DEVELOPMENT TABULATIONS

Property Information				
Zoning (see footnote 1)			PD-RS/	'MXNC
Tract Area (Parcel A)			318,968 SF	7.32 AC
Proposed Dedications			54,384 SF	1.25 AC
Site Area			264,584 SF	6.07 AC
Development Program				
Residential			up to	60
Dwelling, Single unit detached			up to	31
Dwelling, Townhouse			up to	29
Commercial and Office				
To be determined (permitted or conditional use	es per	table 25.13/13)	up to	5500
MPDUs			UNITS	%
Minimum Required			9	15.0%
Proposed			9	15.0%
Density			SF	FAR
Proposed Residential GFA			217,110	0.82
Proposed Non-Residential			5,500	0.02
		Total	222,610	0.84
Building Height		Maximum Allowed	Maximum	Requested
		45'	45	5'

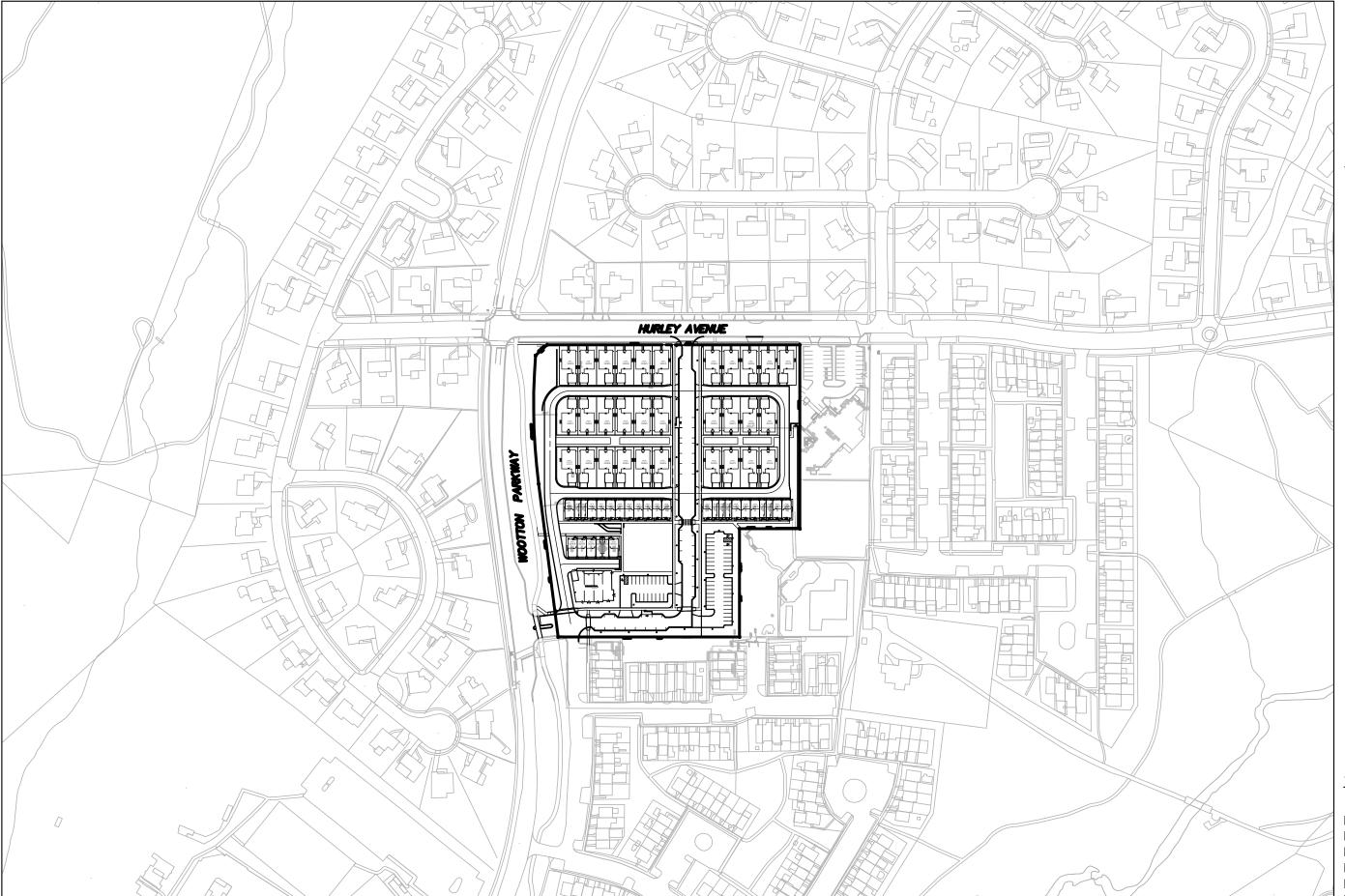
		45'	45'		
Open Space	Minimum Required		Proposed (see footnote		
Open Area (includes public use space)	10%	26,458 SF	36.4%	96,407 SF	
Public Use Space	5%	13,230 SF	7.3%	19,529 SF	
Lot width at front lot line	Minim	num Required	Proposed (minimum)		
		10	10		
Building Setbacks	Minim	num Required	red Proposed		
Abutting public right-of-way	0', 10)' if provided	10' mi	nimum	
Side					
Abutting residential land		or bldg. hgt. ever is greater	N/A		
Non-Residential abutting land	0', 10)' if provided	10' mi ni mum		
Rear		0'			
Abutting residential land	25' or bldg. hgt. whichever is greater		N/A		
Non-Residential abutting land	0', 10)' if provided	10' minimum		
Parking	Minimum Required Propos			osed	
Residential					
Dwelling, Single unit (2 per unit)		62	62		
Dwelling, Townhouse (2 per unit)		58	58		
Visitor					
On-street			30		
Surface Lot	_				
Rockshire Assoc. allocation (see footnote 3)			30		
Visitor parking ratio (excludes commercia/retail al	location	1)	1.00 spac	e per unit	
Commercial and Office (see footnote 4)					
Permitted and/or conditional use per Sec. 25.13.02		28	2	.8	
Total		148	208		

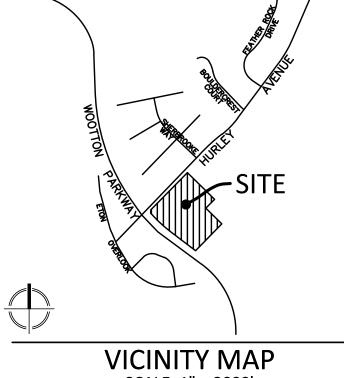
- 1. Pursuant to Sections 25.14.07(d)(3)(a) and 25.14.08(b)(1) of the Zoning Ordinance, the MXNC Zone is the designated equivalent zone that is applicable to the Property given its current designation as the commercial development area of the PRU.
- 2. Areas provided may be modified throughout entitlement process, but will always exceed the minimum required.
- 3. Per Rockshire Association License Agreement (L.4957 F.697). Parking only available to association members during summer swimming season operating hours (including 1 hour before and 1 hour after) and when community room is in use. Parking is available to this development as visitor and commercial outside of these times.
- 4. Minimum parking based on retail sales, trade, or merchandizing parking ration of 1/200 sf GFA.

Accessible Parking	Minimum Required	Proposed		
On-Street Accessible Parking	2	2		
Commercial	1	1		
Rockshire Association/Visitor Lot	2	2		

ROCKSHIRE

PROJECT SITE PLAN





GENERAL NOTES

SCALE: 1" = 2000'

- THE PROPERTY IS 7.32 ACRES.
- THE PROPERTY IS ZONED PD-RS/MXNC.
- THE SITE IS LOCATED ON WSSC MAP 218NW09.
- THE SUBJECT PROPERTY IS LOCATED ON TAX ASSESSMENT MAP
- NO. FR62, WITH TAX ACCOUNT NO. 04-01779638. BOUNDARY AND TOPOGRAPHIC DATA UPDATE BY VIKA
- MARYLAND, LLC. IN 7/21/2021.
- THERE IS NO 100 YEAR FLOODPLAIN LOCATED ON THE SITE.
- THERE IS NO STREAM VALLEY BUFFER LOCATED ON THE SITE.
- THERE ARE NO WETLANDS LOCATED ON THE SITE.

SHEET INDEX

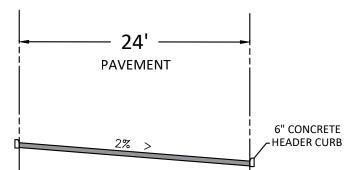
\bigvee		
7	SP-1.0	COVER SHEET
	SP-1.1	PROJECT SITE PLAN EXISTING CONDITIONS
	SP-2.0	PROJECT SITE PLAN COMPOSITE
3	SP-2.1	PROJECT SITE PLAN 30 SCALE
h \	SP-2.2	PROJECT SITE PLAN 30 SCALE
	SP-3.0	LOTTING PLAN
=	10404	
	L0101	COMPOSITE MATERIALS PLAN
	L0102	MATERIALS PLAN ENLARGEMENT
	L0201	COMPOSITE LANDSCAPE PLAN
	L0202	LANDSCAPE PLAN ENLARGEMENT
	L0203	LANDSCAPE PLANT SCHEDULE
	L0301	HARDSCAPE DETAILS - PAVING + CURBS
11/2	L0302	HARDSCAPE DETAILS - WALLS + BOULDERS
	L0303	HARDSCAPE DETAILS - FURNISHINGS
	L0304	HARDSCAPE DETAILS - FURNISHINGS
	L0305	LANDSCAPE DETAILS
	L0501	SITE RECREATION DIAGRAM
	A100	CONCEPTUAL STREETSCAPE ELEVATION - SINGLE FAMILY HOMES
	A101	UNIT A ELEVATIONS - SINGLE FAMILY HOUSES
	A102	UNIT A PERSPECTIVE ELEVATIONS - SINGLE FAMILY HOUSES
	A103	UNIT B ELEVATIONS - SINGLE FAMILY HOUSES
	A104	UNIT BE PERSPECTIVE ELEVATIONS - SINGLE FAMILY HOUSES
	A105	UNIT A & B FLOOR PLANS - SINGLE FAMILY HOUSES
	A200	CONCEPTUAL STREETSCAPE ELEVATIONS - TOWNHOMES
	A201	CONCEPTUAL FLOOR PLANS - TOWNHOMES
	A300	RETAIL PERSPECTIVES
	A301	RETAIL ELEVATIONS
	A302	RETAIL FLOOR PLAN

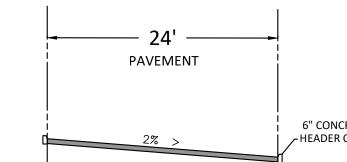
FDA-1.0 FIRE ACCESS PLAN COMPOSITE

SUPPLEMENTAL EXHIBITS

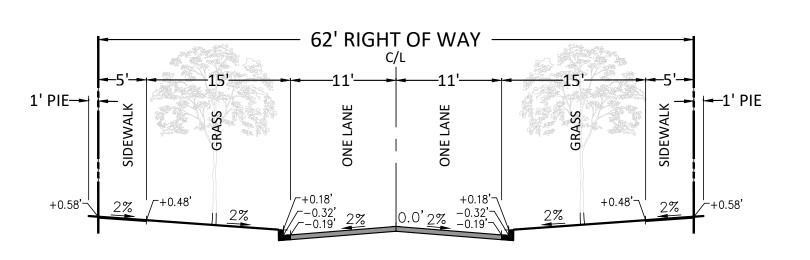
OPEN AREA AND PUBLIC USE SPACE PLAN MPDU EXHIBIT EXH-3.0 PARKING EXHIBIT EXH-4.0 VEHICULAR CIRCULATION EXHIBIT SU-30 TURNING MOVEMENTS EXH-5.0.1 SU-30 TURNING MOVEMENTS SU-30 TURNING MOVEMENTS GARBAGE TURNING MOVEMENTS GARBAGE TURNING MOVEMENTS EXH-5.1.3 GARBAGE TURNING MOVEMENTS FIRE TRUCK TURNING MOVEMENTS IN WATER AND SEWER ZONE OF

INFLUENCE DIAGRAMS

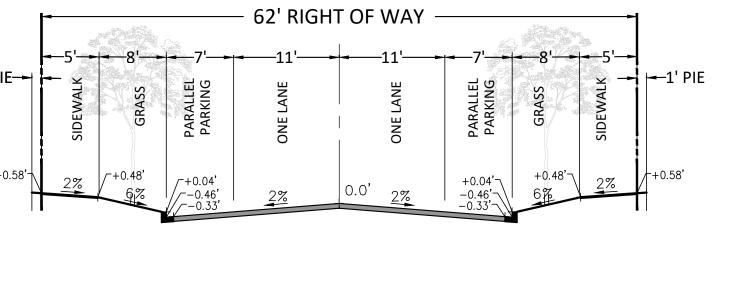




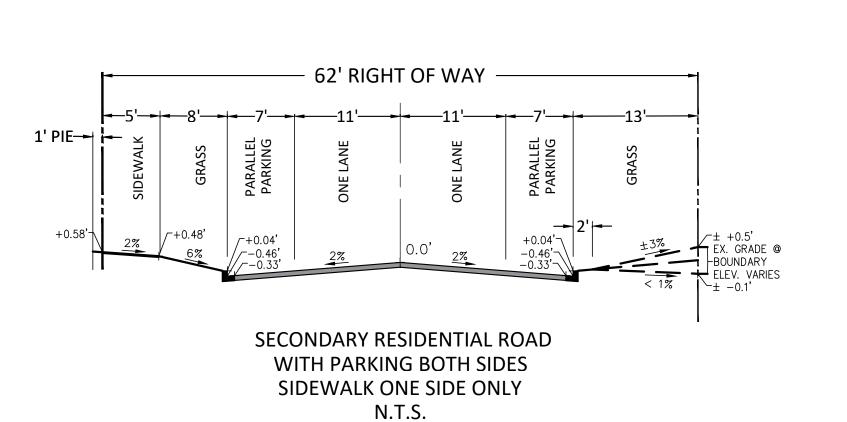
PAVEMENT

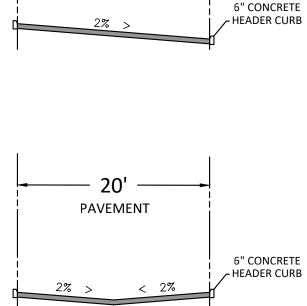


SECONDARY RESIDENTIAL ROAD WITHOUT PARKING N.T.S.



SECONDARY RESIDENTIAL ROAD WITH PARKING BOTH SIDES N.T.S.





TYPICAL ALLEY SECTIONS N.T.S.

Germantown, MD 20874 301.916.4100 | vika.com

> PREPARED FOR: **RK HOMES ASSOCIATES LLC**

Our Site Set on the Future.

4800 HAMPDEN LANE SUITE 300 BETHESDA, MD 20814 301-634-8600 CONTACT: JASON SERENO

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100

DESIGN CONSULTANTS:

LANDSCAPE ARCHITECT LAND DESIGN, INC

CONTACT: JEFF AMATEAU, P.E.

200 SOUTH PEYTON STREET ALEXANDRIA, VA 22314 703.549.7784 CONTACT: GABRIELA CANAMAR, PLA

Community Planning & Development Services

July 11, 2023

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/2
	-

ROCKSHIRE

PARCEL 'A' PLAT NO. 11598 4TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW09

COVER

SHEET

TAX MAP: FR62

PROFESSIONAL SEAL

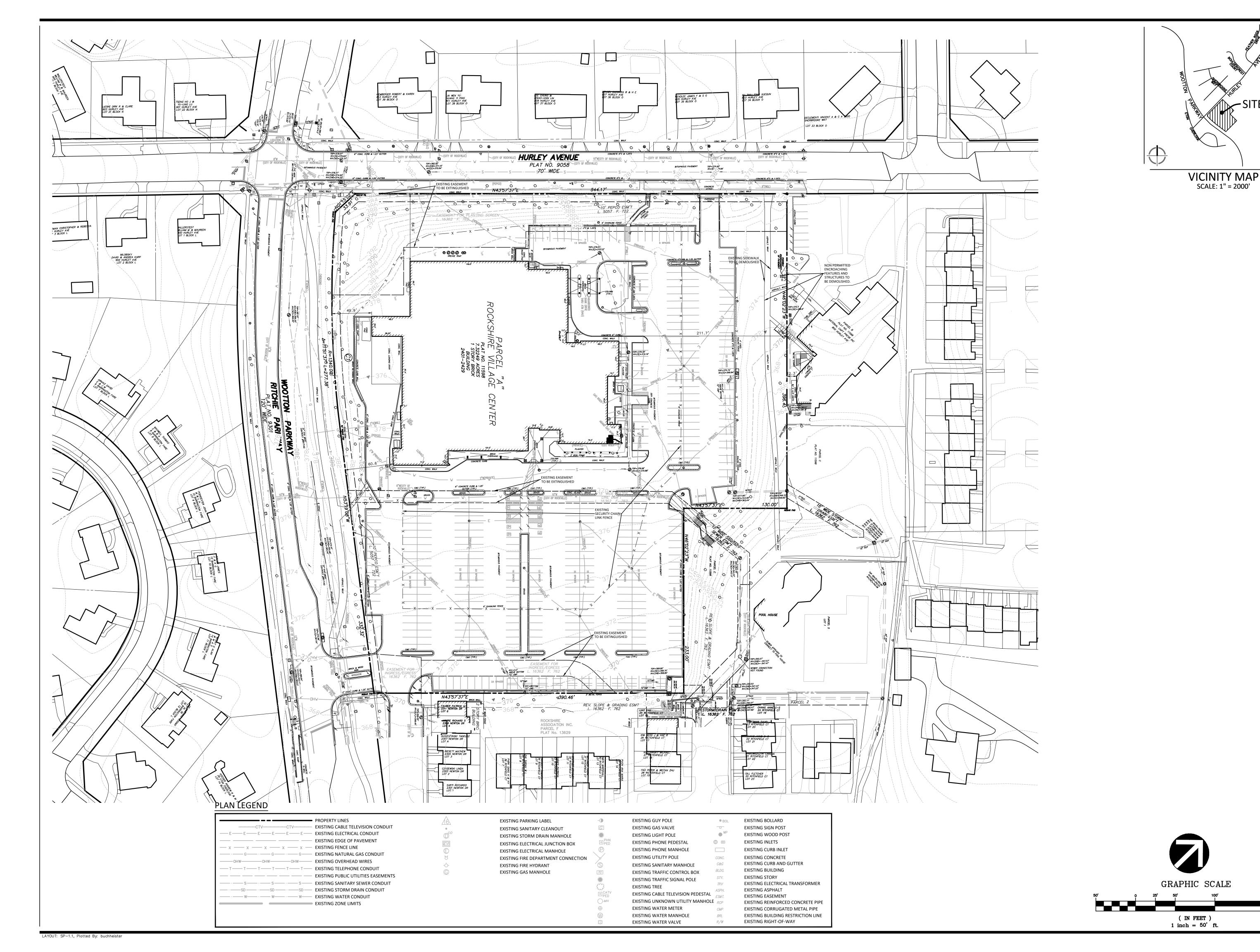
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER ENGINEER'S NAME: <u>JEFFREY AMATEAU, P.E</u>.

MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: GLS DESIGNED BY: _____JSL__ DATE ISSUED: <u>07/03/2023</u>

PROJECT VM1935 SP-1.0

SHEET NO.





20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com

Our Site Set on the Future. PREPARED FOR:

RK HOMES ASSOCIATES LLC 4800 HAMPDEN LANE SUITE 300 BETHESDA, MD 20814 301-634-8600 CONTACT: JASON SERENO

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: JEFF AMATEAU, P.E.

DESIGN CONSULTANTS:

LANDSCAPE ARCHITECT LAND DESIGN, INC

200 SOUTH PEYTON STREET ALEXANDRIA, VA 22314 703.549.7784 CONTACT: GABRIELA CANAMAR, PLA

<u>′23</u>

ROCKSHIRE

PARCEL 'A' PLAT NO. 11598 4TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW09 TAX MAP: FR62

PROJECT SITE PLAN -**EXISTING CONDITIONS**

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER ENGINEER'S NAME: <u>JEFFREY AMATEAU, P.E.</u> LICENSE No.: <u>20510</u> EXPIRATION DATE: <u>JULY 14, 2024</u>

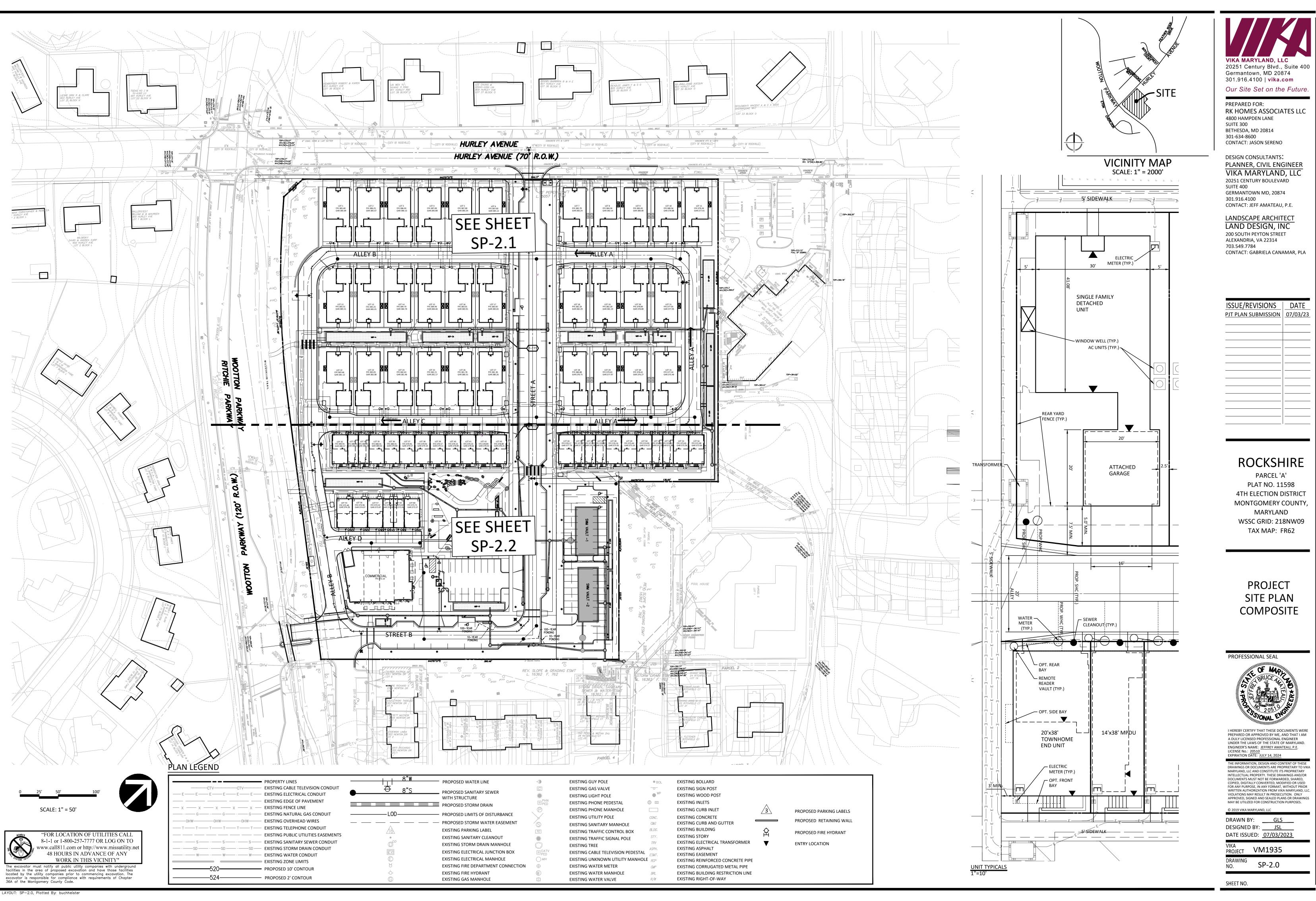
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: GLS DESIGNED BY: JSL

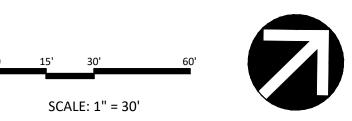
DATE ISSUED: <u>07/03/2023</u>

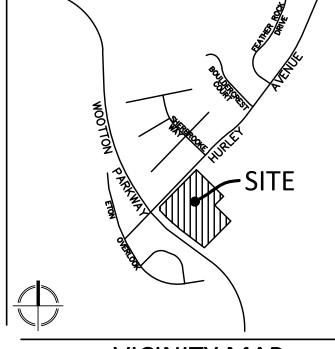
PROJECT VM1935

SHEET NO. SP-1.1

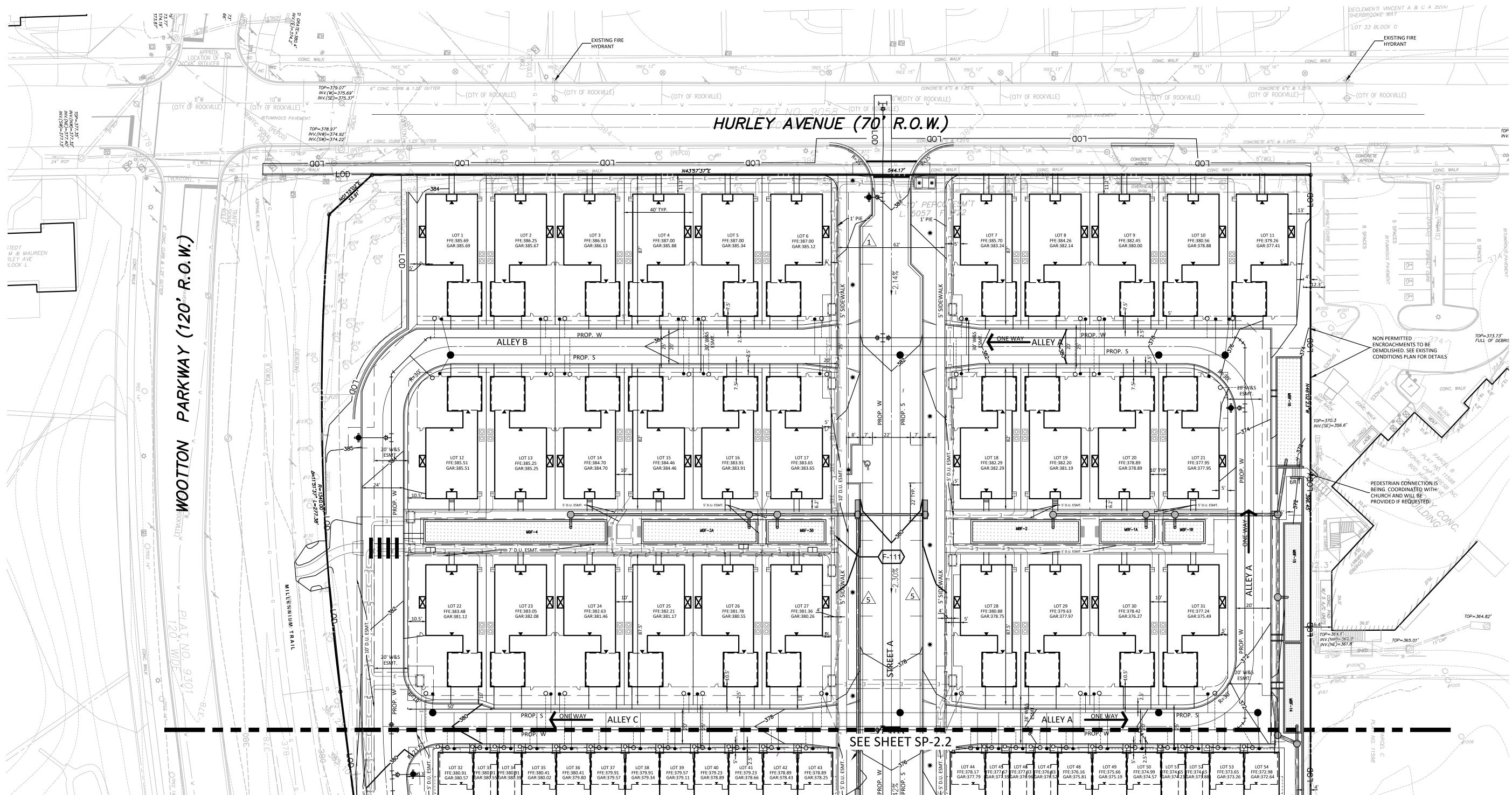


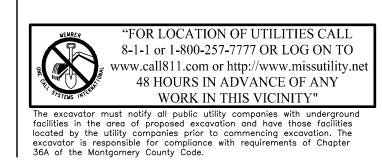
PLAN LEGEND PROPOSED WATER LINE **EXISTING GUY POLE** EXISTING BOLLARD PROPOSED PARKING EXISTING CABLE TELEVISION CONDUIT EXISTING GAS VALVE **EXISTING SIGN POST** PROPOSED SANITARY SEWER EXISTING ELECTRICAL CONDUIT EXISTING WOOD POST **EXISTING LIGHT POLE** PROPOSED RETAINING WALL WITH STRUCTURE **EXISTING PHONE PEDESTAL** EXISTING INLETS PROPOSED STORM DRAIN PROPOSED FIRE HYDRANT **EXISTING PHONE MANHOLE EXISTING CURB INLET EXISTING NATURAL GAS CONDUIT** PROPOSED LIMITS OF DISTURBANCE EXISTING UTILITY POLE EXISTING CONCRETE ENTRY LOCATION EXISTING OVERHEAD WIRES PROPOSED STORM WATER EASEMENT EXISTING CURB AND GUTTER **EXISTING SANITARY MANHOLE** EXISTING BUILDING EXISTING PARKING LABEL PROPOSED SWM FACILITY EXISTING TRAFFIC CONTROL BOX EXISTING SANITARY CLEANOUT EXISTING STORY EXISTING TRAFFIC SIGNAL POLE PROPOSED UNDERGROUND EXISTING ELECTRICAL TRANSFORMER **EXISTING STORM DRAIN MANHOLE** SWM FACILITY **EXISTING TREE EXISTING ASPHALT** EXISTING CABLE TELEVISION PEDESTAL FSMT. **EXISTING ELECTRICAL JUNCTION BOX EXISTING EASEMENT EXISTING ELECTRICAL MANHOLE** EXISTING UNKNOWN UTILITY MANHOLE ROP **EXISTING REINFORCED CONCRETE PIPE** EXISTING FIRE DEPARTMENT CONNECTION EXISTING WATER METER EXISTING CORRUGATED METAL PIPE PROPOSED 10' CONTOUR EXISTING FIRE HYDRANT **EXISTING WATER MANHOLE** EXISTING BUILDING RESTRICTION LINE PROPOSED 2' CONTOUR **EXISTING GAS MANHOLE** EXISTING WATER VALVE EXISTING RIGHT-OF-WAY





VICINITY MAP SCALE: 1" = 2000'





VIKA MARYLAND, LLC 20251 Century Blvd., Suite 400

Our Site Set on the Future.

PREPARED FOR:
RK HOMES ASSOCIATES LLC
4800 HAMPDEN LANE
SUITE 300
BETHESDA, MD 20814

Germantown, MD 20874

301-634-8600

DESIGN CONSULTANTS:
PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD
SUITE 400

SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: JEFF AMATEAU, P.E.

LAND DESIGN, INC
200 SOUTH PEYTON STREET
ALEXANDRIA, VA 22314
703.549.7784
CONTACT: GABRIELA CANAMAR, PLA

LANDSCAPE ARCHITECT

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/2
_	-
	-
	-
	-

ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT SITE PLAN 30 SCALE

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: JEFFREY AMATEAU, P.E. LICENSE NO.: 20510

EXPIRATION DATE: JULY 14, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LL

DRAWN BY: GLS
DESIGNED BY: JSL
DATE ISSUED: 07/03/2023

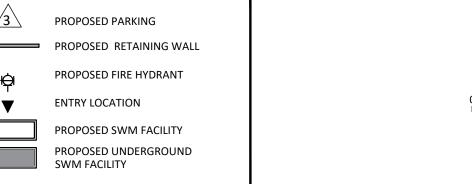
PROJECT VM1935

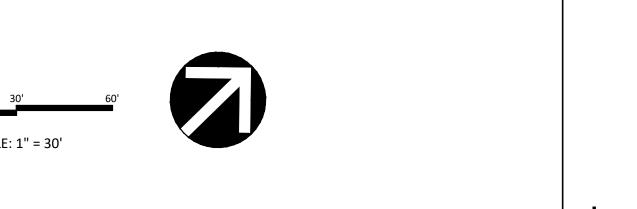
DRAWING NO. SP-2.1

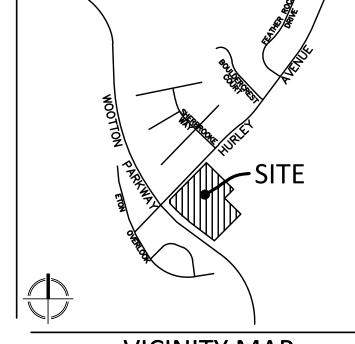
SHEET NO.

PLAN LEGEND

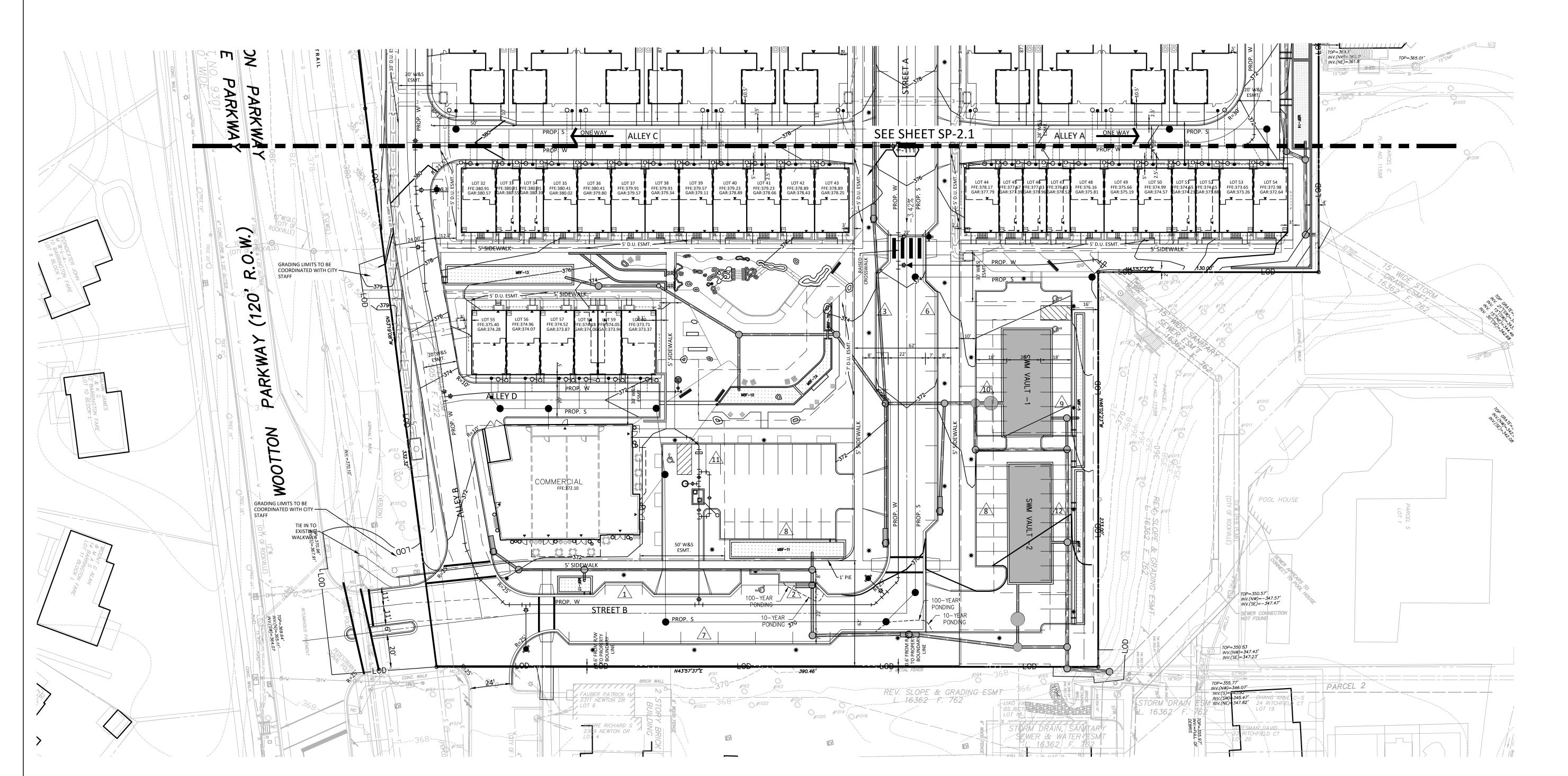
PLAN LEGEND								
PROPERTY LINES	8"W	PROPOSED WATER LINE	-①	EXISTING GUY POLE	• BOL	EXISTING BOLLARD		PROPOSED DEPRESSED CURB
EXISTING CABLE TELEVISION CONDUIT	○ 8"S	PROPOSED SANITARY SEWER	G	EXISTING GAS VALVE	-O-WB	EXISTING SIGN POST	\wedge	
— E — E — E — E — E — EXISTING ELECTRICAL CONDUIT		WITH STRUCTURE	*	EXISTING LIGHT POLE	• WF	EXISTING WOOD POST	<u>/</u> 3\	PROPOSED PARKING
——————————————————————————————————————		PROPOSED STORM DRAIN	PHN	EXISTING PHONE PEDESTAL		EXISTING INLETS		PROPOSED RETAINING WALL
— X — X — X — X — EXISTING FENCE LINE — G — G — EXISTING NATURAL GAS CONDUIT	LOD	DRODOCED LIMITE OF DICTURD ANCE	(P)	EXISTING PHONE MANHOLE		EXISTING CURB INLET		PROPOSED RETAINING WALL
	—_LUD	- PROPOSED LIMITS OF DISTURBANCE		EXISTING UTILITY POLE	CONC.	EXISTING CONCRETE	Ė	PROPOSED FIRE HYDRANT
		- PROPOSED STORM WATER EASEMENT	S	EXISTING SANITARY MANHOLE	C&G	EXISTING CURB AND GUTTER	Ψ'	
— T — T — T — T — T — EXISTING TELEPHONE CONDUIT	16	EXISTING PARKING LABEL	TC	EXISTING TRAFFIC CONTROL BOX	BLDG.	EXISTING BUILDING	lacktriangledown	ENTRY LOCATION
— — — — EXISTING PUBLIC UTILITIES EASEMENTS	•	EXISTING SANITARY CLEANOUT	*	EXISTING TRAFFIC SIGNAL POLE	STY.	EXISTING STORY		PROPOSED SWM FACILITY
——————————————————————————————————————		EXISTING STORM DRAIN MANHOLE	Ĥ	EXISTING TREE	TRV	EXISTING ELECTRICAL TRANSFORMER		
— · — SD — · — SD — EXISTING STORM DRAIN CONDUIT	EV	EXISTING ELECTRICAL JUNCTION BOX	CATV	EXISTING CABLE TELEVISION PEDESTAL	ASPH. FSMT.	EXISTING ASPHALT EXISTING EASEMENT		PROPOSED UNDERGROUND SWM FACILITY
EXISTING WATER CONDUIT EXISTING ZONE LIMITS	©	EXISTING ELECTRICAL MANHOLE	○ MH	EXISTING UNKNOWN UTILITY MANHOLE		EXISTING EASEMENT EXISTING REINFORCED CONCRETE PIPE		3WW Therein
	8	EXISTING FIRE DEPARTMENT CONNECTION	\oplus	EXISTING WATER METER	CMP	EXISTING CORRUGATED METAL PIPE		
PROPOSED 10' CONTOUR	-6-	EXISTING FIRE HYDRANT	W	EXISTING WATER MANHOLE	BRL	EXISTING BUILDING RESTRICTION LINE		
——————————————————————————————————————	G	EXISTING GAS MANHOLE	Ø	EXISTING WATER VALVE	R/W	EXISTING RIGHT-OF-WAY		

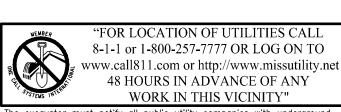






VICINITY MAP SCALE: 1" = 2000'





The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future. PREPARED FOR:

RK HOMES ASSOCIATES LLC 4800 HAMPDEN LANE SUITE 300 BETHESDA, MD 20814 301-634-8600 CONTACT: JASON SERENO

DESIGN CONSULTANTS: PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100

CONTACT: JEFF AMATEAU, P.E. LANDSCAPE ARCHITECT LAND DESIGN, INC

200 SOUTH PEYTON STREET ALEXANDRIA, VA 22314 703.549.7784 CONTACT: GABRIELA CANAMAR, PLA

ISSUE/REVISIONS DATE PJT PLAN SUBMISSION 07/03/23

ROCKSHIRE

PARCEL 'A' PLAT NO. 11598 4TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW09 TAX MAP: FR62

> **PROJECT** SITE PLAN 30 SCALE

PROFESSIONAL SEAL



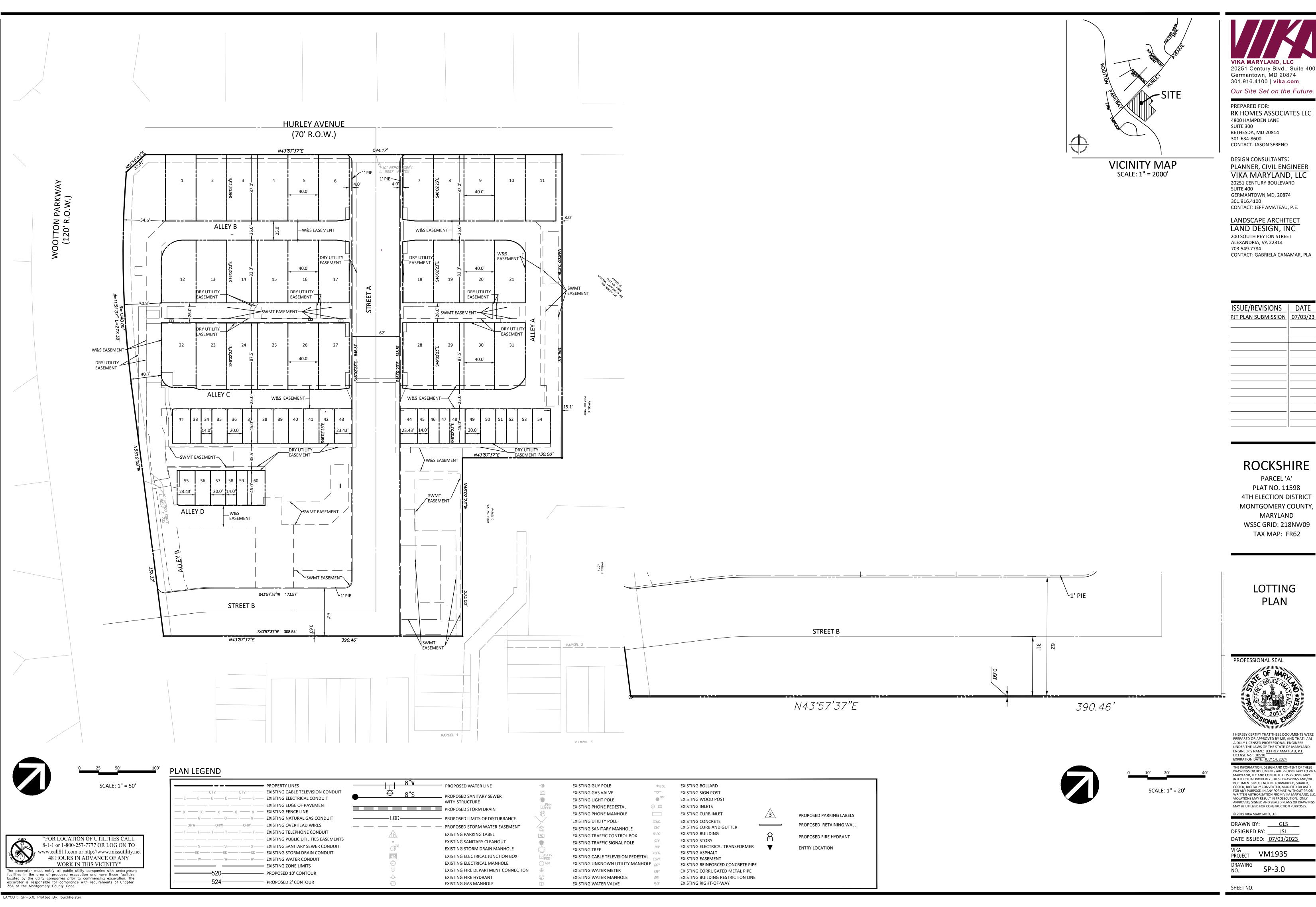
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER ENGINEER'S NAME: JEFFREY AMATEAU, P.E. LICENSE No.: 20510 EXPIRATION DATE: JULY 14, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: GLS DESIGNED BY: JSL DATE ISSUED: <u>07/03/2023</u>

PROJECT VM1935 SP-2.2

SHEET NO.



20251 Century Blvd., Suite 400 Germantown, MD 20874

301.916.4100 | vika.com Our Site Set on the Future.

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23

PLAT NO. 11598 4TH ELECTION DISTRICT MONTGOMERY COUNTY, WSSC GRID: 218NW09



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR