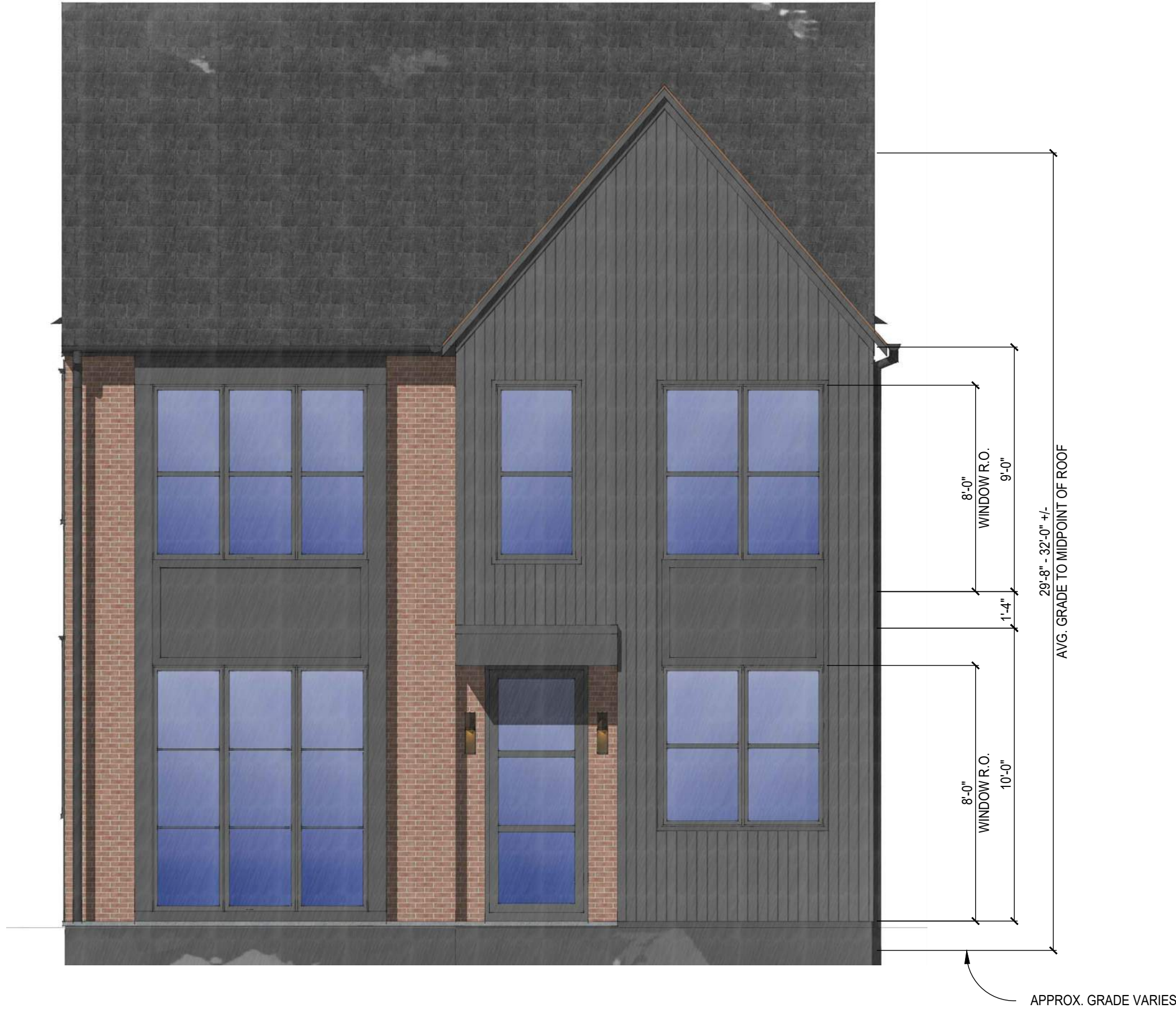
SINGLE FAMILY
HOUSES

PROFESSIONAL SEAL

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SHEET NO.



1 FIRST FLOOR PLAN - UNIT A OPT 1
Scale: 1/4"=1'-0"



2 FIRST FLOOR PLAN - UNIT A OPT 2
Scale: 1/4"=1'-0"

NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND UNIT TYPE DESIGNATIONS TO BE DETERMINED AT TIME OF FINAL SITE PLAN. THE PROPOSED ARCHITECTURAL DETAILS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO REVISION AT THE TIME OF FINAL SITE PLAN.



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CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
AND DESIGN, INC
10 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

[illegible]

PARCEL 'A'
PLAT NO. 11598
TH ELECTION DISTRICT
ONTGOMERY COUNTY,
MARYLAND
VSSC GRID: 218NW09
TAX MAP: FR62

SINGLE FAMILY HOUSES

PROFESSIONAL SEAL

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DATE ISSUED: 06/16/2023

KA
PROJECT
DRAWING
D. A102

SHEET NO.



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DESIGN CONSULTANTS:
PLANNER, CIVIL ENGINEER
RIKA MARYLAND, LLC
 1251 CENTURY BOULEVARD
 SUITE 400
 BERMANTOWN MD, 20874
 01.916.4100
 CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
AND DESIGN, INC
10 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
MVSSC GRID: 218NW09
TAX MAP: FR62

UNIT B
ELEVATIONS

SINGLE FAMILY
HOUSES

PROFESSIONAL SEAL

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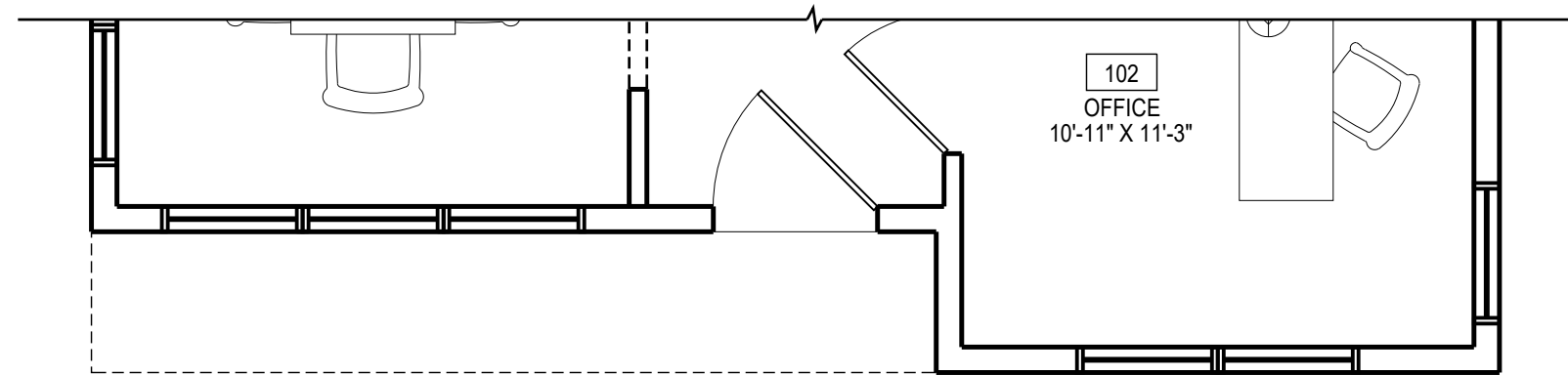
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VIKA
PROJECT

DRAWING
D. A103

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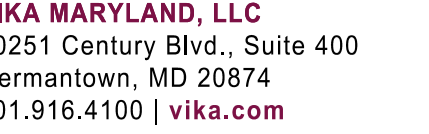


1 FIRST FLOOR PLAN - UNIT B OPT 2
Scale: 1/4"=1'-0"

Community Planning & Development Services
Received
December 1, 2023

NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND UNIT TYPE DESIGNATIONS TO BE DETERMINED AT TIME OF FINAL SITE PLAN. THE PROPOSED ARCHITECTURAL DETAILS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO REVISION AT THE TIME OF FINAL SITE PLAN.





PREPARED FOR:
 K HOMES ASSOCIATES LLC
 100 HAMPDEN LANE
 SUITE 300
 THESDA, MD 20814
 301-634-8600
 CONTACT: JASON SERENO

DESIGN CONSULTANTS:
PLANNER, CIVIL ENGINEER
RIKA MARYLAND, LLC
 1251 CENTURY BOULEVARD
 SUITE 400
 BERTHMAN TOWN MD, 20874
 301.916.4100
 CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
AND DESIGN, INC
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ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

[illegible]

PARCEL 'A'
PLAT NO. 11598
TH ELECTION DISTRICT
ONTGOMERY COUNTY,
MARYLAND
YSSC GRID: 218NW09
TAX MAP: FR62

INGLE FAMILY HOUSES

PROFESSIONAL SEAL

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LANDSCAPE ARCHITECT
AND DESIGN, INC
10 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
MVSSC GRID: 218NW09
TAX MAP: FR62

SINGLE FAMILY HOUSES

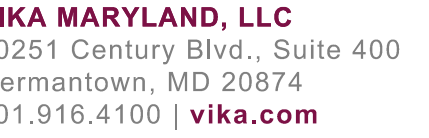
PROFESSIONAL SEAL

SHEET NO.



4 SECOND FLOOR PLAN - UNIT A OPT 2
Scale: 1/8"=1'-0"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.



PREPARED FOR:
 K HOMES ASSOCIATES LLC
 100 HAMPDEN LANE
 SUITE 300
 BETHESDA, MD 20814
 301-634-8600
 CONTACT: JASON SERENO

LANDSCAPE ARCHITECT
AND DESIGN, INC
10 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROFESSIONAL SEAL

2023 VIKA MARYLAND, LLC

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DESIGNED BY: _____

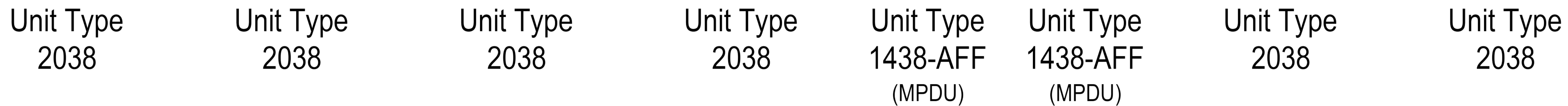
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VIKA
PROJECT

DRAWING
D.

A200

SHEET NO. _____



Community Planning & Development Services
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48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"**

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LAYOUT: Model, Plotted By: imclaurin

PREPARED FOR:
 K HOMES ASSOCIATES LLC
 100 HAMPDEN LANE
 SUITE 300
 THESDA, MD 20814
 1-634-8600
 CONTACT: JASON SERENO

DESIGN CONSULTANTS:
PLANNER, CIVIL ENGINEER
WKA MARYLAND, LLC
 251 CENTURY BOULEVARD
 SUITE 400
 GREENMANTOWN MD, 20874
 410.916.4100
 CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
AND DESIGN, INC
0 SOUTH PEYTON STREET
EXANDRIA, VA 22314
3.549.7784
CONTACT: GABRIELA CANAMAR, PLA

[illegible]

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
VSSC GRID: 218NW09
TAX MAP: FR62

CONCEPTUAL FLOOR PLANS

OWNHOMES

PROFESSIONAL SEAL

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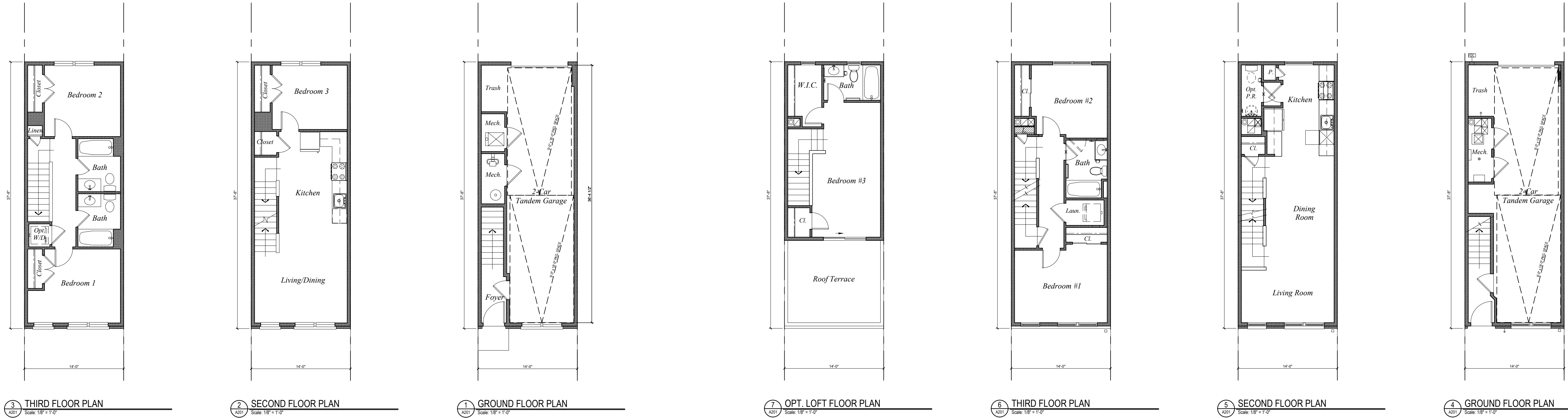
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DATE ISSUED: 06/16/2023

KA
PROJECT

DRAWING
NO. A201

SHEET NO. _____



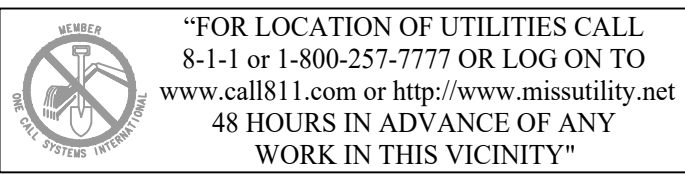
TYP. FLOOR PLANS - 1438-AFF

TYP. FLOOR PLANS - 1438.1-AFF



TYP. FLOOR PLANS - 2038

NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND UNIT TYPE DESIGNATIONS TO BE DETERMINED AT TIME OF FINAL SITE PLAN. THE PROPOSED ARCHITECTURAL DETAILS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO REVISION AT THE TIME OF FINAL SITE PLAN.



Community Planning & Development Services
Received
December 1, 2023



PREPARED FOR:
 K HOMES ASSOCIATES LLC
 100 HAMPDEN LANE
 SUITE 300
 THESDA, MD 20814
 301-634-8600
 CONTACT: JASON SERENO

DESIGN CONSULTANTS:
PLANNER, CIVIL ENGINEER
RIKA MARYLAND, LLC
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 BERMANTOWN MD, 20874
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 CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
AND DESIGN, INC
10 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

[illegible]

PARCEL 'A'
PLAT NO. 11598
TH ELECTION DISTRICT
ONTGOMERY COUNTY,
MARYLAND
VSSC GRID: 218NW09
TAX MAP: FR62

DETAIL

PROFESSIONAL SEAL



**"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON to
www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"**

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning & Development Services
Received
December 1, 2023

NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND UNIT TYPE DESIGNATIONS TO BE DETERMINED AT TIME OF FINAL SITE PLAN. THE PROPOSED ARCHITECTURAL DETAILS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO REVISION AT THE TIME OF FINAL SITE PLAN.



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20233 VIKKA MARYLAND, LLC

DRAWN BY: _____

DESIGNED BY: _____

DATE ISSUED: 06/16/2023

VIKKA
PROJECT

DRAWING
D. A300

SHEET NO.

[illegible]

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

EXTERIOR ELEVATIONS

RETAIL

PROFESSIONAL SEAL

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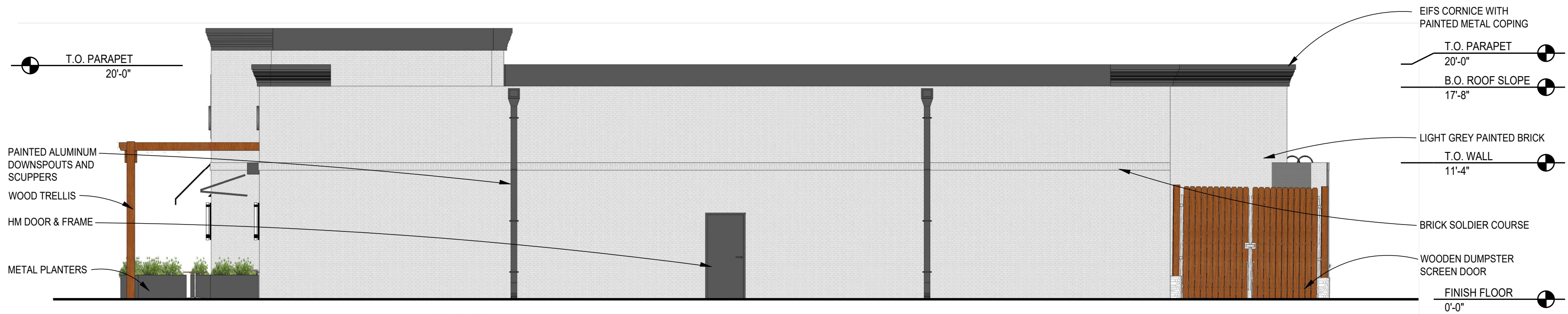
DESIGNED BY: _____

DATE ISSUED: 06/16/2023

VIKI
PROJECT

DRAWING
NO. A301

SHEET NO.



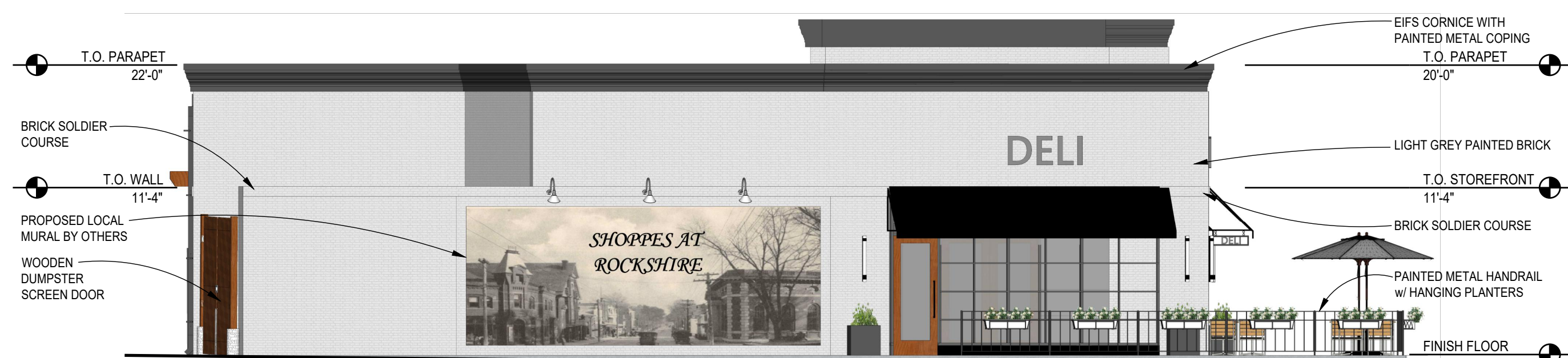
4 NORTH ELEVATION

Scale: NTS



2 SOUTH ELEVATION

Scale: NTS



2 WEST ELEVATION

Scale: NTS



1 EAST ELEVATION

Scale: NTS

NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND UNIT TYPE DESIGNATIONS TO BE DETERMINED AT TIME OF FINAL SITE PLAN. THE PROPOSED ARCHITECTURAL DETAILS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO REVISION AT THE TIME OF FINAL SITE PLAN.

GTM
ARCHITECTS



VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com

Our Site Set on the Future.

PREPARED FOR:
RK HOMES ASSOCIATES LLC
4800 HAMPDEN LANE
SUITE 300
BETHESDA, MD 20814
301-634-8600
CONTACT: JASON SERENO

DESIGN CONSULTANTS:
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VIKA MARYLAND, LLC
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GERMANTOWN MD, 20874
301.916.4100
CONTACT: JEFF AMATEAU, P.E.

LANDSCAPE ARCHITECT
LAND DESIGN, INC
200 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

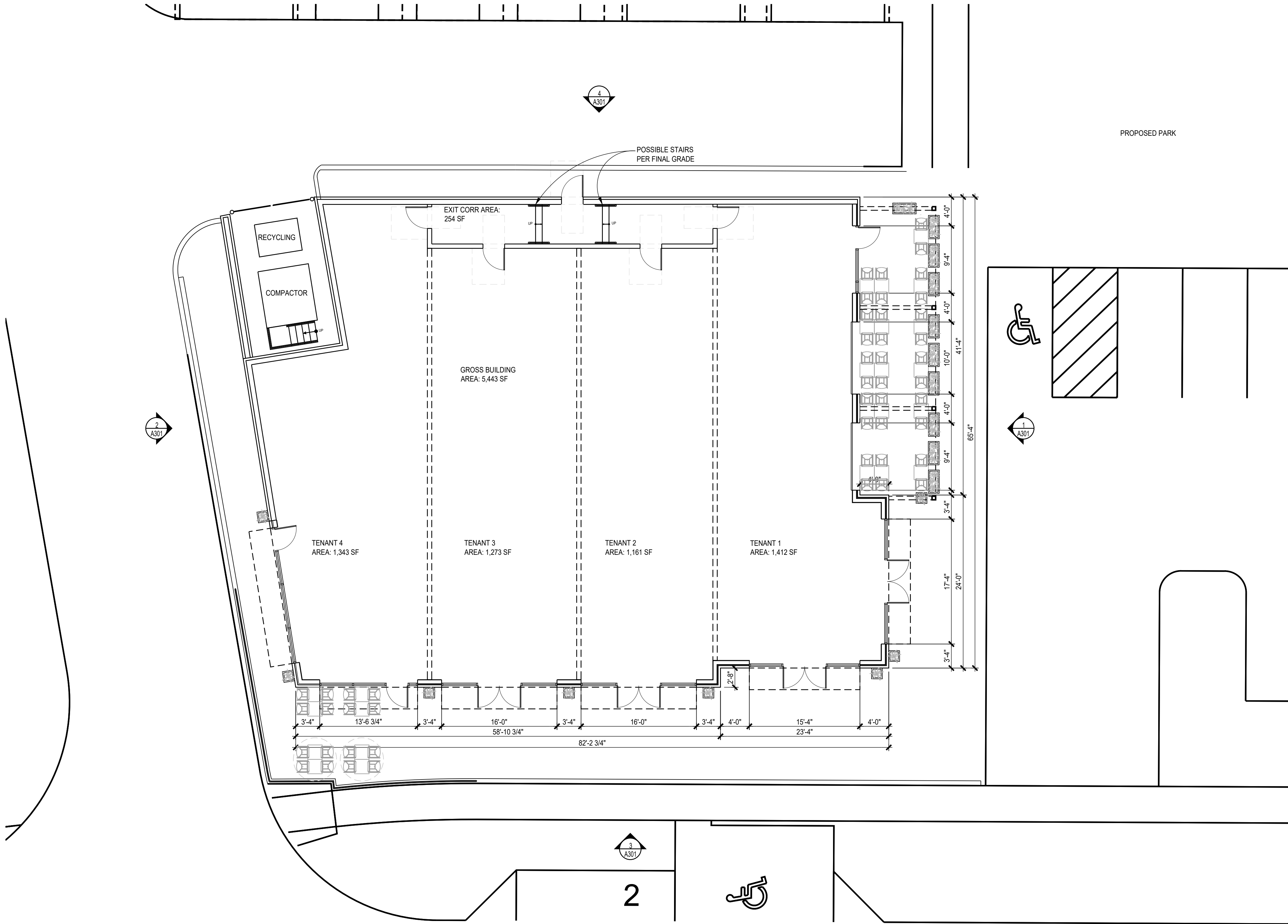
FLOOR PLAN
RETAIL

PROFESSIONAL SEAL

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DATE ISSUED: 06/16/2023
VIKA PROJECT
DRAWING NO. A302

SHEET NO.



1 FLOOR PLAN
Scale: 1/8"=1'-0"

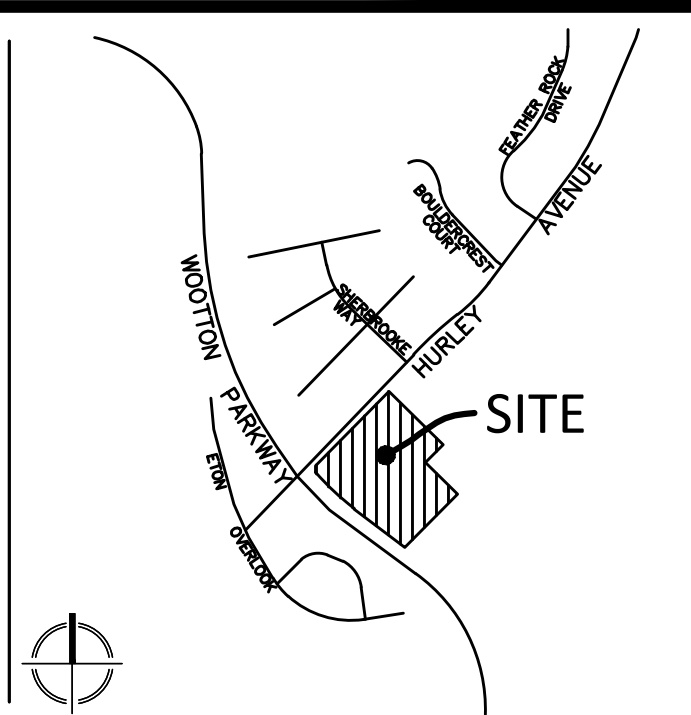
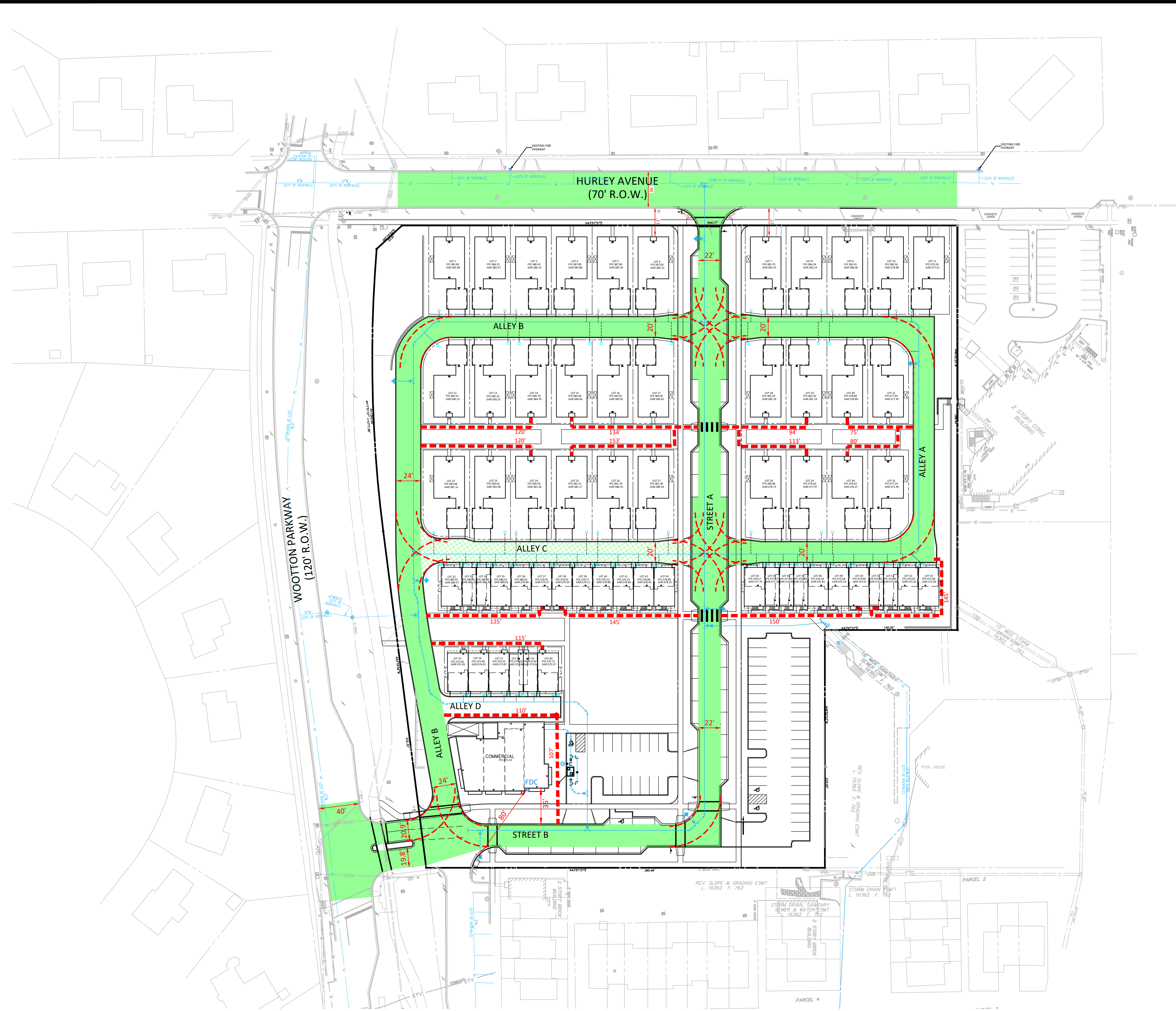


Community Planning & Development Services
Received
December 1, 2023

“FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY”
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

NOTE: FINAL BUILDING LOCATIONS, DIMENSIONS, HEIGHT, AND UNIT TYPE DESIGNATIONS TO BE DETERMINED AT TIME OF FINAL SITE PLAN. THE PROPOSED ARCHITECTURAL DETAILS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO REVISION AT THE TIME OF FINAL SITE PLAN.

GTM
ARCHITECTS



VICINITY MAP
SCALE: 1" = 2000'

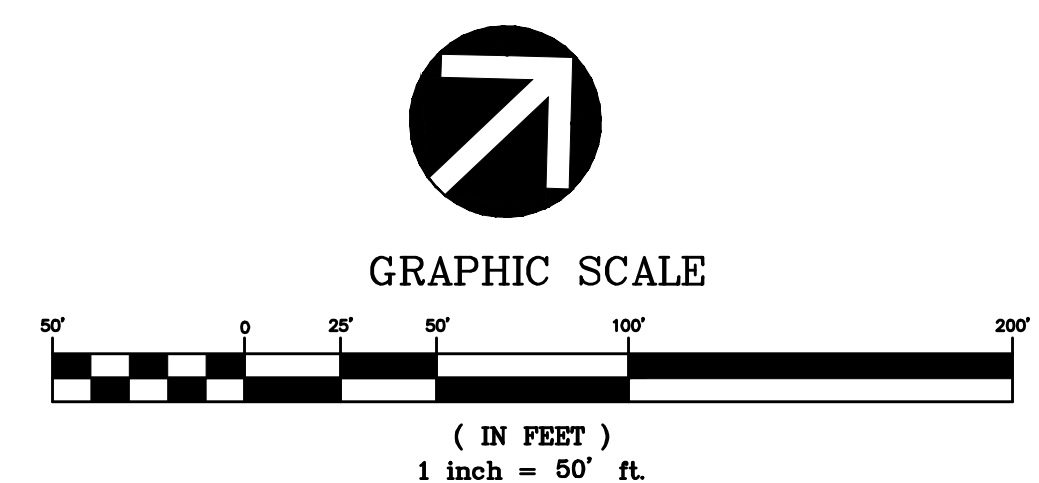
LEGEND

- WATER LINE AND FITTING
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- BUILDING ENTRY
- FIRE ACCESS PATH (TO BE IDENTIFIED WITH PAINTED CURB IN LIEU OF SIGNS.)
- ACCOMMODATES TURNING MOVEMENTS, BUT NOT REQUIRED AS FIRE ACCESS PATH
- FIRE ACCESS FOOT PATH
- TYPICAL TURNING TEMPLATE

Community Planning & Development Services
Received
November 27, 2023

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Germantown, MD 20874
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4800 HAMPDEN LANE
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301-634-8600
CONTACT: JASON SERENO

DESIGN CONSULTANTS:
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VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD
SUITE 400
GERMANTOWN MD, 20874
301.916.4100
CONTACT: JEFF AMATEAU, P.E.

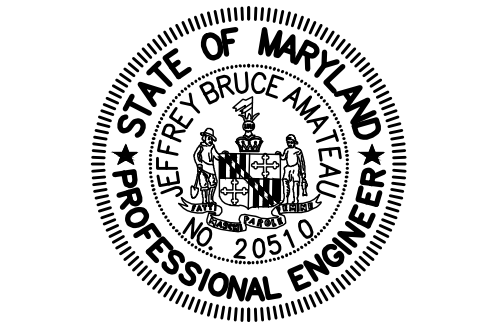
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LAND DESIGN, INC
200 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23
PJT RESUBMISSION	11/22/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN -
FIRE
DEPARTMENT
ACCESS

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
ENGINEER'S NAME: JEFFREY AMATEAU, P.E.
LICENSE NO.: 20510
EXPIRATION DATE: JULY 14, 2024

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DESIGNED BY: JSL
DATE ISSUED: 07/03/2023
VIKA PROJECT VM1935
DRAWING NO. FDA-1
SHEET NO.