

Property Information		
Zoning (see footnote 1)		PD-RS/MXNC
Tract Area (Parcel A)	318,968 SF	7.32 AC
Proposed Dedications	54,384 SF	1.25 AC
Site Area	264,584 SF	6.07 AC

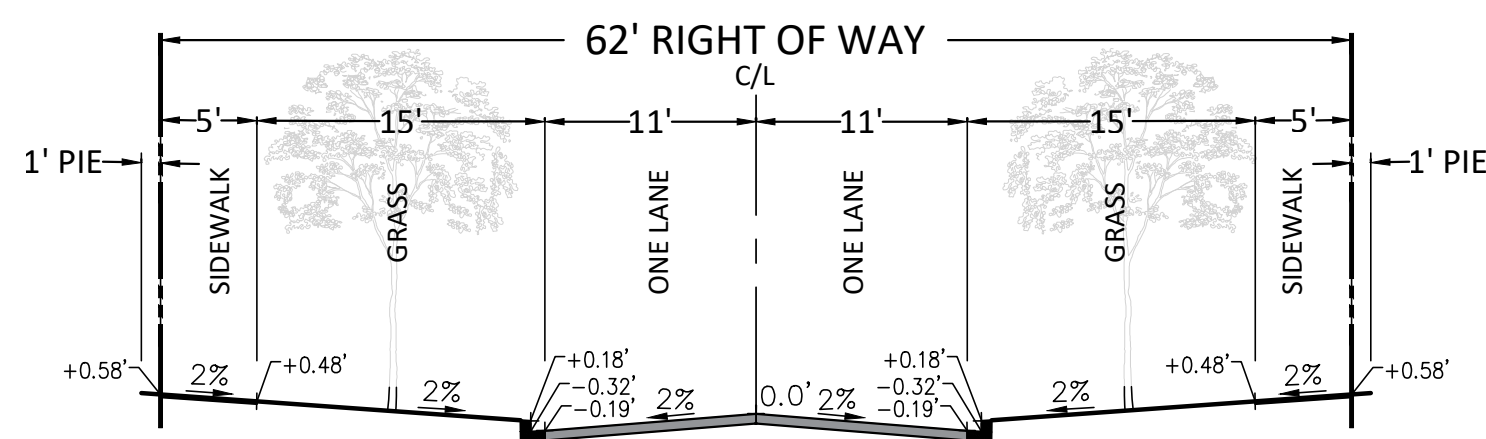
MPDUs	UNITS	%
Minimum Required	9	15.0%
Proposed	9	15.0%
Density	<i>SF</i>	<i>FAR</i>
Proposed Residential GFA	217,110	0.82
Proposed Non-Residential	5,500	0.02
Total	222,610	0.84

Open Space	Minimum Required		Proposed (see footnote 2)	
Open Area (includes public use space)	10%	26,458 SF	36.4%	96,407 SF
Public Use Space	5%	13,230 SF	7.3%	19,529 SF

Building Setbacks	<i>Minimum Required</i>	<i>Proposed</i>
Abutting public right-of-way	0', 10' if provided	10' minimum
Side		
Abutting residential land	25' or bldg. hgt. whichever is greater	N/A
Non-Residential abutting land	0', 10' if provided	10' minimum
Rear	0'	
Abutting residential land	25' or bldg. hgt. whichever is greater	N/A
Non-Residential abutting land	0', 10' if provided	10' minimum

1. Pursuant to Sections 25.14.07(d)(3)(a) and 25.14.08(b)(1) of the Zoning Ordinance, the MNCN Zone is the designated equivalent zone that is applicable to the Property given its current designation as the commercial development area of the PRU.
2. Areas provided may be modified throughout entitlement process, but will always exceed the minimum required.
3. Per Berkshire Association License Agreement (L4957 F.697): Parking only available to association members during summer swimming season on operating hours (including 1 hour before and 1 hour after) and when community room is in use. Parking is available to this development as visitor and commercial outside of these times.
4. Minimum parking based on retail sales, trade, or merchandizing parking ration of 1/200 sf GFA.

Accessible Parking	<i>Minimum Required</i>	<i>Proposed</i>
On-Street Accessible Parking	2	2
Commercial	1	1
Rockshire Association/Visitor Lot	2	2



62' RIGHT OF WAY

1' PIE

5' 8' 7' 11' 11' 7' 8' 5'

SIDEWALK GRASS PARALLEL PARKING ONE LANE ONE LANE PARALLEL PARKING GRASS SIDEWALK

+0.58% 2% +0.48' 6% -0.46' -0.33' 2% 0.0' 2% +0.04' -0.46' -0.33' +0.48' 6% 2% +0.58%

62' RIGHT OF WAY

1' PIE

5' SIDEWALK

8' GRASS

7' PARALLEL PARKING

11' ONE LANE

11' ONE LANE

7' PARALLEL PARKING

13' GRASS

+0.58'

2%

6%

+0.48'

+0.04'

-0.46'

-0.33'

2%

0.0'

2%

+0.04'

-0.46'

-0.33'

2'

0.3%

< 1%

Diagram illustrating a 20' wide pavement section with a 2% cross-slope and a 6" concrete header curb on the right side.

A cross-sectional diagram of a 20-foot wide pavement. The top width is labeled "20'" with a dimension line. Below this, the word "PAVEMENT" is centered. The pavement surface is shown with a 2% slope on both sides, indicated by "2%" and arrows pointing towards the center. At the outer edges of the pavement, there are "6" CONCRETE HEADER CURB"s, indicated by a line pointing to the curb on the right side.



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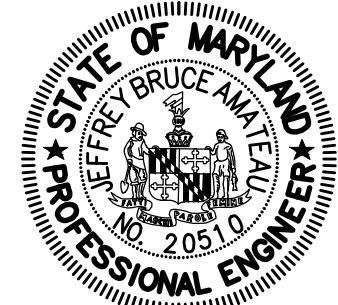
Community Planning & Development Services
Received
July 11, 2023

ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23

[illegible]

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
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A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
ENGINEER'S NAME: JEFFREY AMATEAU, P.E.
LICENSE No.: 20510
EXPIRATION DATE: JULY 14, 2024

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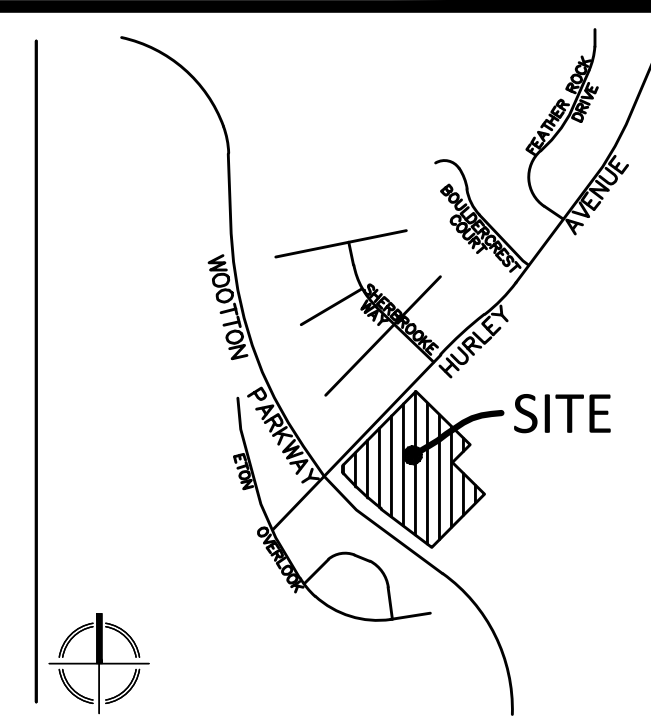
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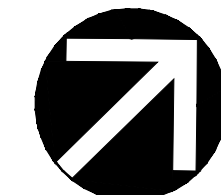
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PLAN LEGEND

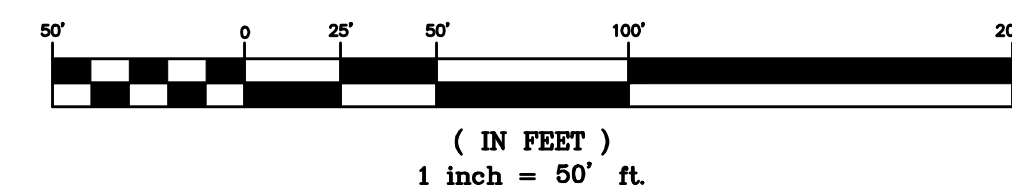
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	EXISTING ELECTRICAL CONDUIT		EXISTING STORM DRAIN MANHOLE		EXISTING LIGHT POLE		EXISTING WOOD POST
	EXISTING EDGE OF PAVEMENT		EXISTING ELECTRICAL JUNCTION BOX		EXISTING PHONE PEDESTAL		EXISTING CURB INLET
	EXISTING FENCE LINE		EXISTING ELECTRICAL MANHOLE		EXISTING UTILITY POLE		EXISTING CONCRETE
	EXISTING NATURAL GAS CONDUIT		EXISTING FIRE DEPARTMENT CONNECTION		EXISTING SANITARY MANHOLE		EXISTING CURB AND GUTTER
	EXISTING OVERHEAD WIRES		EXISTING FIRE HYDRANT		EXISTING TRAFFIC CONTROL BOX		EXISTING BUILDING
	EXISTING TELEPHONE CONDUIT		EXISTING GAS MANHOLE		EXISTING TRAFFIC SIGNAL POLE		EXISTING STORY
	EXISTING PUBLIC UTILITIES EASEMENTS		EXISTING CABLE TELEVISION PEDESTAL		EXISTING UNKNOWN UTILITY MANHOLE		EXISTING EASEMENT
	EXISTING SANITARY SEWER CONDUIT		EXISTING WATER METER		EXISTING WATER MANHOLE		EXISTING CORRUGATED METAL PIPE
	EXISTING STORM DRAIN CONDUIT		EXISTING WATER VALVE		EXISTING BUILDING RESTRICTION LINE		EXISTING RIGHT-OF-WAY
	EXISTING WATER CONDUIT						
	EXISTING ZONE LIMITS						



VICINITY MAP
SCALE: 1" = 2000'



GRAPHIC SCALE



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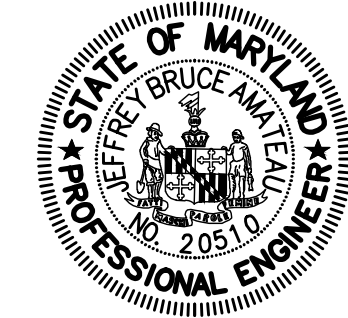
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ROCKSHIRE

PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN -
EXISTING
CONDITIONS

PROFESSIONAL SEAL



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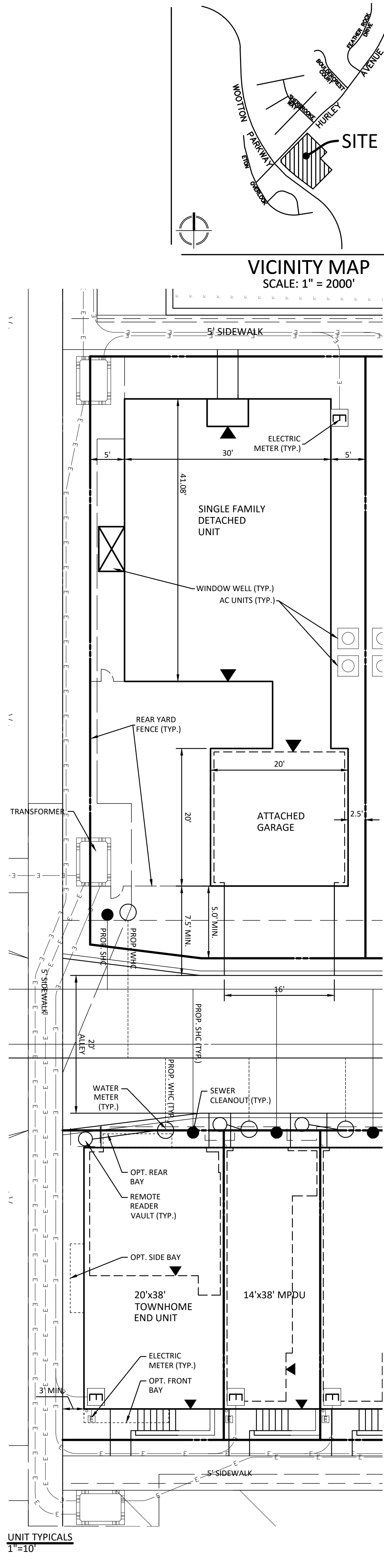
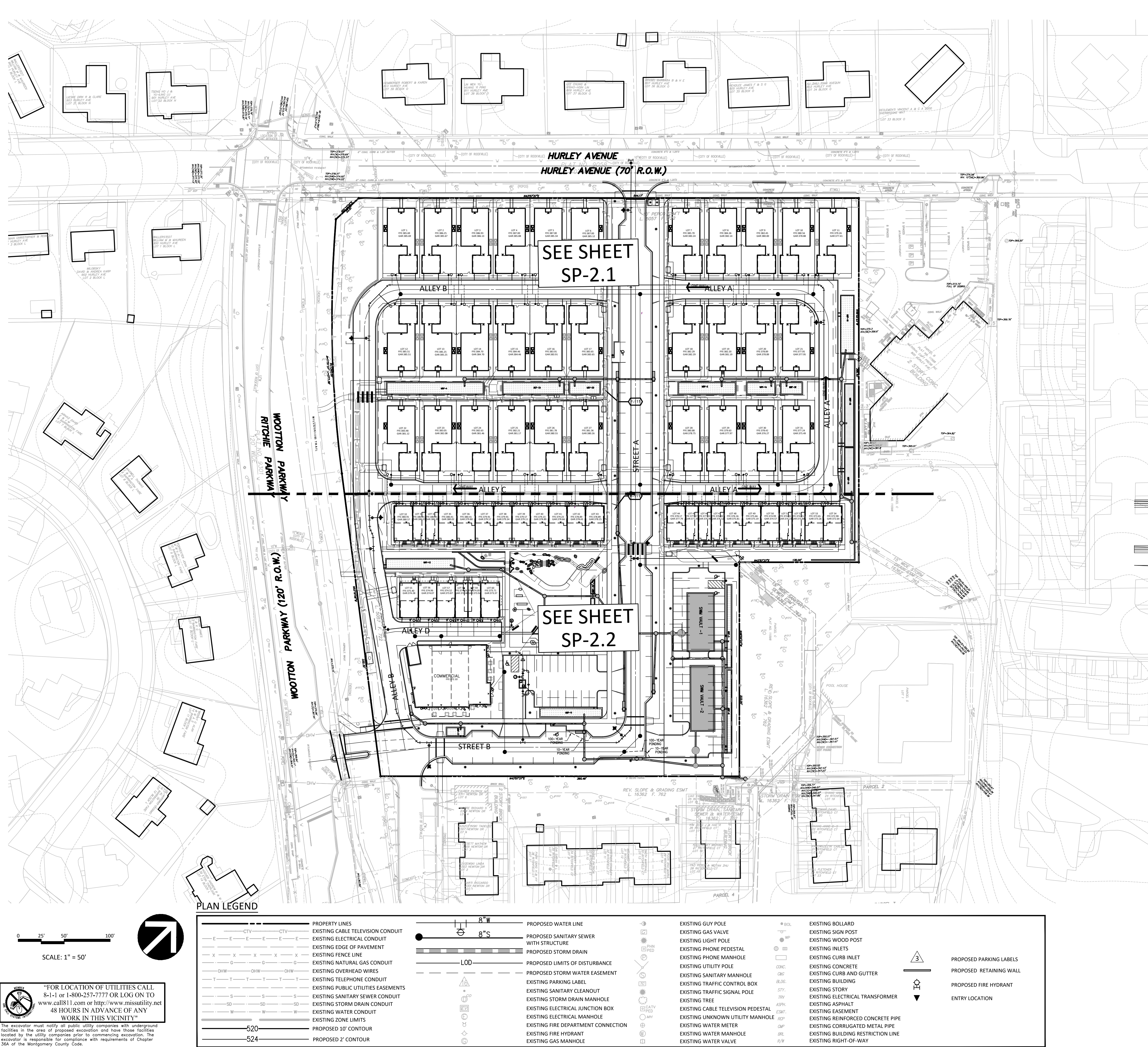
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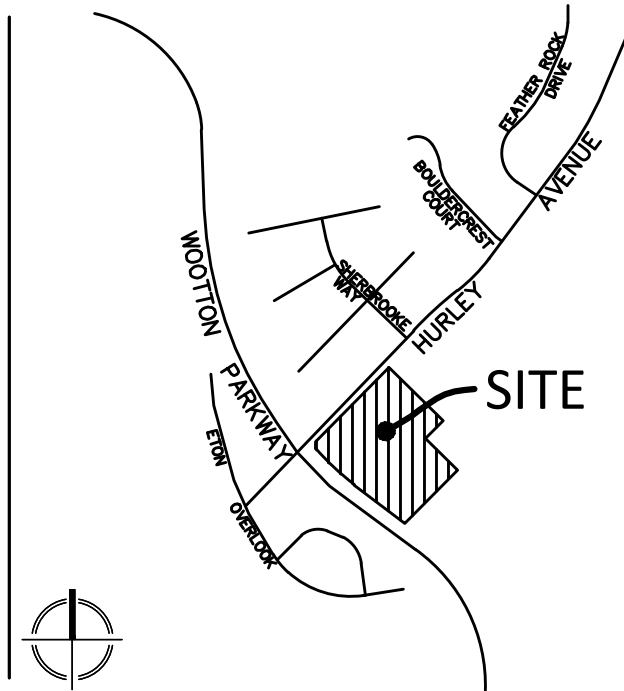
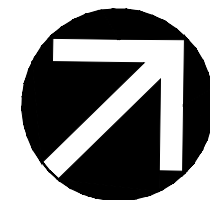


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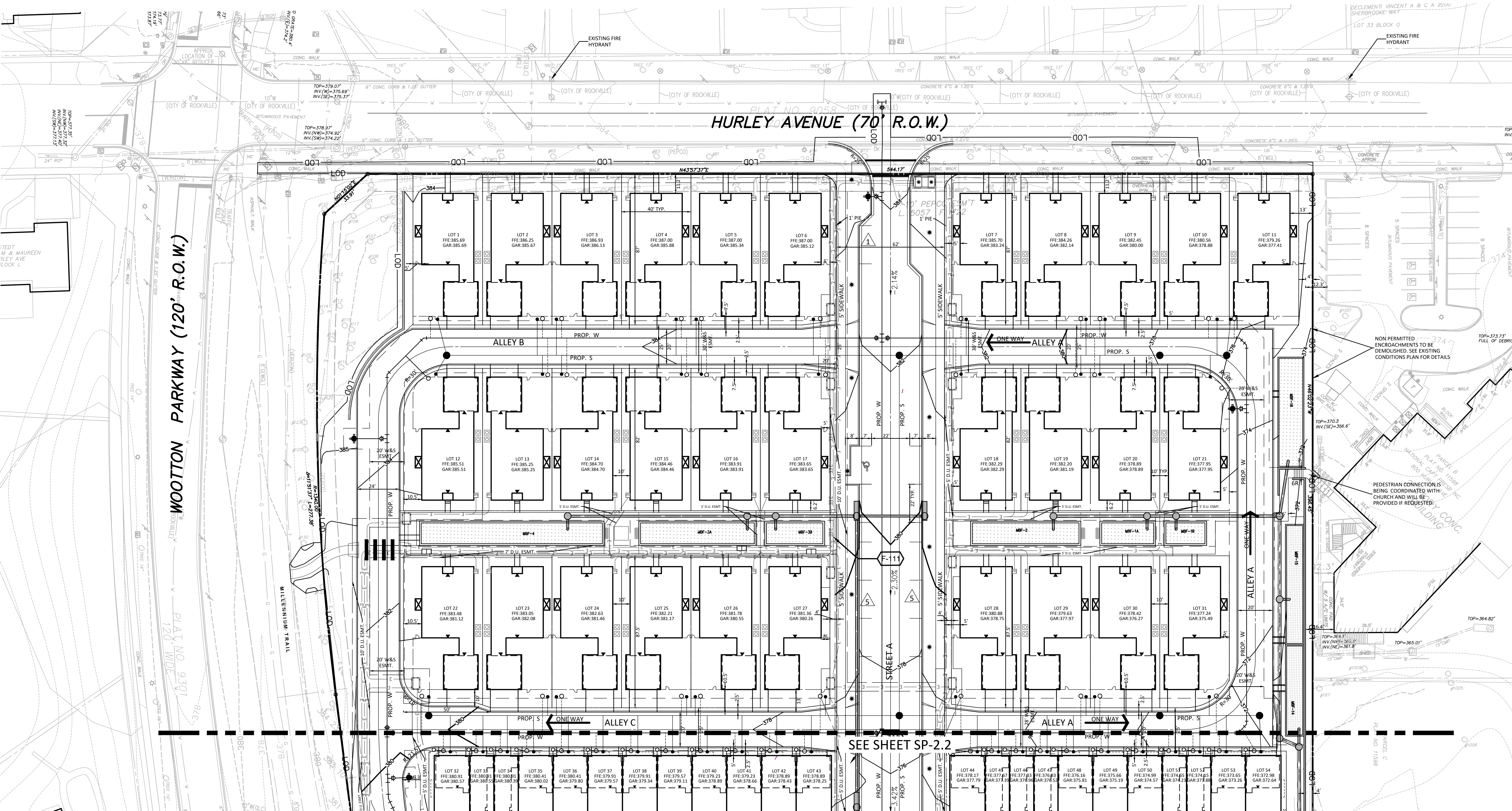
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	EXISTING ELECTRICAL CONDUIT		PROPOSED STORM DRAIN		EXISTING PHONE PEDESTAL		EXISTING INLETS		PROPOSED FIRE HYDRANT
	EXISTING FENCE LINE		PROPOSED LIMITS OF DISTURBANCE		EXISTING PHONE MANHOLE		EXISTING CONCRETE		ENTRY LOCATION
	EXISTING NATURAL GAS CONDUIT		PROPOSED STORM WATER EASEMENT		EXISTING SANITARY MANHOLE		EXISTING CURB AND GUTTER		PROPOSED SWM FACILITY
	EXISTING OVERHEAD WIRES		EXISTING PARKING LABEL		EXISTING SANITARY CLEANOUT		EXISTING STORY		PROPOSED UNDERGROUND SWM FACILITY
	EXISTING TELEPHONE CONDUIT		EXISTING SANITARY MANHOLE		EXISTING ELECTRICAL JUNCTION BOX		EXISTING ASPHALT		
	EXISTING PUBLIC UTILITIES EASEMENTS		EXISTING STORM DRAIN MANHOLE		EXISTING ELECTRICAL MANHOLE		EXISTING EASEMENT		
	EXISTING TELEPHONE WIRES		EXISTING ELECTRICAL MANHOLE		EXISTING FIRE DEPARTMENT CONNECTION		EXISTING REINFORCED CONCRETE PIPE		
	EXISTING SANITARY SEWER CONDUIT		EXISTING FIRE HYDRANT		EXISTING FIRE HYDRANT		EXISTING CORRUGATED METAL PIPE		
	EXISTING STORM DRAIN CONDUIT		EXISTING GAS MANHOLE		EXISTING GAS MANHOLE		EXISTING BUILDING RESTRICTION LINE		
	EXISTING WATER CONDUIT						EXISTING RIGHT-OF-WAY		
	EXISTING ZONE LIMITS								
	PROPOSED 10' CONTOUR								
	PROPOSED 2' CONTOUR								

0 15' 30' 60'

SCALE: 1" = 30'



VICINITY MAP
SCALE: 1" = 2000'



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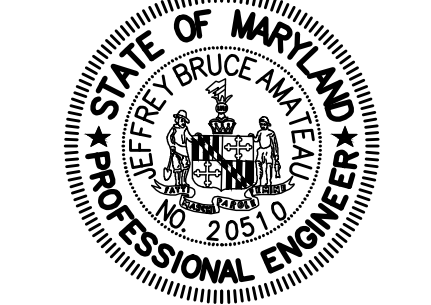
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ISSUE/REVISIONS	DATE
PJT PLAN SUBMISSION	07/03/23

ROCKSHIRE
PARCEL 'A'
PLAT NO. 11598
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 218NW09
TAX MAP: FR62

PROJECT
SITE PLAN
30 SCALE

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: JEFFREY AMATEAU, P.E. LICENSE NO.: 20510 EXPIRATION DATE: JULY 14, 2024

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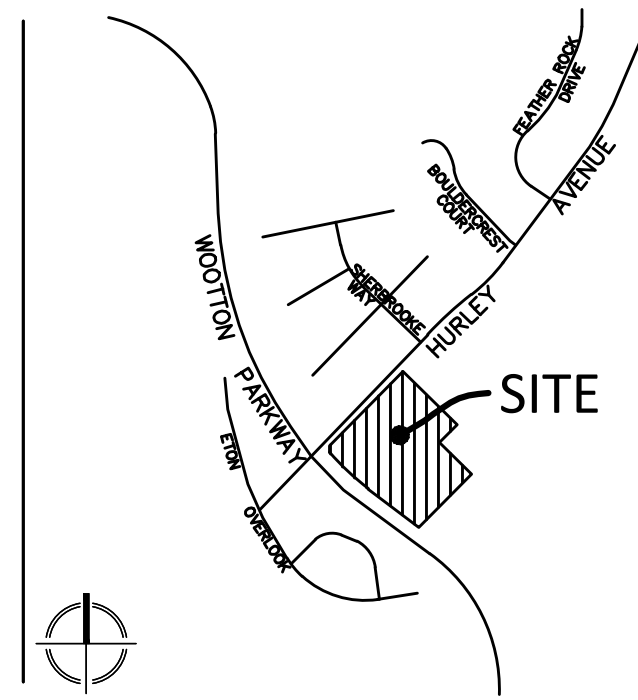
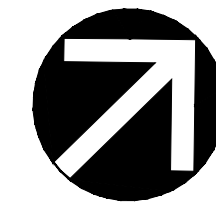
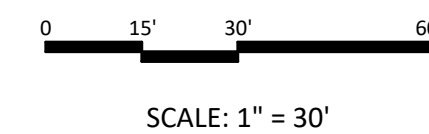
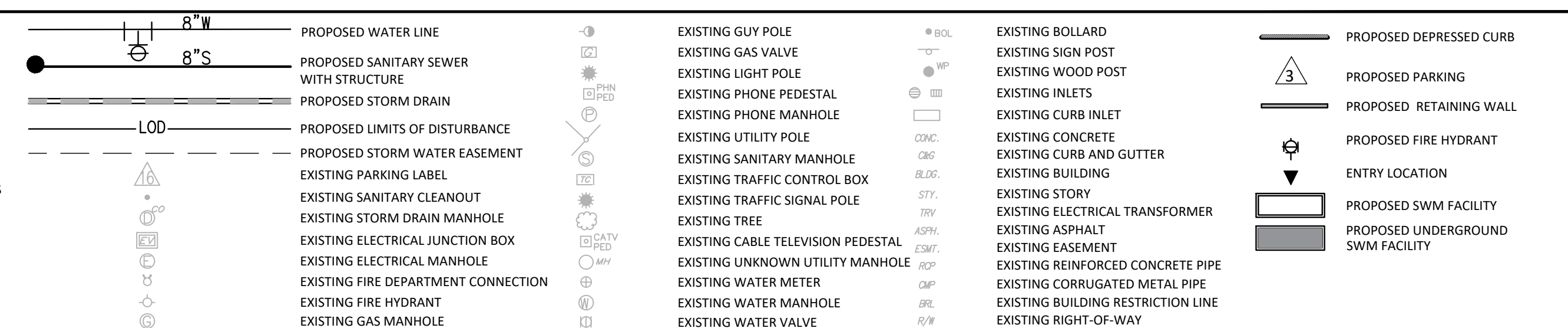
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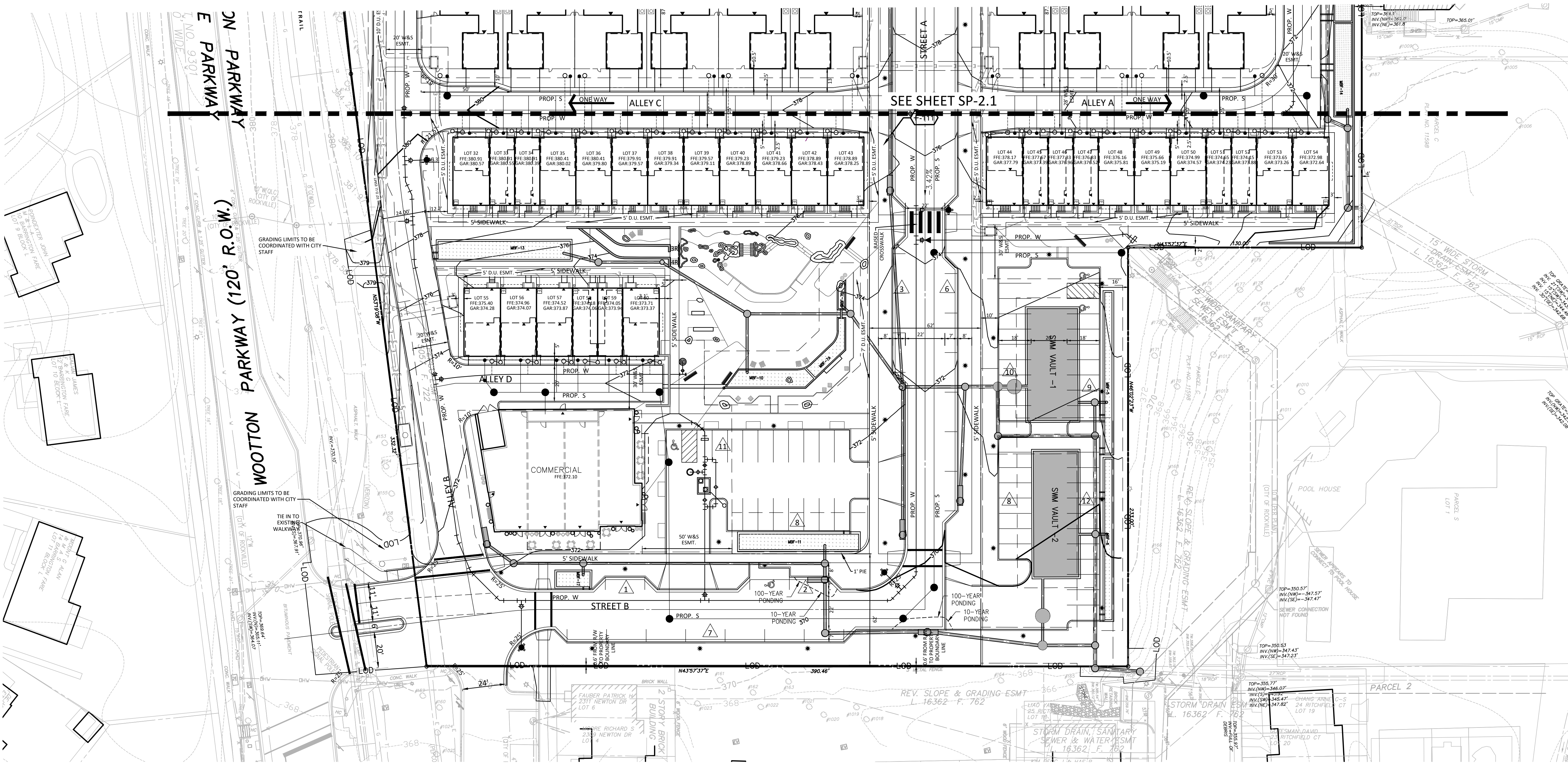
"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"


The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

	PROPERTY LINES
	EXISTING CABLE TELEVISION CONDUIT
	EXISTING ELECTRICAL CONDUIT
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE LINE
	EXISTING NATURAL GAS CONDUIT
	EXISTING OVERHEAD WIRES
	EXISTING TELEPHONE CONDUIT
	EXISTING PUBLIC UTILITIES EASEMENTS
	EXISTING SANITARY SEWER CONDUIT
	EXISTING STORM DRAIN CONDUIT
	EXISTING WATER CONDUIT
	EXISTING ZONE LIMITS
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR



VICINITY MAP
SCALE: 1" = 2000'



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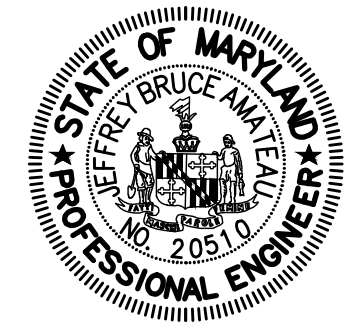
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