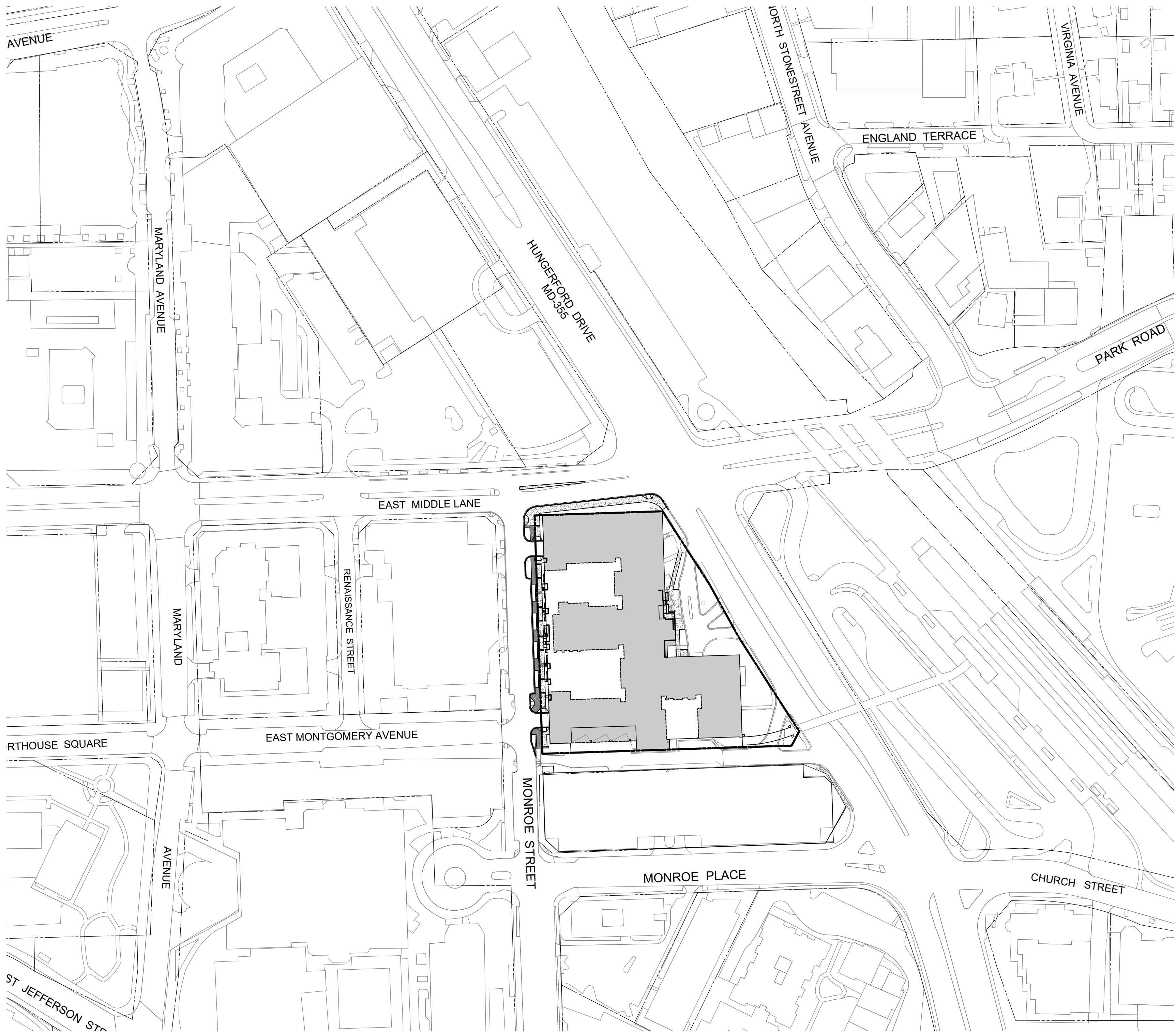
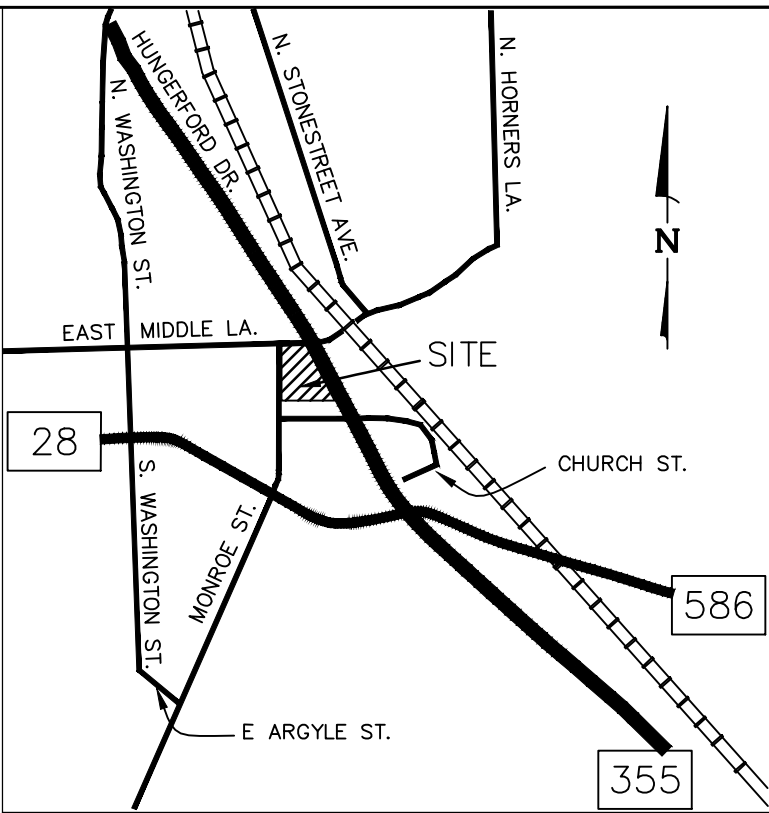
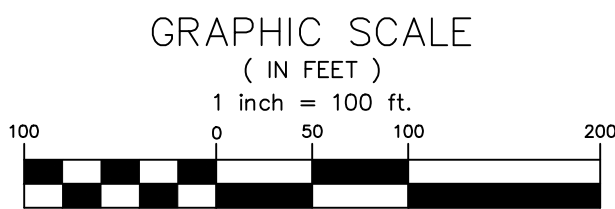


ROCKVILLE TOWN CENTER
PARCEL 2-F
255 ROCKVILLE PIKE
STP#2025-XXXXX



SURROUNDING AREA MAP



VICINITY MAP
SCALE 1" = 2,000'

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SP2.01	STREET SECTIONS
SP2.11	STREET SECTIONS
SP2.12	PUBLIC USE SPACE EXHIBIT
SP2.21	OPEN AREA EXHIBIT
SP2.22	FIRE DEPARTMENT SITE PLAN

LANDSCAPE	LANDSCAPE PLAN - GROUND LEVEL
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ARCHITECTURAL	EXISTING CONDITIONS
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PROJECT TEAM

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255 ROCKVILLE PIKE LLC
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REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP GR32

WSSC 218NW07

PLAT 19531

4TH ELECTION DISTRICT
CITY OF ROCKVILLE
MARYLAND

ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 100'

DATE 03.05.2025

SITE PLAN
COVER SHEET

SP0.01

PROJECT NO. 93.395.02

SHEET NO. 1 OF 1

Community Planning & Development Services
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RESERVED FOR PLANNING COMMISSION APPROVAL LETTER

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP GR32 WSSC 218NW07

PLAT 19531

4TH ELECTION DISTRICT
CITY OF ROCKVILLE
MARYLAND

ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F

PROJ. MGR	PGL
DRAWN BY	PGL
SCALE	NTS
DATE	03.05.2025

PLANNING COMMISSION
APPROVAL LETTER

SP0.02

PROJECT NO.	93.395.02
SHEET NO.	1 OF 1

Community Planning & Development Services
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NO.	DESCRIPTION	DATE

TAX MAP GR32 WSSC 218NW07

PLAT 19531

4TH ELECTION DISTRICT
CITY OF ROCKVILLE
MARYLAND

ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 30'

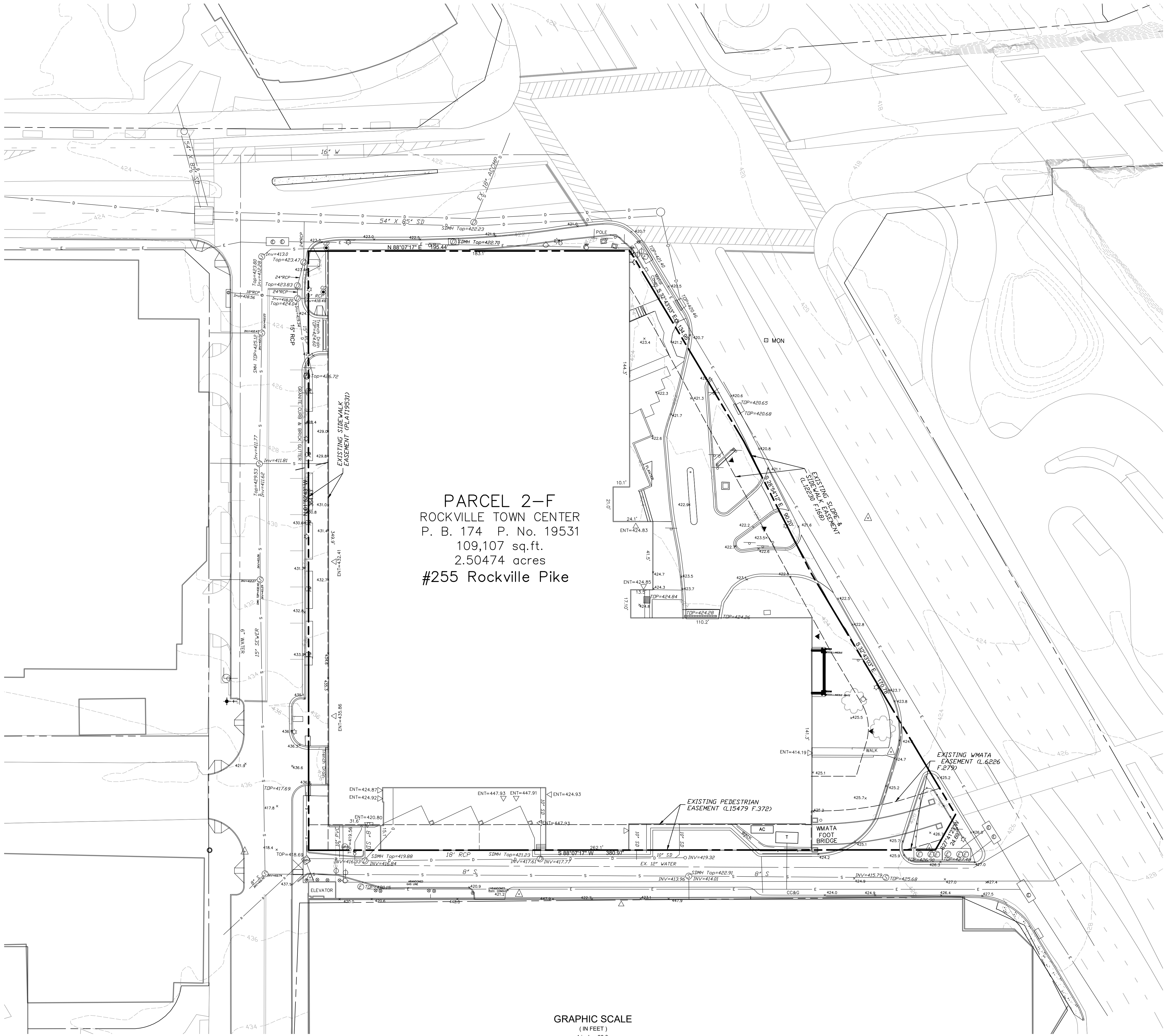
DATE 03.05.2025

EXISTING CONDITIONS
PLAN

SP1.01

PROJECT NO. 93.395.02

SHEET NO. 1 OF 1



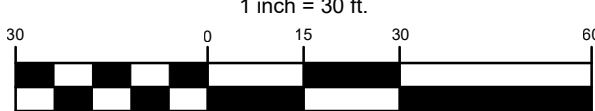
NOTES:

- Vertical Datum is based on NAVD 29/NAVD 88, from W.S.S.C. plan # . Benchmarks used are No. . The vertical datum on this plan is from aerial photography/field survey methods by McKenzieSnyder, Inc./MHG on [Month Day, Year] and meets National Map Accuracy Standards for a 30 scale topography. By showing the vertical datum at a larger scale does not change the accuracy standards of this datum. Any larger scale detail is for horizontal location clarification only.
- Horizontal Datum is based on the Maryland Coordinate System NAD 83(2011) Datum as projected by NGS. SmartNet North America Virtual Reference Station System (VRS) was used to establish the horizontal control for this site on (DATE). The combined scale factor for this site is . This survey meets the positional tolerance as specified by Title 9, Subtitle 13, Chapter 6, Sections .04 and .12 of the Minimum Standards of Practice for Land Surveyors.
- The Horizontal and Vertical Tolerances for this drawing meet or exceeds the National Map Standards for a xx scale map.
- Aerial photogrammetric/Field survey methods were used in the compilation of the topographical data shown on this plan. The (aerial was performed by (Aerial Company) and based on aerial photography dated [Month Day, Year] OR The field survey was performed by (MHG) on [Month Day, Year].
- The locations of existing underground utilities are shown in their approximate locations as per available records and markings found in the field. The exact locations of all underground utilities should be verified by "MISS UTILITY" prior to excavation. MHG does not express or imply any guarantee or warranty as to the location or existence of any underground utility.
- Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of this site.
- The property lines shown hereon do not constitute a current boundary survey.
- This map or plat and the survey on which it is based were prepared under the responsible charge of the undersigned and are in compliance with COMAR Regulations 09.13.06.04 and 09.13.06.12.T
- Certification defined – The use of the word certify or certification by a Professional Land Surveyor in the practice of land surveying, constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification and does not constitute a warranty or guarantee, either expressed or implied.
- This digital data has been generated for the exclusive use of the staff of MHG. MHG makes no guarantee or warranty either assumed or implied as to the accuracy of this data. Should this electronic data be used for Construction Stakout, the company or person using this data does so at their own risk. It is strongly recommended that you verify this information, to your own satisfaction, before using any of this data. Quality control of the drawings and data is the responsibility of the user.

GRAPHIC SCALE

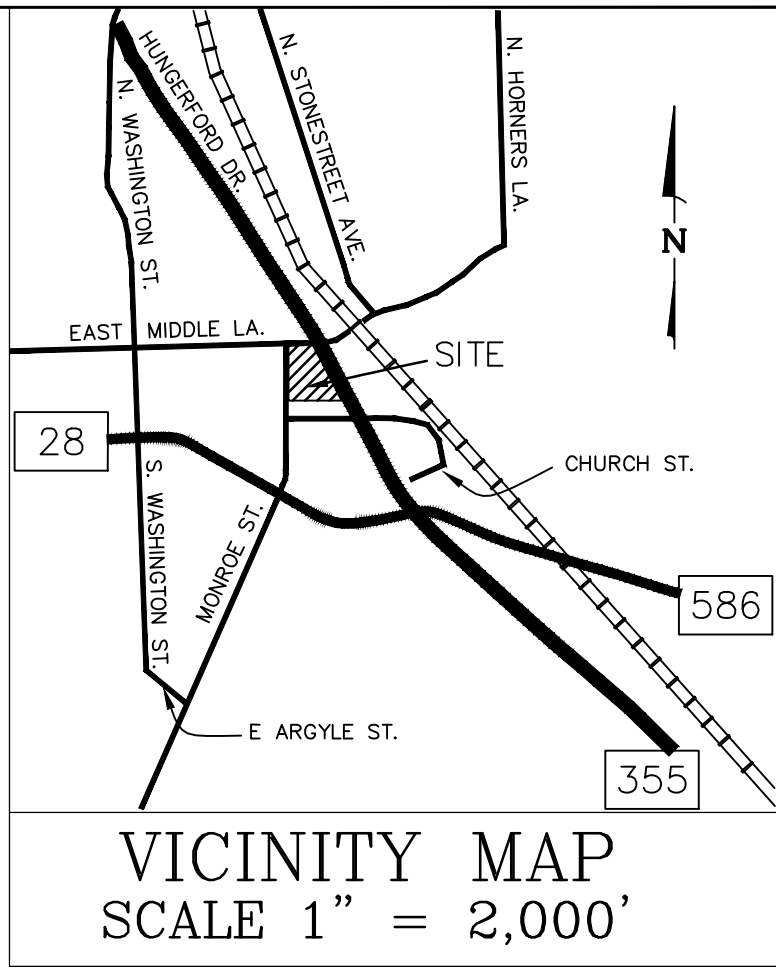
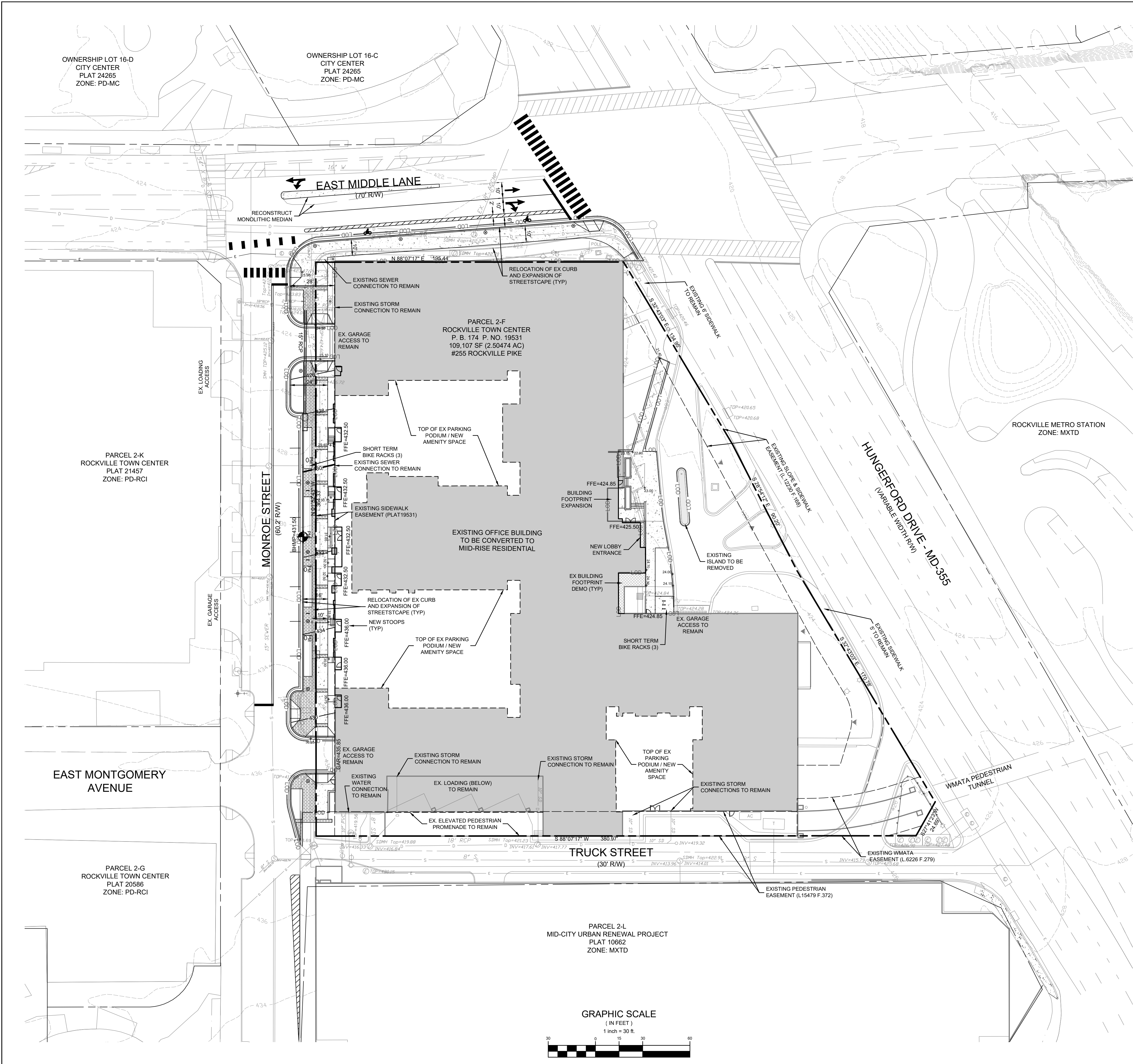
(IN FEET)

1 inch = 30 ft.



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Received
March 11, 2025

I:\33595\DWG\SP2_02_01.dwg, 24x36 Border, 3/6/2025 3:30:16 PM, laanya, ARCH D (24.00 x 36.00 Inches), Copyright © 2025 Macris, Hendricks & Glascock, P.A., Copyright © 2025 Macris, Hendricks & Glascock, P.A.



SITE DATA	
SUBJECT PROPERTIES:	PARCEL 2-F ROCKVILLE TOWN CENTER PLAT 19531
PROPERTY ADDRESSES:	255 ROCKVILLE PIKE
TAX ID NUMBERS:	04-03084266
PROPERTY OWNER:	255 ROCKVILLE PIKE LLC 4341 MONTGOMERY AVENUE BETHESDA, MD 20814
EXISTING / PROPOSED SITE AREA:	109,107 SF (2.50 AC)
ZONING CLASSIFICATION:	PD-RCI (ROCKVILLE CENTER INC.) & TOWN CENTER PERFORMANCE OVERLAY
EXISTING USES:	OFFICE (145,000 SF)
PROPOSED USES:	MULTI-FAMILY RESIDENTIAL (285 UNITS TOTAL)

GENERAL NOTES

- THE EXISTING CONDITIONS AND PROPERTY BOUNDARY SHOWN FOR PARCEL 2-F ARE TAKEN FROM TOPOGRAPHIC & BOUNDARY SURVEYS PREPARED BY MHG, LAST UPDATED IN OCTOBER OF 2024.
- EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, MARKINGS BY MISS UTILITY, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
- THE PROPERTY IS WITHIN THE ROCK CREEK WATERSHED.
- THE PROPERTY DOES NOT CONTAIN "WATERS OF THE UNITED STATES", WETLANDS, STREAMS, SEEPS, SPRINGS, FLOODPLAINS OR THEIR ASSOCIATED BUFFERS.
- THE PROPERTY IS NOT IDENTIFIED IN THE CITY OF ROCKVILLE'S HISTORIC BUILDINGS INDEX.
- A NATURAL RESOURCES INVENTORY / FOREST STAND DELINEATION (NR/FSI) FOR THIS PROPERTY WAS APPROVED UNDER 2025-14-NRI.
- THE PROPERTY IS WITHIN THE CITY OF ROCKVILLE WATER AND SEWER SERVICE AREA.
- REFER TO THE ZONING DATA TABLE FOR DEVELOPMENT STANDARDS.
- REFER TO FINAL SITE PLAN FOR GRADING, UTILITIES AND ADDITIONAL SITE DEVELOPMENT DETAILS.

DEVELOPMENT STANDARDS - PD-RCI/MXTD ZONE 1

	PERMITTED/REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT 25.13.05 (b)	217 FT ³	85 FT
MINIMUM OPEN AREA 25.13.05 (b)	15% (16,366 SF)	38% (41,485 SF)
MINIMUM PUBLIC USE SPACE 25.13.05 (b)	10% (10,911 SF)	13% (14,415 SF)
MINIMUM LOT WIDTH AT FRONT LOT LINE: 25.13.05 (b)	10 FT	395 FT (HUNGERFORD DR)
PUBLIC RIGHT-OF-WAY ABUTTING SETBACK: 25.13.05 (b)	NONE REQ'D.	0 FT
MINIMUM SIDE YARD SETBACK: 25.13.05 (b)	N/A ²	N/A ²
MINIMUM REAR YARD SETBACK: 25.13.05 (b)	N/A ²	N/A ²
MINIMUM AUTO SPACES: 25.16.03	327 SPACES	436 SPACES
MINIMUM BICYCLE SPACES - SHORT TERM: 26.16.03	6 SPACES	6 SPACES
MINIMUM BICYCLE SPACES - LONG TERM: 26.16.03	95 SPACES	102 SPACES

FOOTNOTES

- DESIGNATED EQUIVALENT ZONE FOR PD-RCI IS THE MXTD ZONE.
- THE PROPERTY HAS PUBLIC STREET FRONTAGES ON ALL SIDES, THEREFORE IT HAS NO SIDE OR REAR YARDS.
- BUILDING HEIGHT OF UP TO 217 FEET WAS APPROVED BY PRELIMINARY DEVELOPMENT PLAN PDPS4-0001.

PHASE 1 VEHICLE PARKING CALCULATIONS (MIN REQUIRED)

USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT (STUDIO)	0 UNITS	1.0/UNIT	0.0
RESIDENTIAL DWELLING, MULTIPLE UNIT (1BR)	202 UNITS	1.0/UNIT	202.0
RESIDENTIAL DWELLING, MULTIPLE UNIT (≥2BR)	83 UNITS	1.5/UNIT	124.5
TOTAL (ROUNDED)			327 SPACES

PHASE 1 BICYCLE PARKING CALCULATIONS - SHORT TERM (MIN)

USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT	285 UNITS	1.0/50 UNIT	5.7
TOTAL (ROUNDED)			6 SPACES

PHASE 1 BICYCLE PARKING CALCULATIONS - LONG TERM (MIN)

USE	DENSITY	METRIC	REQUIREMENT
RESIDENTIAL DWELLING, MULTIPLE UNIT	285 UNITS	1.0/3 UNIT	94.3
TOTAL (ROUNDED)			95 SPACES



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301-300-5600
BELLIOTT@LANTIANDEVELOPMENT.COM

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP GR32 WSSC 218NW07

PLAT 19531

4TH ELECTION DISTRICT
CITY OF ROCKVILLE
MARYLAND

ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1" = 30'

DATE 03.05.2025

SITE PLAN

SP2.01

PROJECT NO. 93.395.02

SHEET NO. 1 OF 1



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TAX MAP GR32

WSSC 218NW07

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4TH ELECTION DISTRICT
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MARYLAND

ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 5'

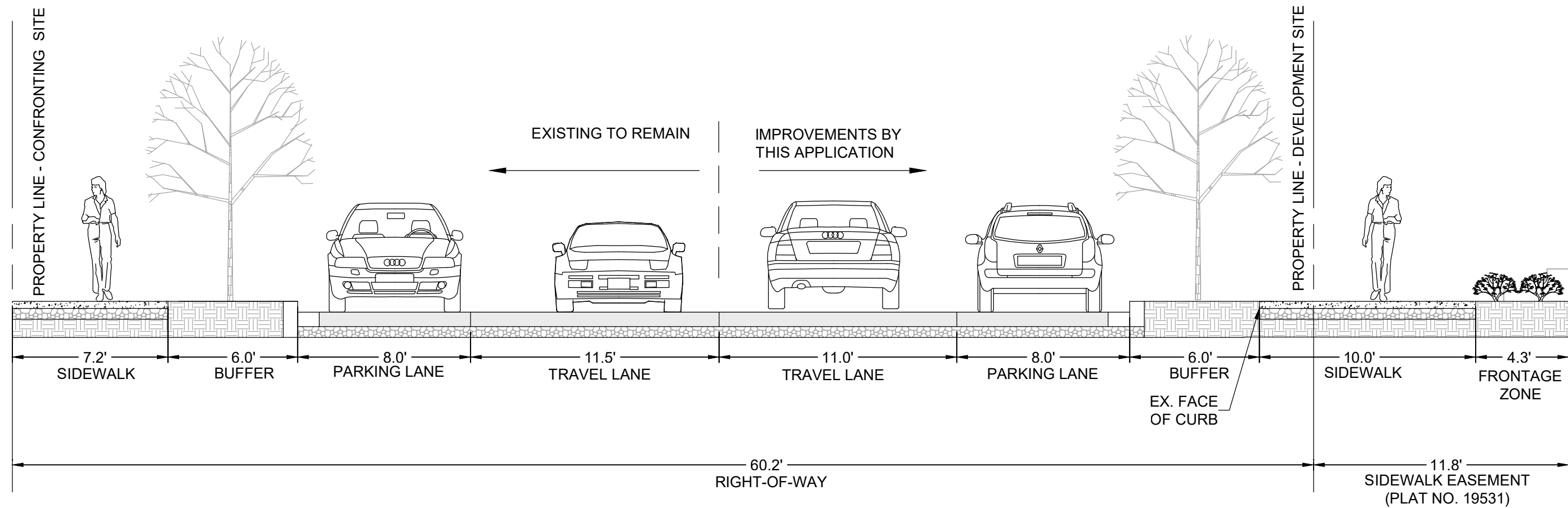
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STREET SECTIONS

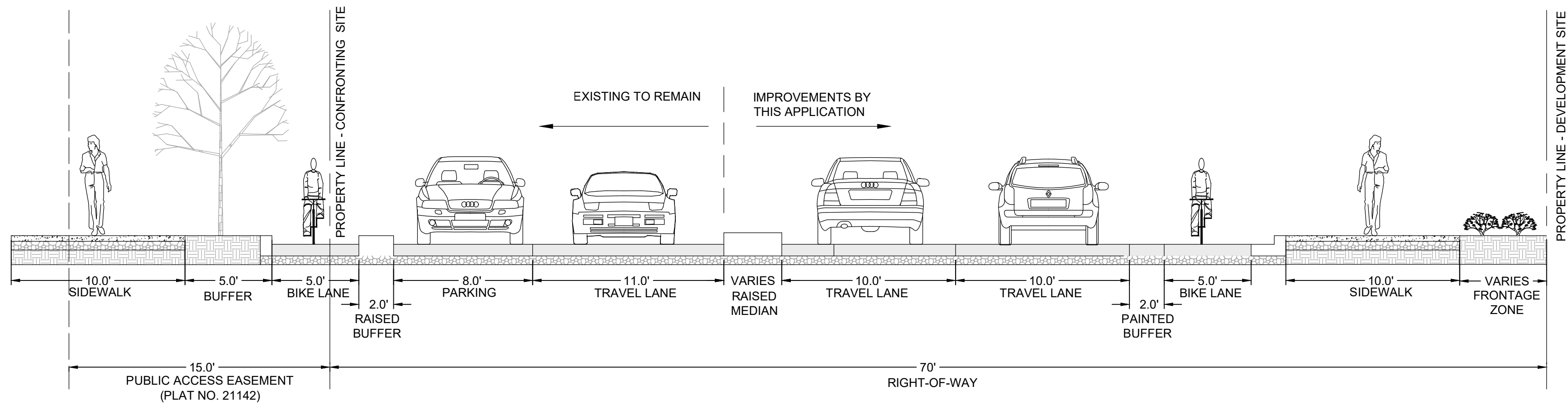
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PROJECT NO. 93.395.02

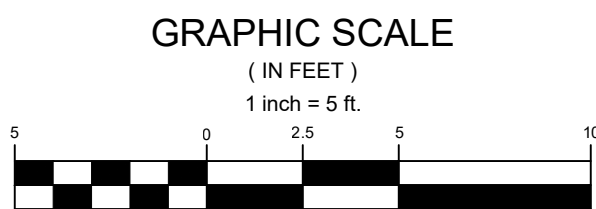
SHEET NO. 1 OF 1



MONROE STREET - TYPICAL SECTION



E. MIDDLE LANE- TYPICAL SECTION



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NO.	DESCRIPTION	DATE

TAX MAP GR32

WSSC 218NW07

PLAT 19531

4TH ELECTION DISTRICT
CITY OF ROCKVILLE
MARYLAND

**ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F**

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"= 5'

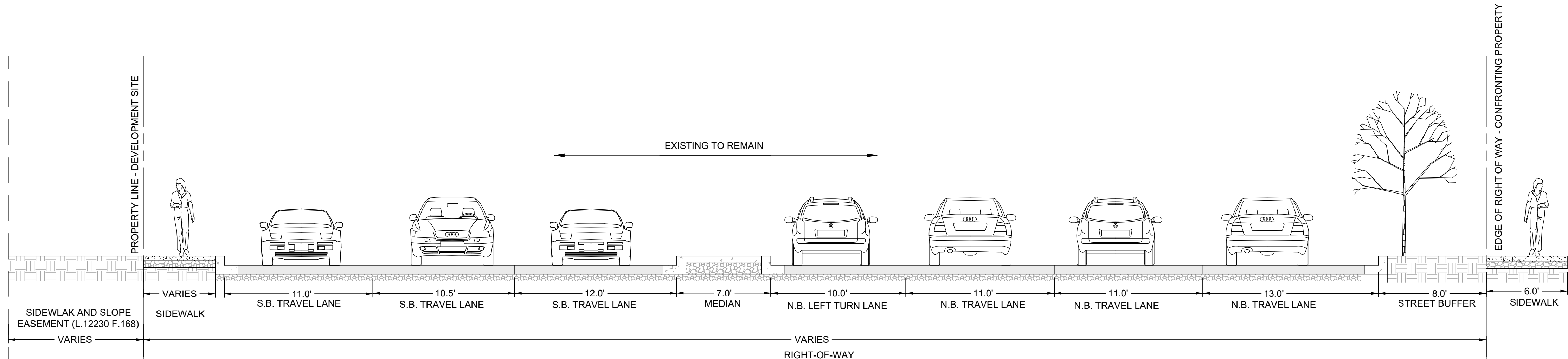
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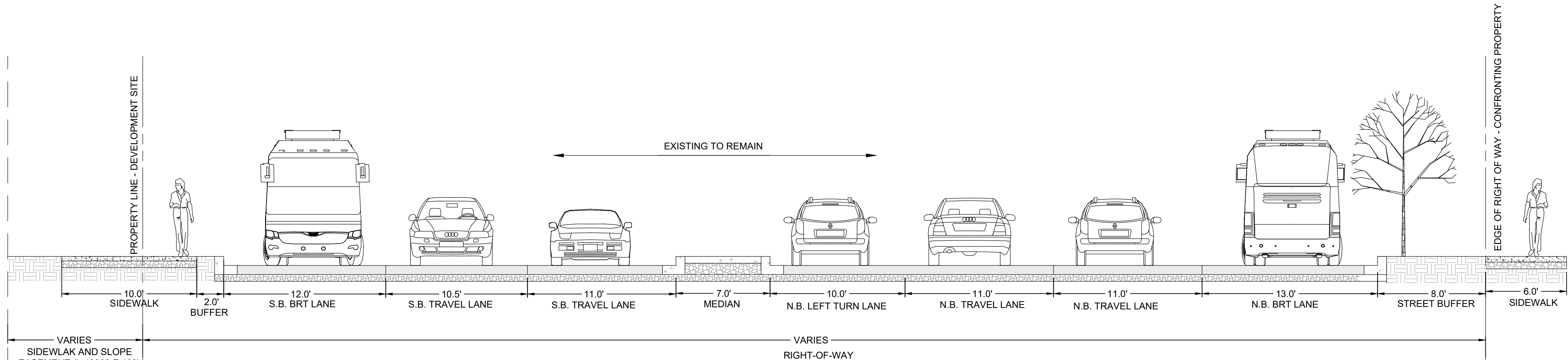
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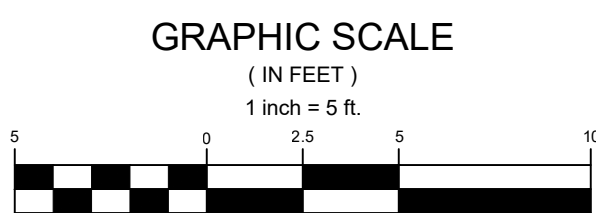
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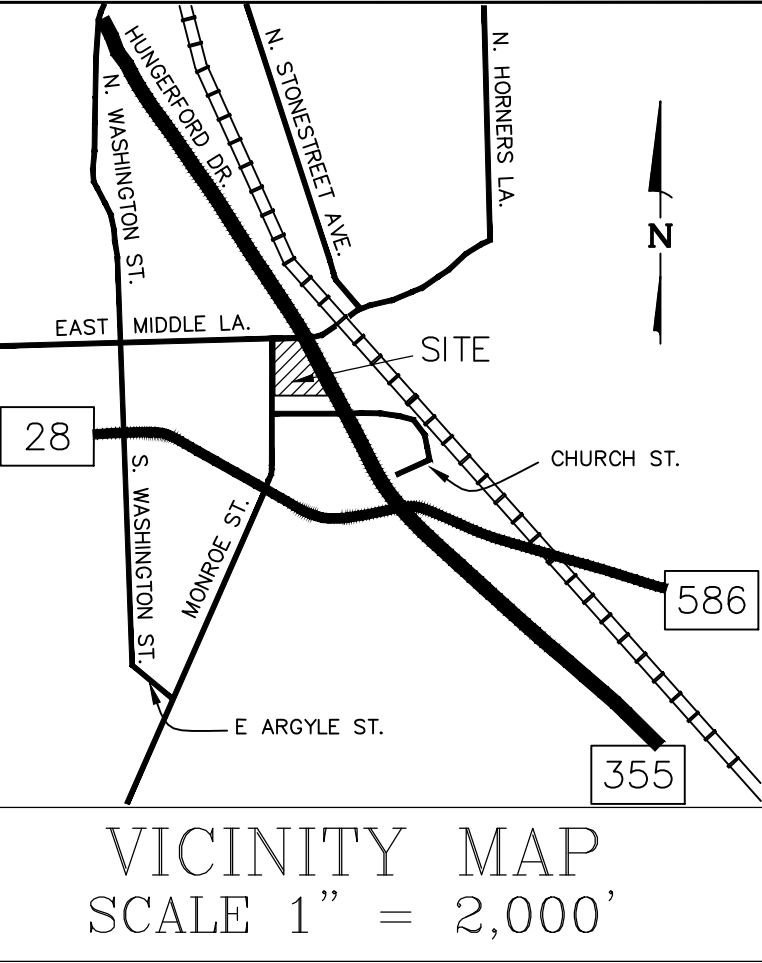
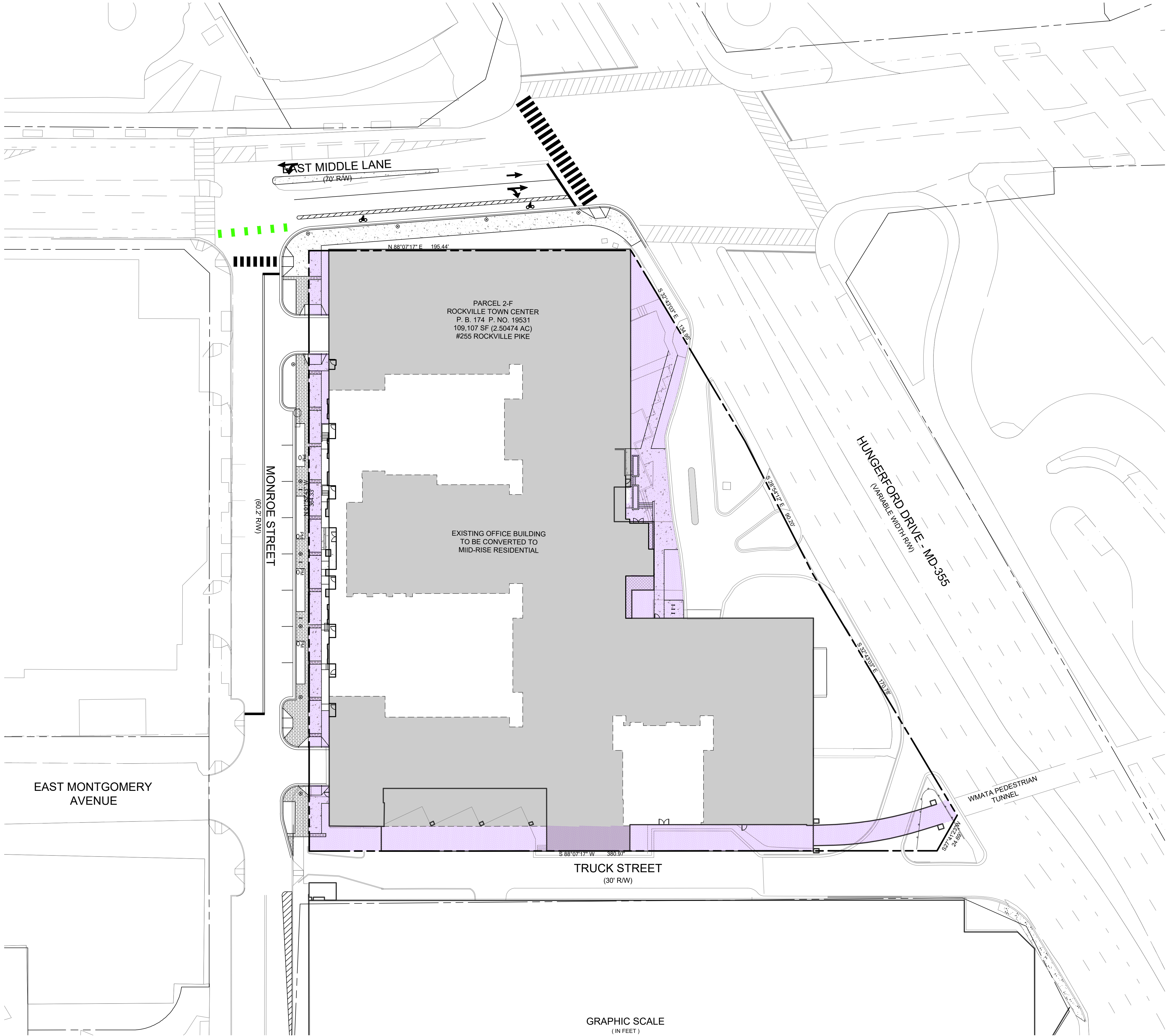
HUNGERFORD DRIVE (MD-355)
INTERIM SECTION



HUNGERFORD DRIVE (MD-355)
FUTURE (BRT) SECTION



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PROJ. MGR	PGL
DRAWN BY	PGL
SCALE	1"= 30'
DATE	03.05.2025

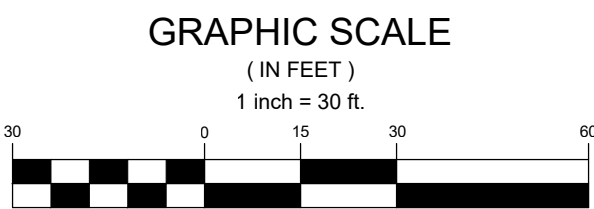
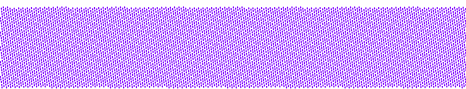
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EXHIBIT

SP2.11

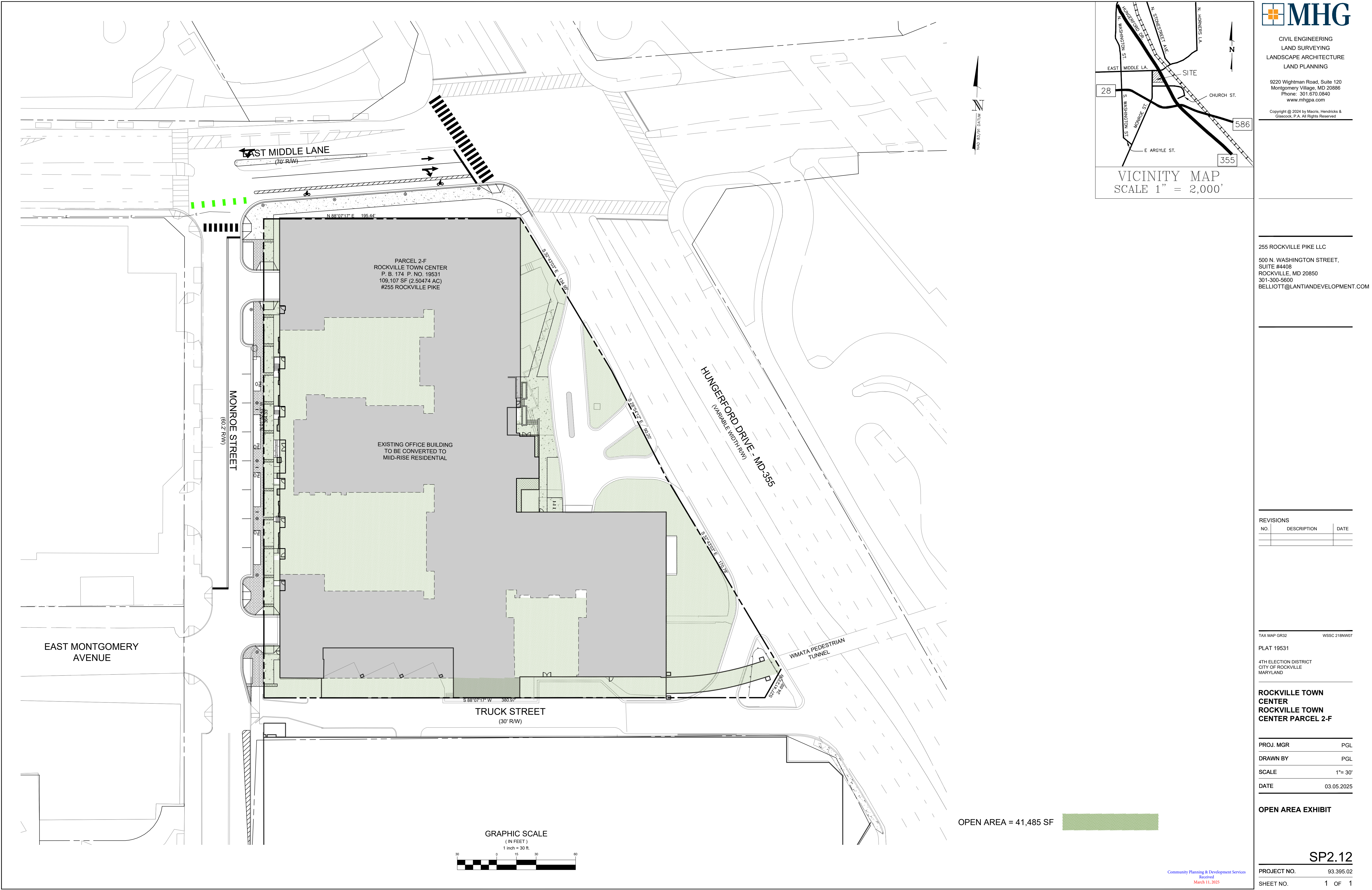
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SHEET NO.	1 OF 1

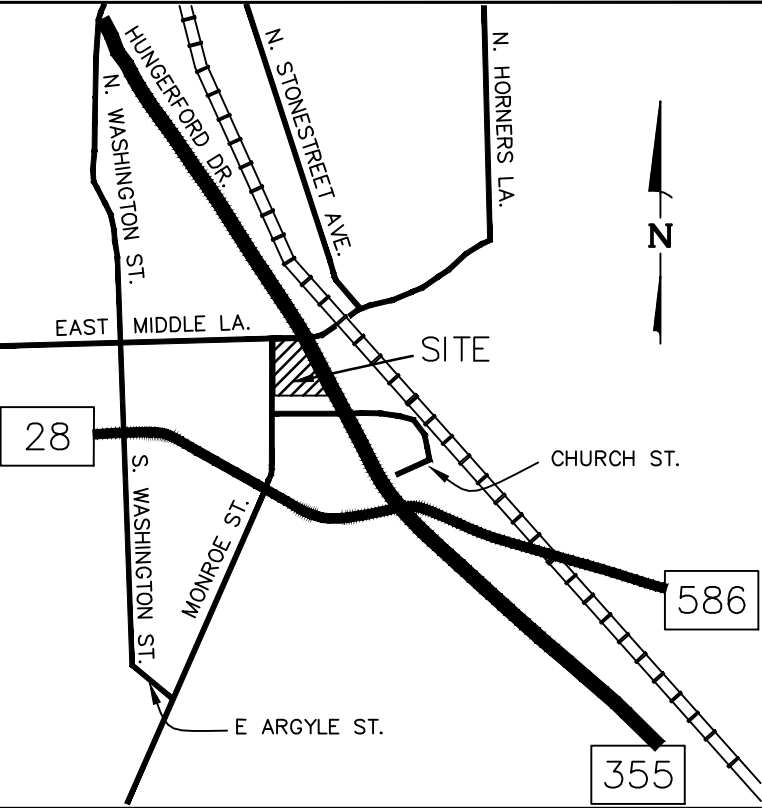
Community Planning & Development Services
Received
March 11, 2025

PUBLIC USE SPACE = 13,860 SF



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VICINITY MAP
SCALE 1" = 2,000'

LEGEND

- APPARATUS ACCESS MOVEMENT
- OPERATIONAL BAY 50 X 20' MIN
- 15' CLEAR AND WALKABLE GRADE AROUND BUILDING
- MAIN EXTERIOR DOORS
- ACCESS PATH LENGTH

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PLAT 19531

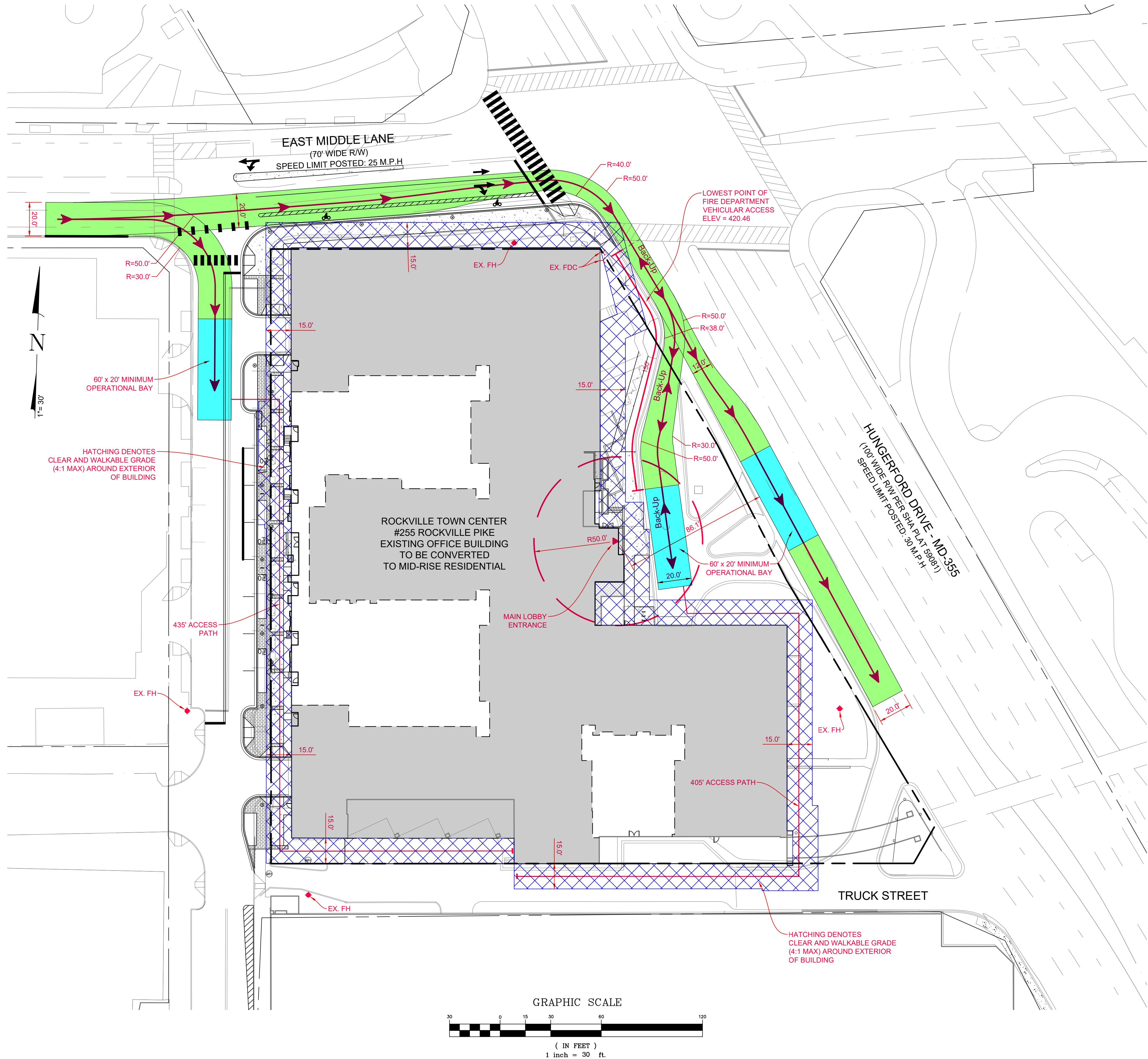
4TH ELECTION DISTRICT
CITY OF ROCKVILLE
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ROCKVILLE TOWN
CENTER
ROCKVILLE TOWN
CENTER PARCEL 2-F

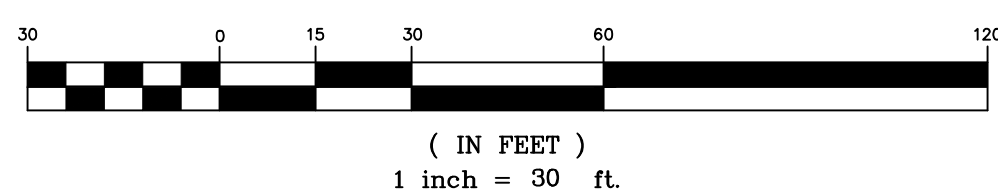
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DRAWN BY	JDP
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DATE	03.06.2025

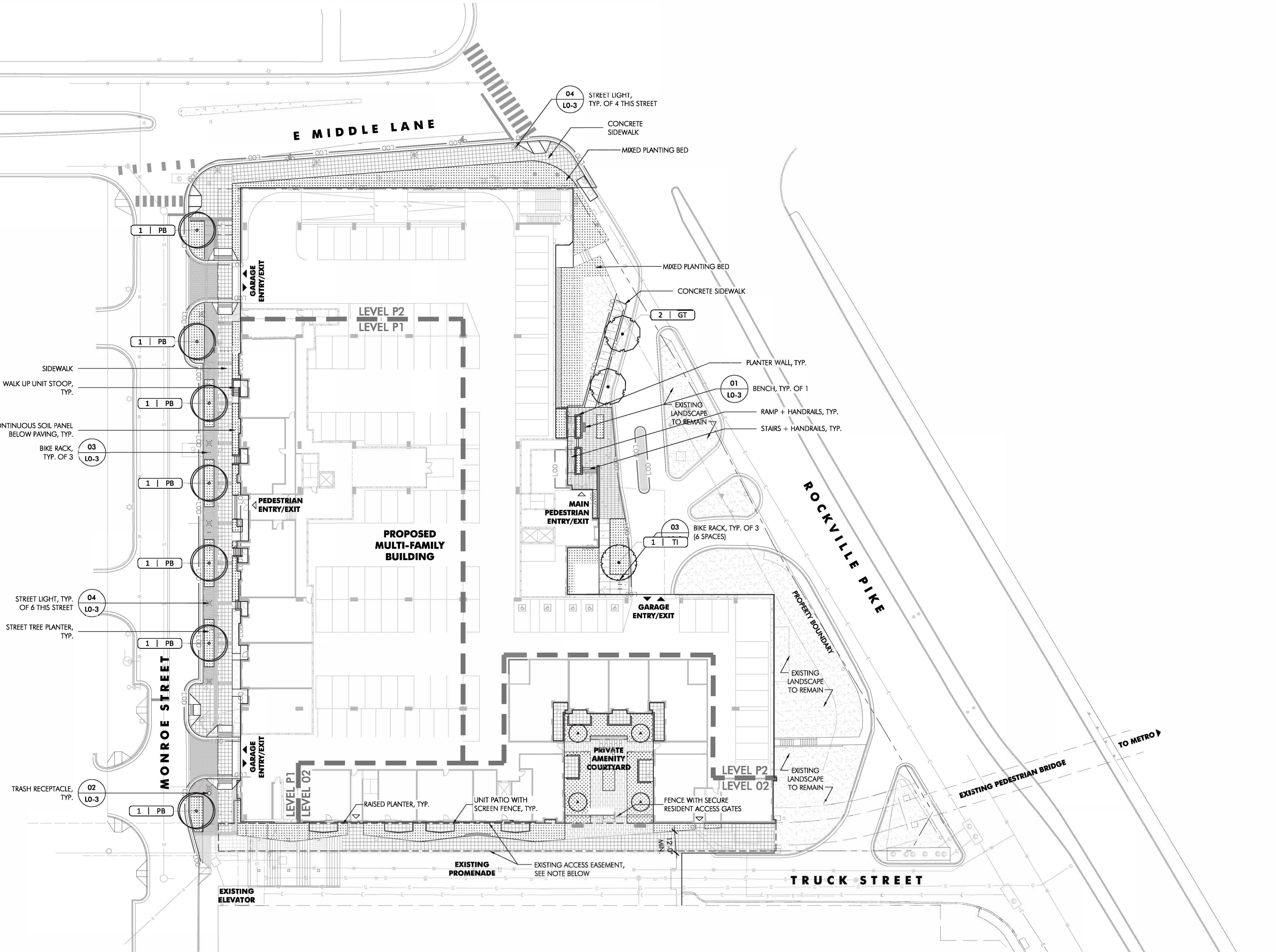
FIRE DEPARTMENT
SITE PLAN

PROJECT NO.	93.395.02
SHEET NO.	1 OF 1



GRAPHIC SCALE





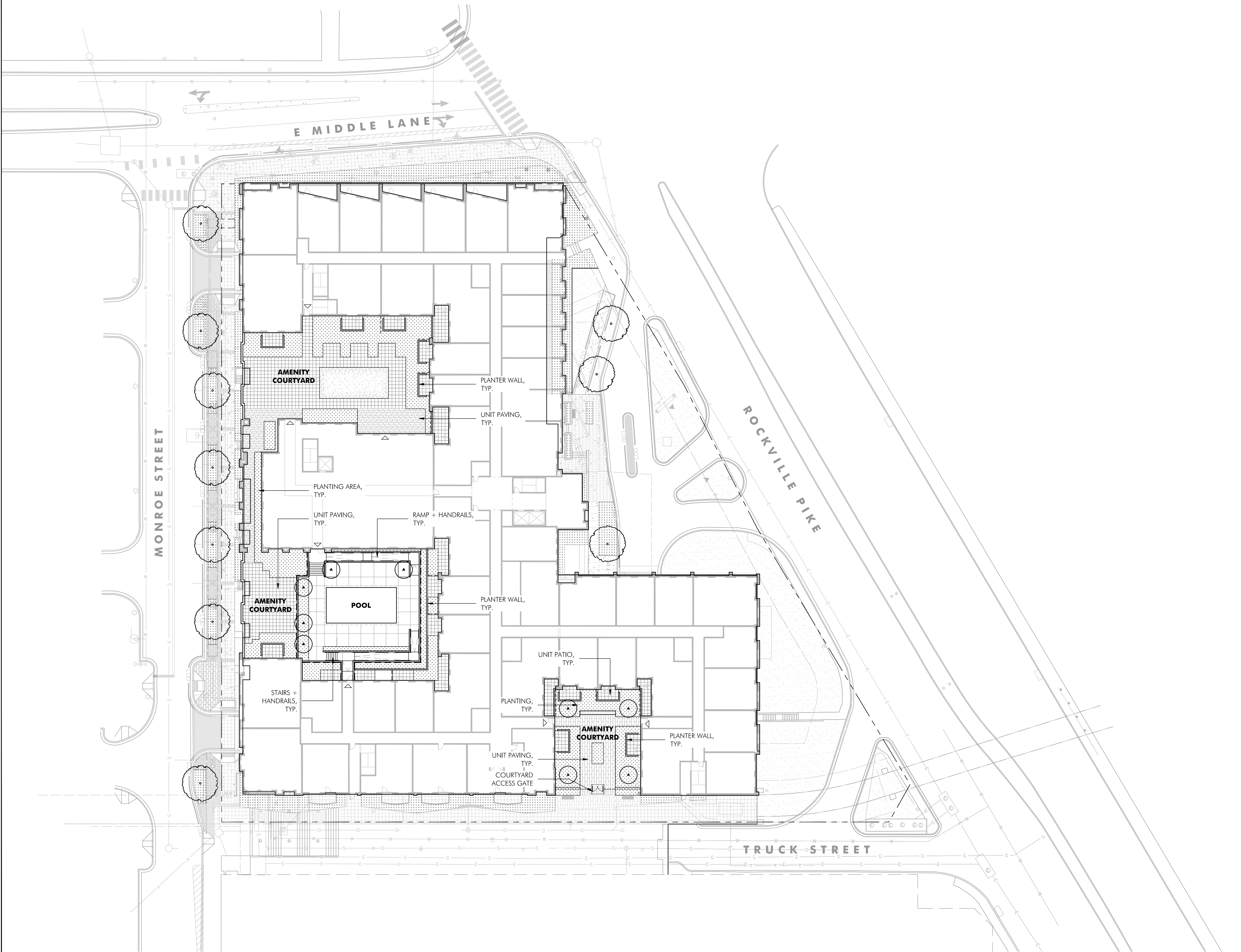
01 LANDSCAPE PLAN - GROUND LEVEL
1"=30'-0"



QTY	KEY	BOTANICAL NAME	COMMON NAME
CANOPY TREES			
7	PA	<i>Platanus x acerifolia</i> 'Bloodgood'	London Planetree
3	GT	<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust
ORNAMENTAL TREES			
	CA	<i>Carpinus caroliniana</i>	Ironwood
	CC	<i>Cercis canadensis</i>	Eastern Redbud
	MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia
EVERGREEN TREES			
	JT	<i>Juniperus virginiana</i> 'Taylor'	Taylor Red Cedar
SHRUBS			
	AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry
	AM	<i>Aronia melanocarpa</i> 'UCONNAMI165'	Low Scape Black Chokeberry
	HA	<i>Hydrangea arborescens</i>	Smooth Hydrangea
	IB	<i>Ilex glabra</i> 'LEXFARROWTRACEY'	Strongbox Inkberry
	IR	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry
	IT	<i>Itea virginica</i> 'Little Henry'	Little Henry Sweetspire
	JG	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper
	RN	<i>Rhododendron nudiflorum</i>	Pinkbloom Azalea
HERBACEOUS			
	ATA	<i>Anemone labranantheana</i>	Blue Star
	ANP	<i>Antennaria plantaginifolia</i>	Pussytoes
	BTI	<i>Baptisia tinctoria</i>	Yellow Wild Indigo
	BGR	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Grama Grass
	CHV	<i>Chrysopsis virginiana</i>	Green and Gold
	CCO	<i>Colocynthis coelestinum</i>	Hardy Agastache
	CVA	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Coreopsis
	DMA	<i>Dryopteris marginalis</i>	Marginal Wood Fern
	CBB	<i>Carex laxiculmis</i> 'Hobb'	Bunny Blue Sedge
	CPE	<i>Carex pensylvanica</i>	Pennsylvania Sedge
	GMA	<i>Geranium maculatum</i>	Wild Geranium
	HEA	<i>Heuchera americana</i>	American Coral Bells
	PSH	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass
	PDI	<i>Pandanus digitatus</i>	Florida Beardtongue
	PAC	<i>Polystichum acrostichoides</i>	Christmas Fern
	SSS	<i>Schizanthus scoparium</i> 'Standing Ovation'	Standing Ovation Little Bluestem
	SAL	<i>Sisyrinchium angustifolium</i> 'Lucerne'	Blue-eyed Grass
	SFP	<i>Solidago rugosa</i> 'Fireworks'	Fireworks Goldenrod

NOTE: PLANTS LISTED ABOVE ARE PRELIMINARY AND ARE INTENDED TO EXHIBIT THE INTENT OF THE PLANTING PALETTE WITH A FOCUS ON LOCALLY AND REGIONALLY NATIVE PLANTS.

02 PLANT SCHEDULE - PRELIMINARY
NOT TO SCALE



form+
configurator

Knight Bench

SBKNI-072BA

Quantity: 1
Weight: 148.30 lbs.
Dimension: 72" L X 22.7" D X 31.1" H
Configuration: Backed
Slat Material: Aluminum with Cast Zinc Endcaps
Slat Finish: Powdercoat, Dark Corten Texture
Frame Material: Solid Aluminum
Frame Finish: Powdercoat Inner Surfaces, Dark Grey Metallic Texture
Polished Edges And Clear Top Coat
Armrests: Two (External) / One (Intermediate)
Mounting: Surface Mount



SPECIFICATION SHEET

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Smart Code: SBKNI-72-B-ALS-PC/DC/IALF-PC/DGM-3A-SFM

Page 1 of 1 | Rev 12-18-24

01 BENCH
NOT TO SCALE



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02 TRASH + RECYCLING RECEPTACLE
NOT TO SCALE

form+
configurator

Eleven Bike Rack

SKELE

Quantity: 1
Weight: 36.40 lbs.
Dimension: 24.8" L X 3.3" D X 44.4" H
Tube Material: Stainless Steel
Short Tube Finish: Radial Satin with Ceramloc Treatment
Tall Tube Material: Powdercoat, Dark Grey Metallic Texture
Top Plate Material: Stainless Steel
Top Plate Finish: Satin
Mounting: Cast-in-place



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Smart Code: SKELE-SSSTAT-PC/DGM-SSST-SATCIP

Page 1 of 1 | Rev 12-18-24

03 BIKE RACK
NOT TO SCALE

MANUFACTURER: FORMS+SURFACES
MODEL: SBKNI-072BA
MATERIALS: ALUMINUM
FINISH: POLYESTER POWDERCOAT
COLOR: PER SPECIFICATION SHEET
OPTIONS: THREE ARM RESTS

OR APPROVED EQUAL

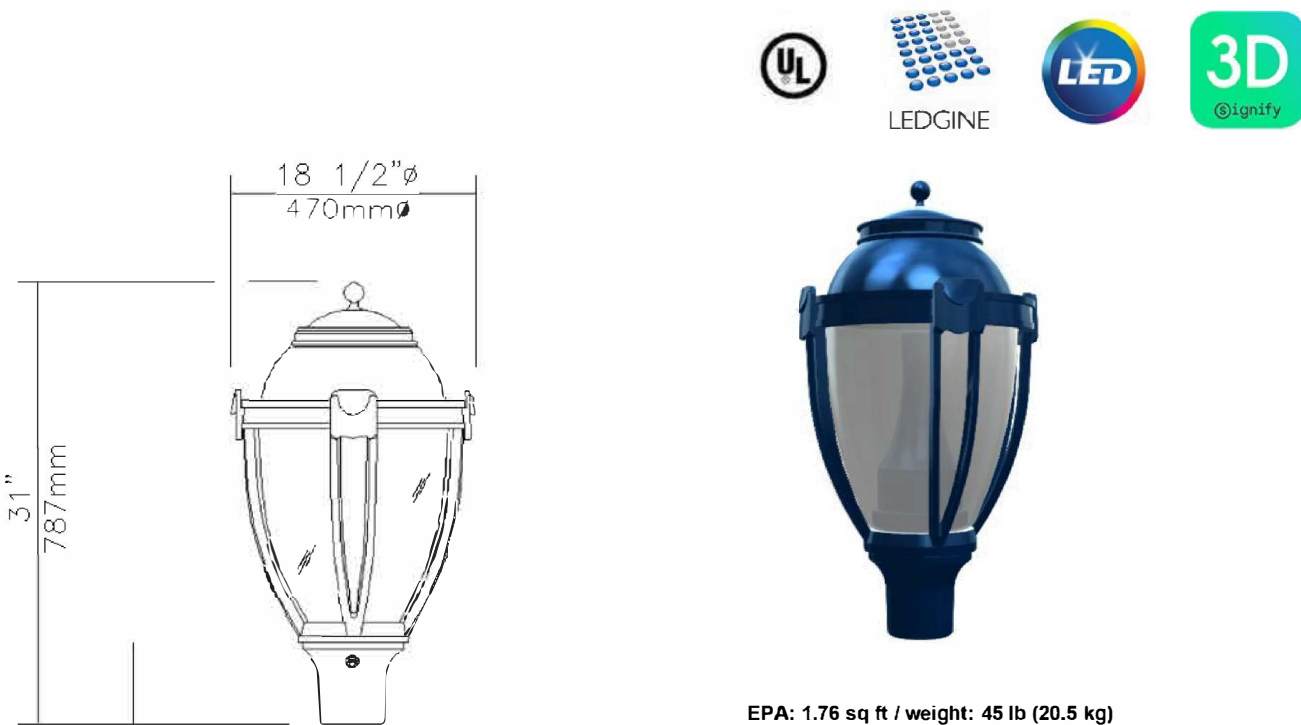
MANUFACTURER: VICTOR STANLEY
MODEL: SD-45
MATERIALS: RECYCLED SOLID STEEL BAR
FINISH: POLYESTER POWDERCOAT
COLOR: BLACK SATIN
OPTIONS: RAIN BONNET LID, KEYED LOCKING MECHANISM, SELF CLOSE DOOR

OR APPROVED EQUAL

MANUFACTURER: FORMS+SURFACES
MODEL: SKELE
MATERIALS: STAINLESS STEEL
FINISH: PER SPECIFICATION SHEET
COLOR: PER SPECIFICATION SHEET
OPTIONS: CAST-IN-PLACE MOUNTING

OR APPROVED EQUAL

City of Rockville Maryland (Reference=L83273-3)



EPA: 1.76 sq ft / weight: 45 lb (20.5 kg)
Note: 3D image may not represent color or option selected.
Logos above include link, click to access.

Table with 2 columns: Qty, 1; Luminaire, L80-55W32LED3K-G3-PC-CS-LE3-120-DMG-SF80-PH7-GN8TX

Description of Components:

Finial: Decorative cast 356 aluminum, mechanically assembled.

Roof: A spun aluminum dome, mechanically assembled to the cast aluminum heat sink.

Guard: In a round shape with 4 arms, this guard is a one-piece cast 356 aluminum mechanically assembled to the fitter.

Access-Mechanism: A gravity die cast 356 aluminum frame with latch and hinge. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofing.

Heat Sink: Made of cast aluminum optimising the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).

Globe: (PC-CS), Made of one-piece seamless injection-molded satin clear polycarbonate. The globe is assembled on the access-mechanism.

LED Module: Composed of 32 high-performance white LEDs. Color temperature as per ANSI/NEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.

Optical System: (LE3), IES type III (asymmetrical). Composed of high-performance optical grade PMMA acrylic refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Performance shall be tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. Street side indicated.

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04-30-2024 Page 1 / 5

LUMEC

City of Rockville Maryland (Reference=L83273-3)

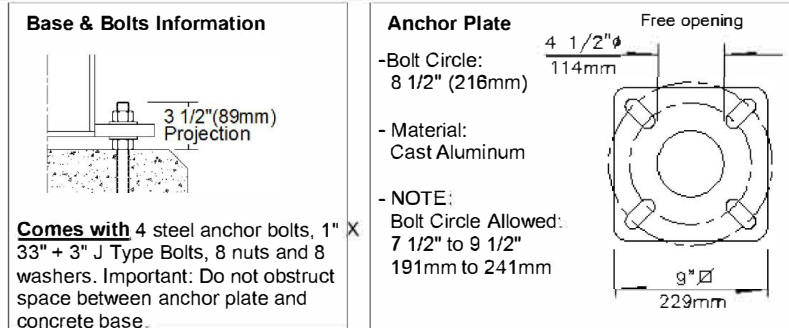


Table with 2 columns: Qty, 1; Pole, RTA400F-12-GN8TX

Description of Components:

Pole Shaft: Shall be made from a mandrel-formed aluminum tapered shaft, 12 fluted round, having a 0.125" (3.2mm) wall thickness, welded to both the bottom and top of the anchor plate

Maintenance Opening: The pole shall have a 3" x 5" (76mm x 127mm) maintenance opening centered 10" (254mm) from the bottom of the anchor plate, complete with a weatherproof cover and a copper ground lug.

Base Cover: Two piece round base cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.

Note: A tenon will be provided when the luminaire or bracket does not fit directly on pole shaft. Tenon not shown on the drawing.

IMPORTANT: Lumec strongly recommends the installation of the complete lighting assembly with all of its accessories upon the anchoring of the pole. This will ensure that the structural integrity of the product is maintained throughout its lifetime.

Pole Weight: 23 lbs (10.5 kg)

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04-30-2024 Page 3 / 5

LUMEC

04 STREET LIGHT
NOT TO SCALE

City of Rockville Maryland (Reference=L83273-3)

LED Wattage and Lumen Values: 3000K Contemporary Lantern (L80-L81)

Table with 15 columns: Ordering Code, Total LEDs, System Current (mA), Color Temp, Average System Wattage (W), Delivered Lumens, Efficacy (lm/W), BUG Rating, Delivered Lumens, Efficacy (lm/W), BUG Rating, Delivered Lumens, Efficacy (lm/W), BUG Rating, Delivered Lumens, Efficacy (lm/W), BUG Rating. Rows include L80-30W1LED8K-G3, L80-30W3LED8K-G3, L80-40W1LED8K-G3, L80-40W3LED8K-G3, L80-55W32LED3K-G3, L80-70W4LED8K-G3, L80-70W3LED8K-G3, L80-80W4LED8K-G3.

LED Wattage and Lumen Values: 4000K Contemporary Lantern (L80-L81)

Table with 15 columns: Ordering Code, Total LEDs, System Current (mA), Color Temp, Average System Wattage (W), Delivered Lumens, Efficacy (lm/W), BUG Rating, Delivered Lumens, Efficacy (lm/W), BUG Rating, Delivered Lumens, Efficacy (lm/W), BUG Rating, Delivered Lumens, Efficacy (lm/W), BUG Rating. Rows include L80-30W1LED8K-G3, L80-30W3LED8K-G3, L80-40W1LED8K-G3, L80-40W3LED8K-G3, L80-55W32LED3K-G3, L80-70W4LED8K-G3, L80-70W3LED8K-G3, L80-80W4LED8K-G3.

Actual performance may vary due to installation variables including particle, mounting/hoisting height, dirt accumulation, light loss factor, etc; highly recommended to confirm performance with a layout - contact Applications at outdoorlightingapplications@lumec.com.

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04-30-2024 Page 5 / 5

LUMEC

MANUFACTURER: LUMEC
MODEL: L80
OUTPUT: 4940lm
COLOR TEMP: 3000K
OPTICS: TYPE 5
BUG RATING: B3-U3-G1
MATERIALS: CAST ALUMINUM/POLYCARBONATE
FINISH: POLYESTER POWDERCOAT
COLOR: FEDERAL GREEN
MOUNTING HEIGHT: 13 FT. 8 IN.
POLE: 12 FT. HEIGHT FIBERGLASS POLE BY WHATLEY

OR APPROVED EQUAL

255
ROCKVILLE
PIKE

CITY OF ROCKVILLE, MARYLAND

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KEY PLAN



REVISIONS

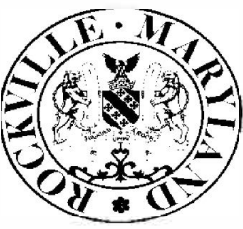
SITE PLAN 1 12.20.2024

SITE PLAN 2 03.05.2025

Table with 2 columns: Revision number, Description. Rows 1 through 10.

LANDSCAPE
DETAILS

L0-3



Planting Notes for Landscape Plans

NOVEMBER 2019

INSTALLATION OF PLANT MATERIAL

- The Permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown the FCP/Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from supplier by the project start date.
 - A pre-planting meeting is required before installation of landscaping, afforestation, or reforestation. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees must include the Permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1).
 - Comply with appropriate City Soil Specification:
 - Soil Specification FOR TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED¹
 - Site preparation
 - Demolish existing impervious surface and remove all existing asphalt, concrete, stone and construction materials to expose subsoil free of debris.
 - Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.
 - Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation.
 - Test to ensure that planting bed drains at a rate of at least 1 inch/per hour.
 - Install imported soil to fill excavated planting bed. Imported soil shall have a texture of LOAM, per the USDA soil classification system and a chemical composition compatible with healthy tree growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering (not both) between lifts to minimize potential settling.
 - Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 5.5 and 7 and a nutrient content which corresponds to an adequate rating, per current industry standards. Amend soil, if necessary, to achieve the current industry standard.
 - The Forestry Inspector may require additional soil specifications, based on site conditions.
 - Soil Specification FOR PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.
 - Site Preparation:
 - Remove all construction debris and top four to six inches of existing soil.
 - Test remaining existing soil to verify a pH range between 5.5 and 7, and has a nutrient content which corresponds to an adequate rating, per current industry standards.
 - Apply four (4) inches of mature compost evenly over the entire planting surface. (4" = 12 Cubic Yard/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
 - Till the compost into the existing soil to a minimum depth of thirty-six (36) inches using the city's soil profile rebuilding specification.
 - If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.
 - The Forestry Inspector may require additional soil specifications, based on site conditions.
 - Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved City of Rockville Detail A-7
- Test existing soil to verify it has a pH range between 5.5 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil.
 - Option 1 – Till Method- Depth of tilling for planting must be at least twenty-four (24) inches:
 - Apply four (4) inches of mature compost evenly over the entire planting surface (4" = 12 cubic yards/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
 - Till the compost into the existing soil to a minimum depth of twenty-four (24") inches.
 - Option 2 – Aeration and Vertical Mulching
 - Using a 2- 3" Auger, drill a series of holes in the soil to a depth of twenty-four (24) inches.
 - Begin at the edge of the hole dug for the root ball and continue drilling at one-foot intervals (maximum), in concentric rings around the tree out to ten (10) feet from the tree.
 - Each hole must be refilled with mature compost.
 - The Forestry Inspector may require additional soil specifications, based on site conditions.
 - Soil testing of the existing soil may be conducted with PRIOR approval from the City's Forestry Inspector to determine the number and location of the samples. The above requirements may be reduced if soil testing shows the following:
 - Soil pH is between 5.5 and 7
 - The top 24" of existing soil contains a minimum of 4-6% organic matter by weight
 - The soil is free of contaminants
 - The soil texture is sandy loam or loam
 - The soil has an infiltration rate not less than 1" per hour
 - The soil does not contain debris or stones greater than one inch
 - The soluble salt content is less than 3 dS/m
 - Consult the University of Maryland Extension website: <http://extension.umd.edu/> for a listing of commercial soil testing facilities.
 - Soil preparation is required for street trees planted within the city's rights-of-way and private street trees, if they are part of the approved plan.
 - The depths and grades shown on plan drawings are final grades after settlement and shrinkage of the organic material. The contractor shall install the soil mix at a higher level to anticipate this reduction of volume. All grades are assumed to be "as measured" to be prior to the addition of any surface compost till layer or mulch or sod.
 - All details of the planting plans regarding plant quality and proper planting will be discussed including but not limited to:
 - Plant quality.
 - Proper form for species.
 - Proper ratio of caliper size/height to container size/root ball size.
 - Proper pruning cuts if applicable in accordance with current ANSI A300 pruning standards (generally there should be no recent pruning).
 - No co-dominant stems or multiple trunks (unless approved by FCP or by The Forestry Inspector).
 - Sound graft union.
 - Free of girdling roots, or the ability to remove girdling roots without damaging the tree.
 - Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage.
 - Proper Installation
 - Root flare no higher than 3 inches from existing grade.
 - Exposed root flare (not graft); removing more than several inches of soil to expose the root flare may result in the rejection of the plant material.
 - Wire baskets/twine/burlap removed from at least the top half of root ball, or as directed by Forestry Inspector.
 - All burlap or twine removed completely.
 - No hose and wire; staking and strapping per City planting detail.
 - Planting Hole a minimum of twice the width of the root ball; could be greater. Planting detail assumes soil has been prepared per the city's specifications (Planting, #3).
 - Mulched properly, per City planting detail.
 - Wildlife protection installed, if required; type approved by the Forestry Inspector.
 - Trees not complying with the above requirements may be rejected at the discretion of the City Forestry Inspector.
 - Tree planting will generally not be permitted between the dates of June 1 and September 1, or when the ground is frozen.
- ## DEFINITIONS
- Topsoil
 - Soil can be considered topsoil if it originates from an A horizon of a natural soil or is a mineral soil with 4-6% organic matter content, and a NRCS textural class similar to pre-development conditions A horizon soils for the site, or as specified by the City Forestry Division. The city Forestry Division will specify a LOAM texture in the absence of native conditions listed above. Blended soils shall not be used unless specified by the City Forestry Division. In addition, topsoil shall:
 - Be friable and well drained
 - Have a pH between 5.5-7.
 - Have an organic matter content between 4-6%.
 - Have low salinity as indicated by a soluble salt content which is less than 3 dS/m
 - Be free of debris, stone, gravel, trash, large sticks, heavy metals, and other deleterious contaminants, (if screening is used to remove debris, screen size must be ¼ inch or larger).
 - Have a nutrient profile such that it has an adequate rating, per current industry standards.
 - Be free of noxious weed seeds
 - Compost
 - Compost shall be composed of leaves, yard waste, or food waste. Biosolid-based composts shall not be used. A compost sample with analysis shall be submitted for approval to the City Forestry Division before application.
 - Stability refers to the rate of biological breakdown, measured by carbon dioxide release. Maturity refers to completeness of the aerobic composting process and suitability (lack of plant toxicity) as a plant growth media, often measured by ammonia release and by plant growth tests. Compost manufacturers that subscribe to the US Composting Council's testing program may document stability as compost testing 7 or below in accordance with TMECC 05.08-B, "Carbon Dioxide Evolution Rate". Maturity (suitability for plant growth) may be documented as compost testing greater than 80% in accordance with TMECC 05.05-A, "Germination and Vigor". Compost is considered mature and stable if it tests at 6.0 or higher on the Solvita Compost Maturity Index Rating, which is a combination of Carbon Dioxide and Ammonia Maturity Tests (test information and equipment available at www.solvita.com).
 - Compost shall also be:
 - Free of weed seeds.
 - Free of heavy metals or other deleterious contaminants.
 - Have a soluble salt content which is less than 3 dS/m.
 - Severely Degraded Soil
 - Soil shall be considered severely degraded if grade was lowered or raised more than 14 inches OR soil was compacted in lifts regardless of the final grade OR was used as a staging area for construction materials, equipment or processes.

¹ See definitions section #9

CITY OF ROCKVILLE, MARYLAND

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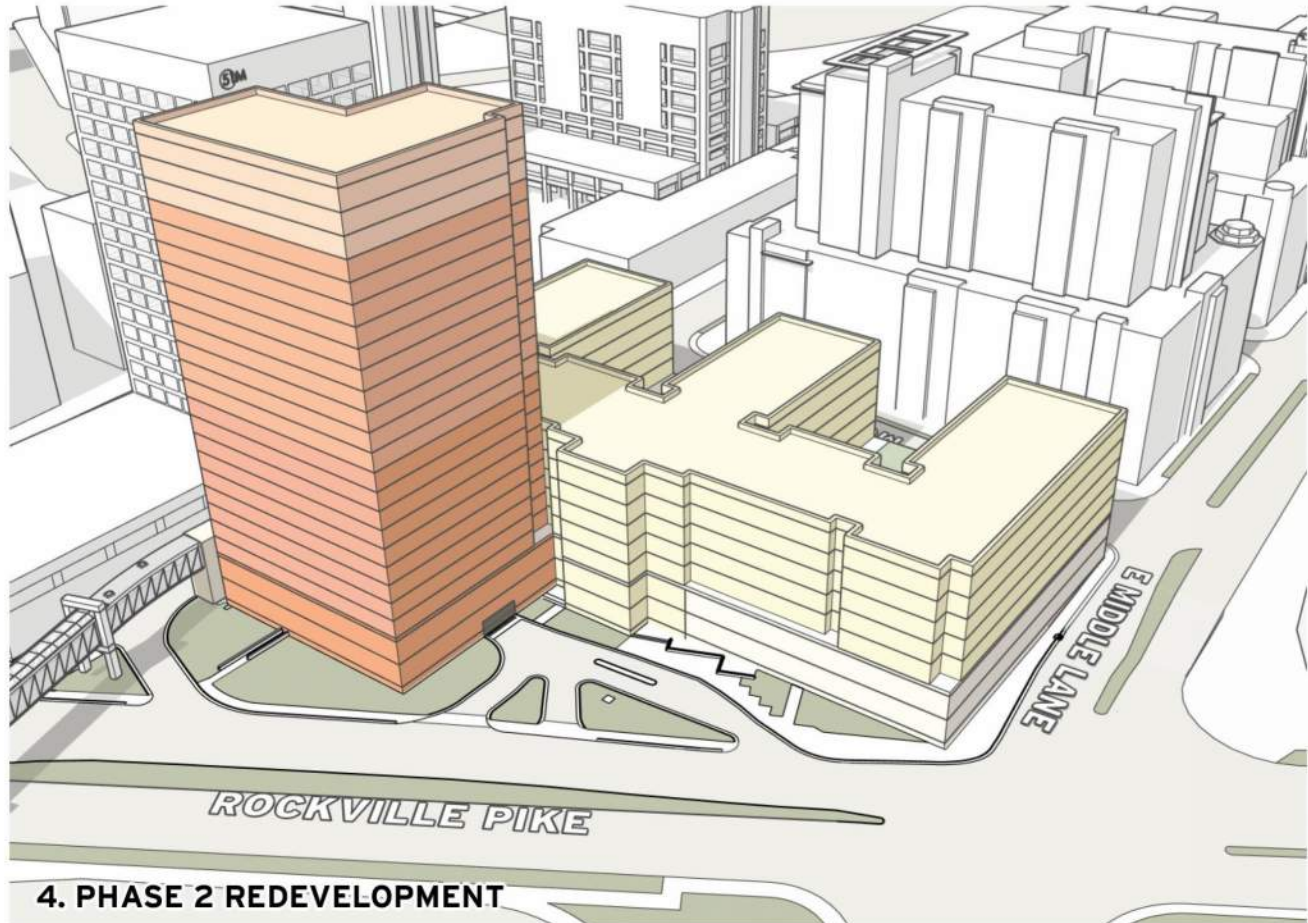
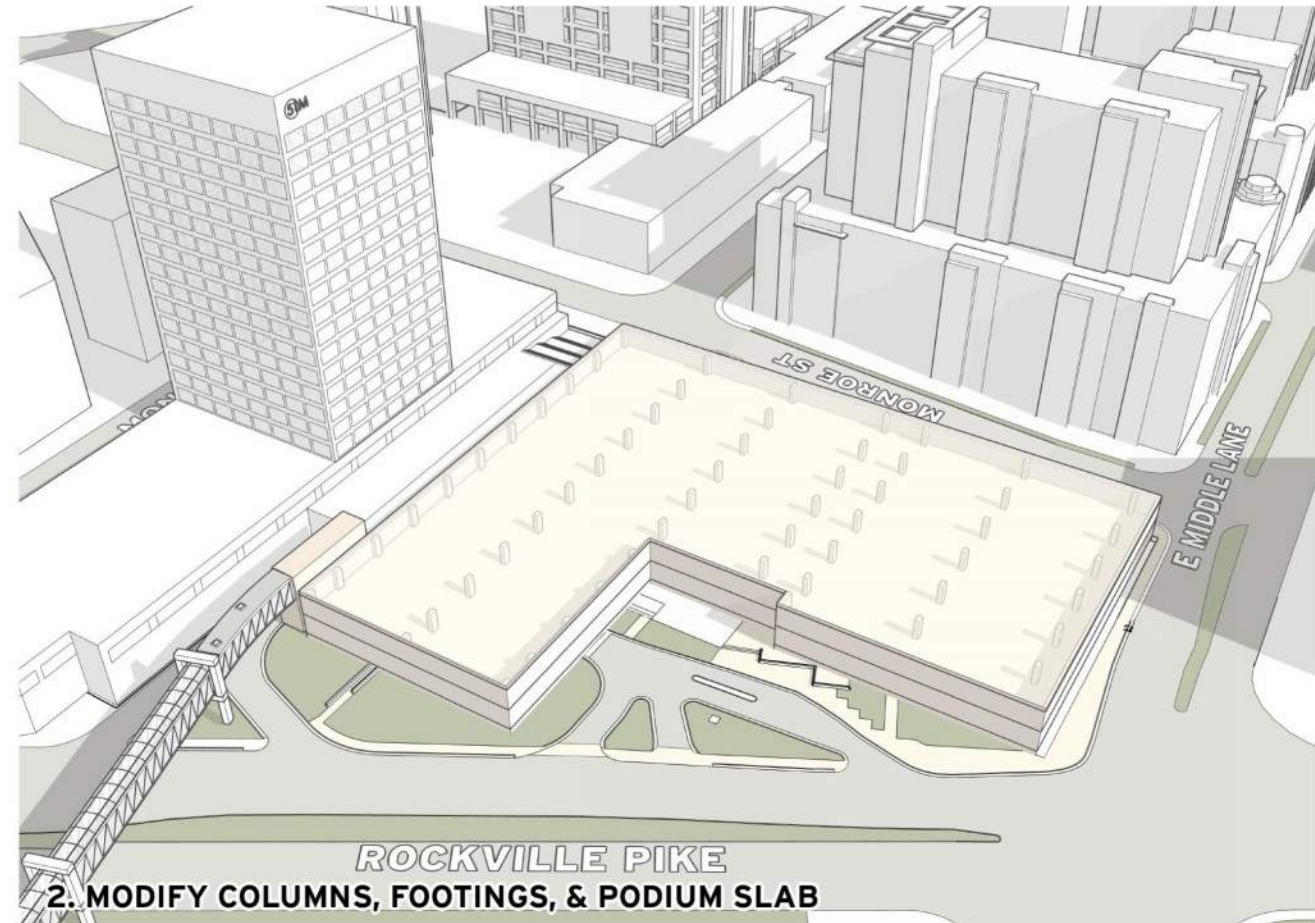
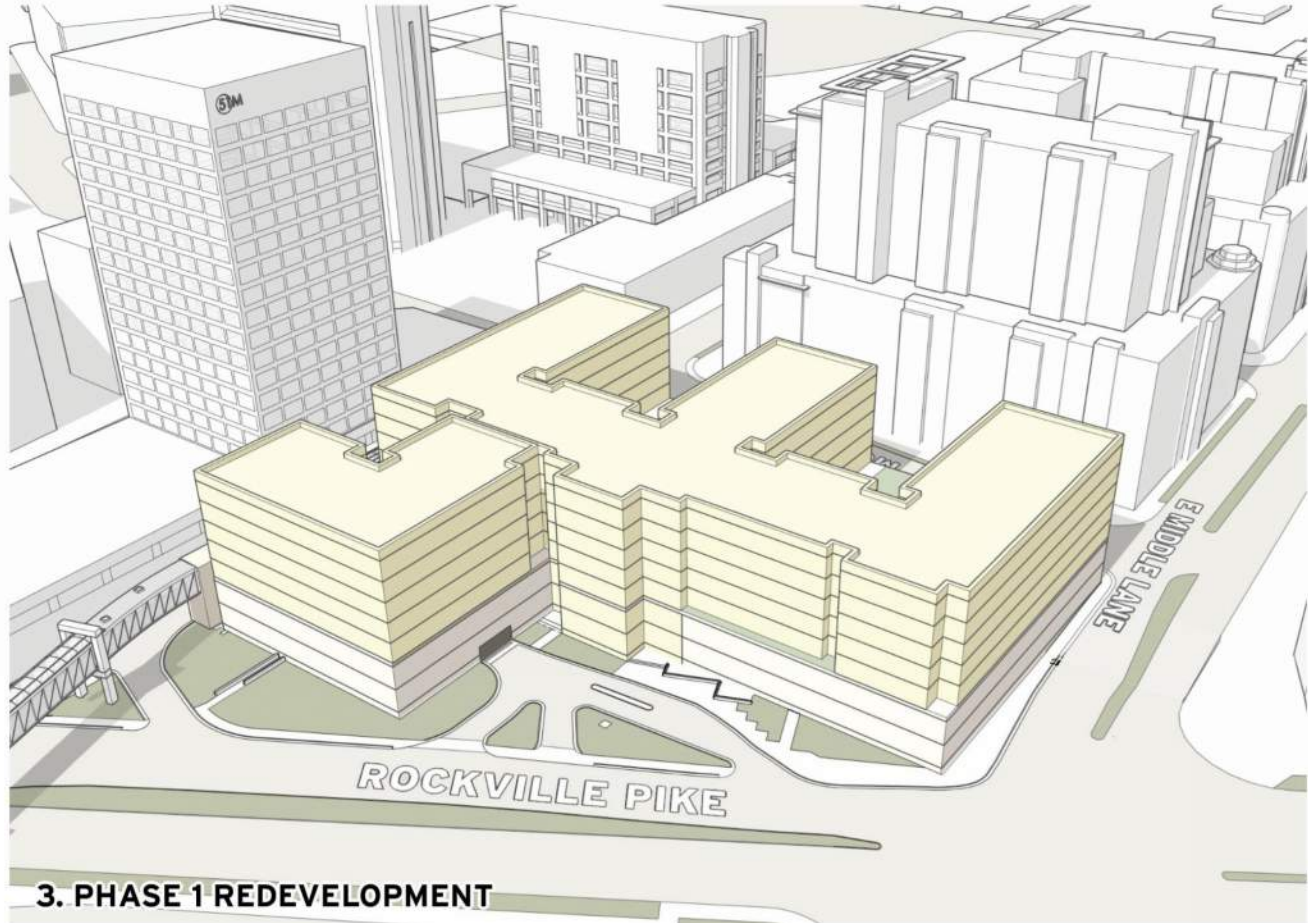
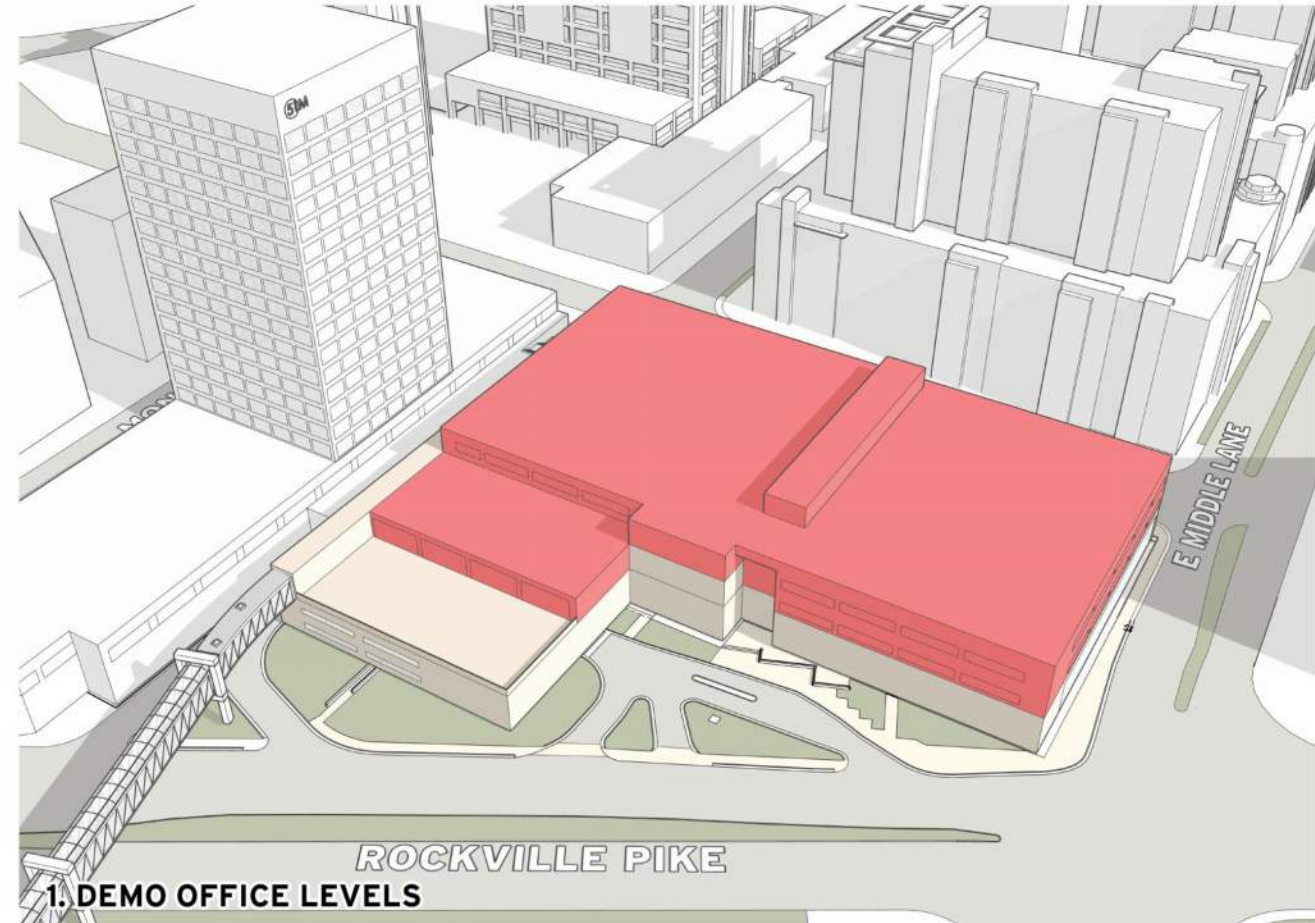
KEY PLAN



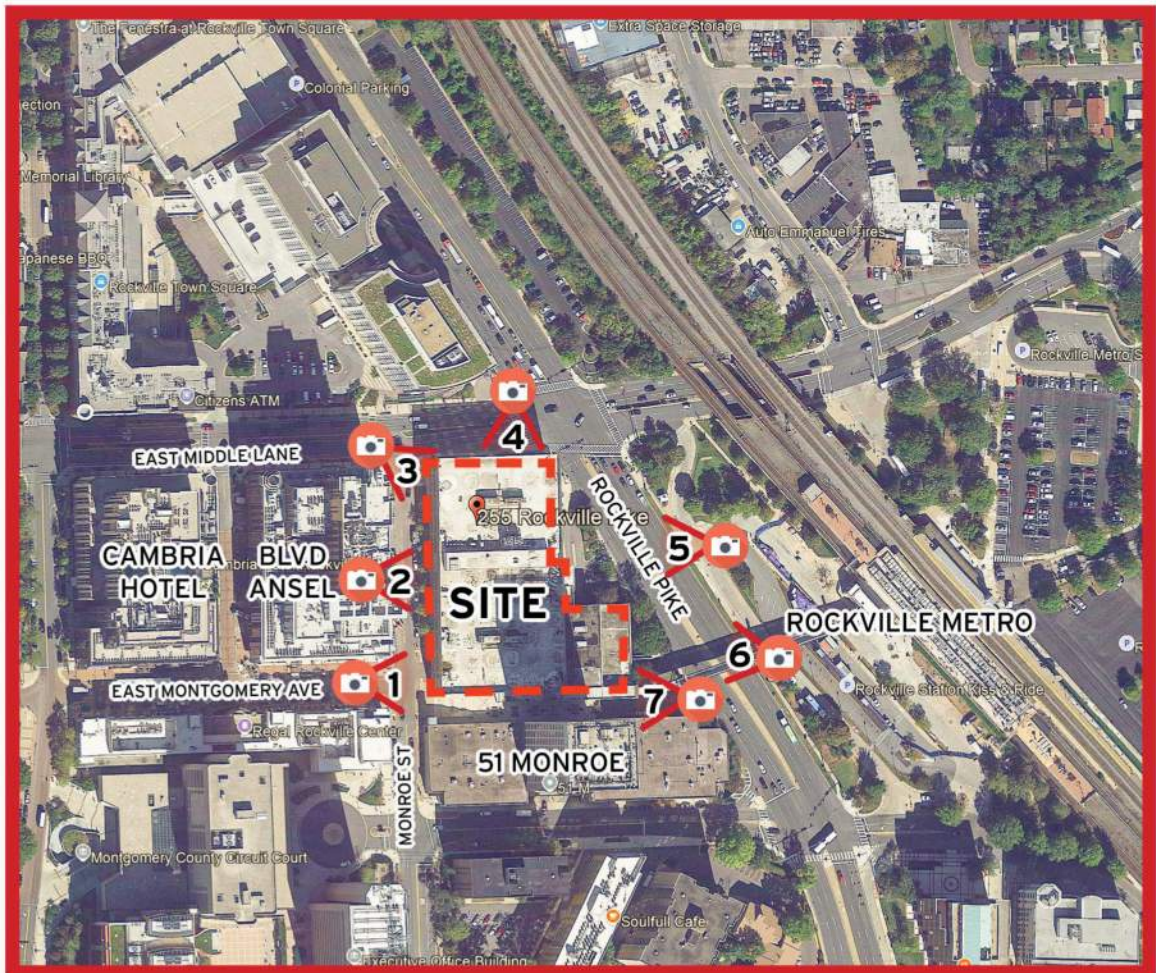
REVISIONS	
SITE PLAN 1	12.20.2024
SITE PLAN 2	03.05.2025

LANDSCAPE NOTES

3/7/2025 7:58:21 AM



C1 Adaptive Re-use Strategy



A1 Existing Conditions Photos

NOTES:
1. ADAPTIVE RE-USE EXHIBIT ON THIS PAGE IS FOR ILLUSTRATIVE PURPOSES ONLY.

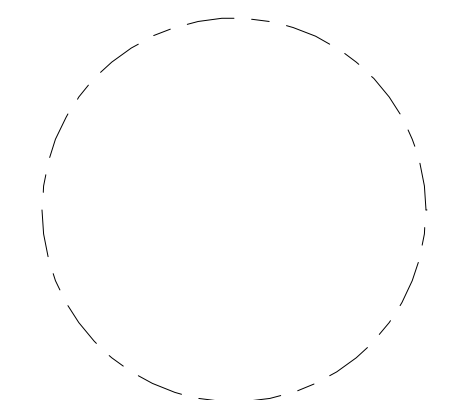
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Rockville, MD 20850

Key Plan

Issue
NO. DATE

Revisions
NO. DATE



Existing Conditions

PRINCIPAL IN CHARGE
N.D.
PROJECT ARCHITECT
J.J.
DRAWN
R.G.
DATE
03/05/2025
SCALE:
APPROVED
N.D.
JOB NO.
23433.00

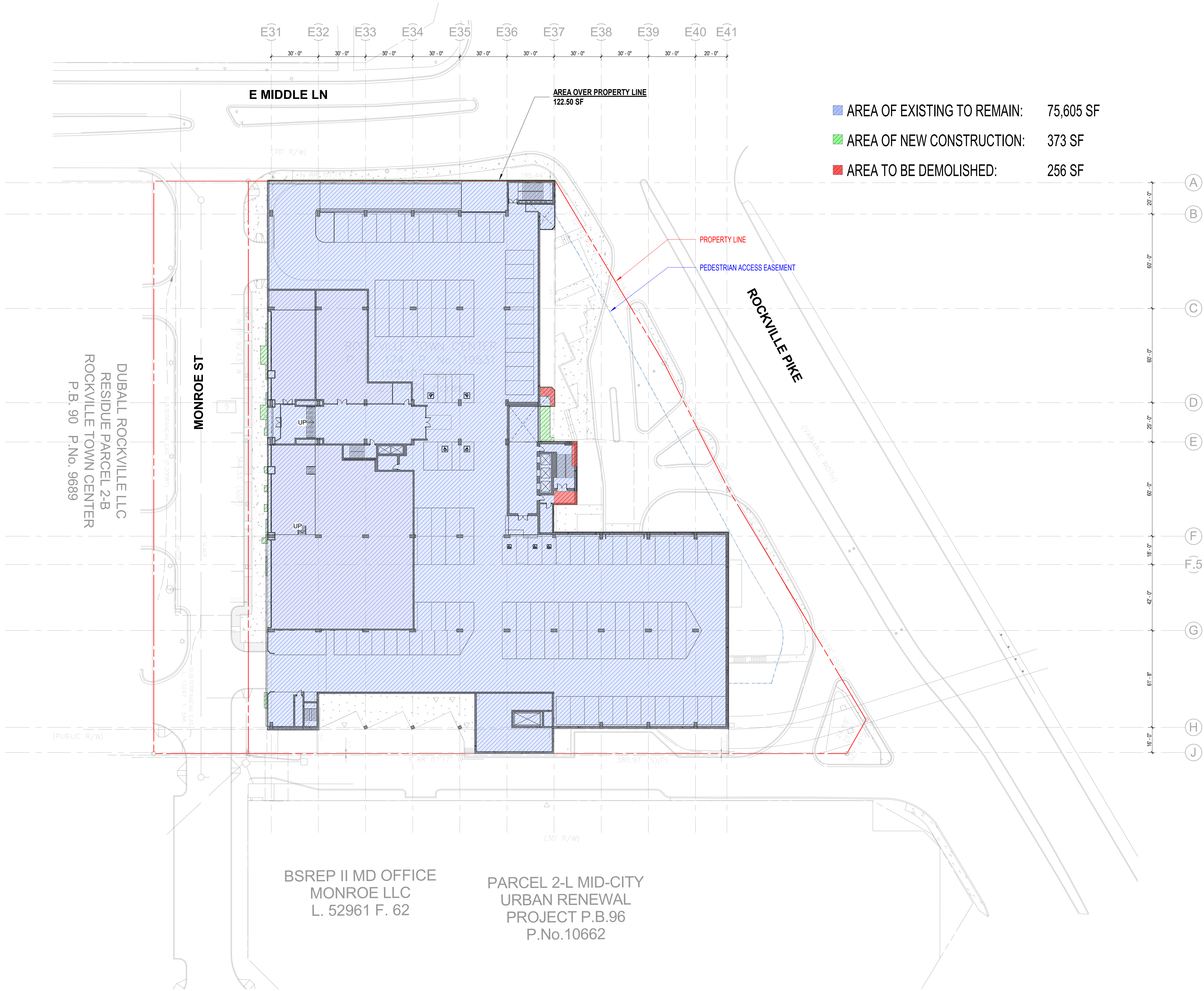
DRAWING NO.
AN-10

SITE PLAN SET - MARCH 5, 2025



A1 P1 Level - New & Demo Area Study

1" = 30'-0"



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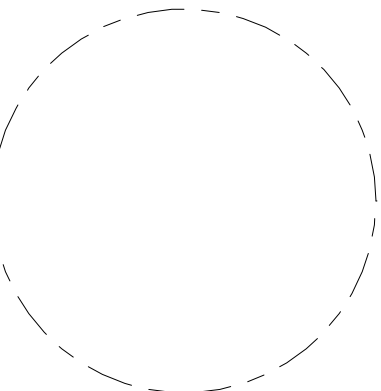
255 Rockville Pike

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Key Plan

Issue
NO. DATE

Revisions
NO. DATE

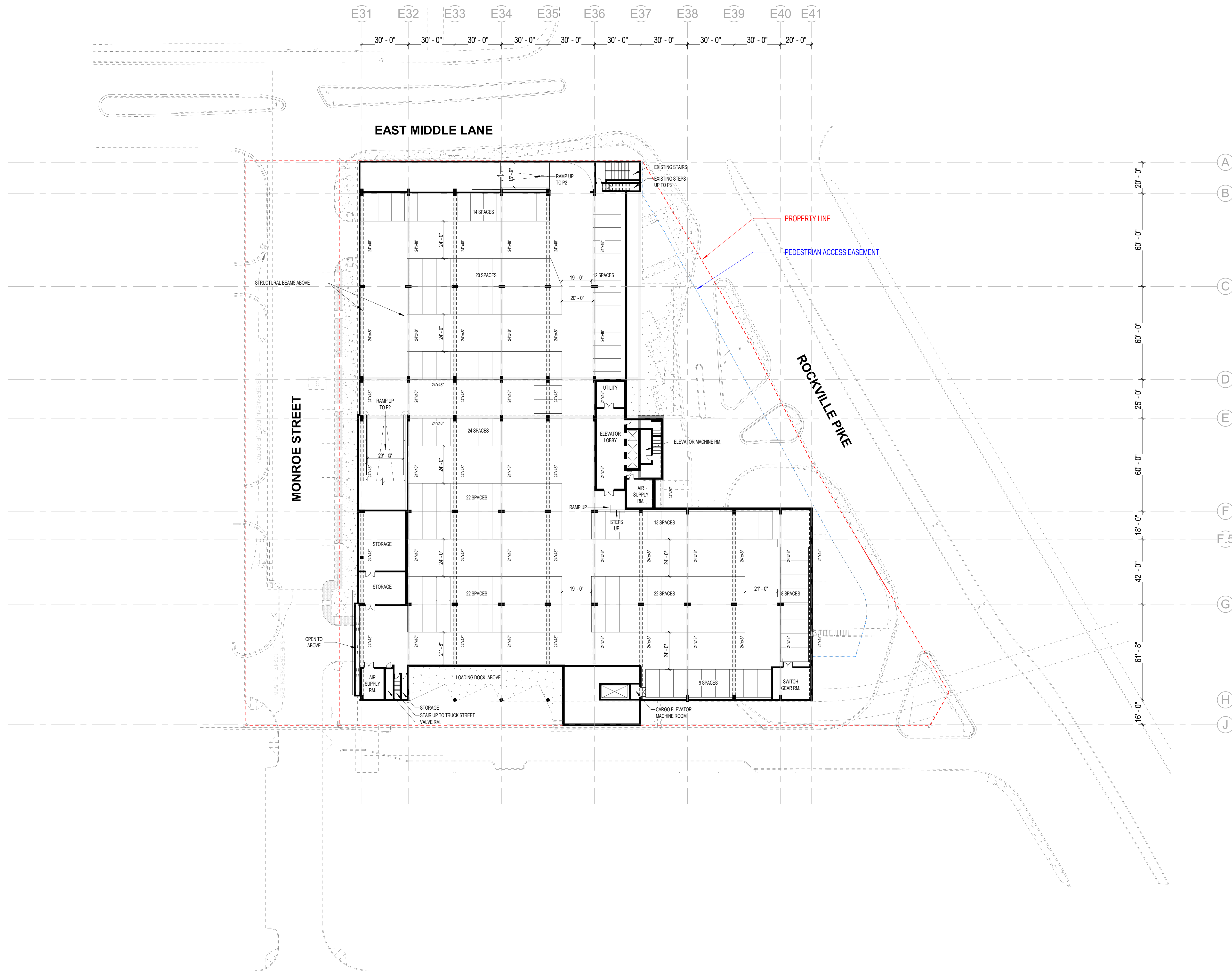


New vs Demo Area Study

PRINCIPAL IN CHARGE N.D.	
PROJECT ARCHITECT J.J.	
DRAWN R.G.	
DATE 03/05/2025	APPROVED N.D.
SCALE: 1" = 30'-0"	JOB NO. 23433.00

DRAWING NO.
AN-12

SITE PLAN SET - MARCH 5, 2025





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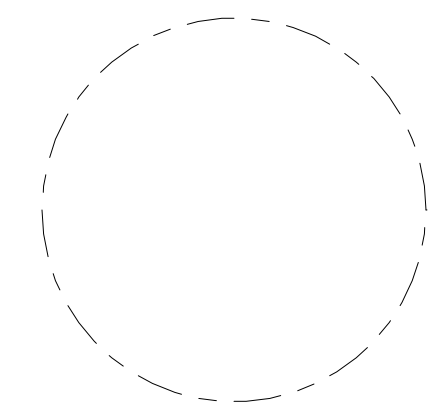
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



Existing P2 Floor Plan

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

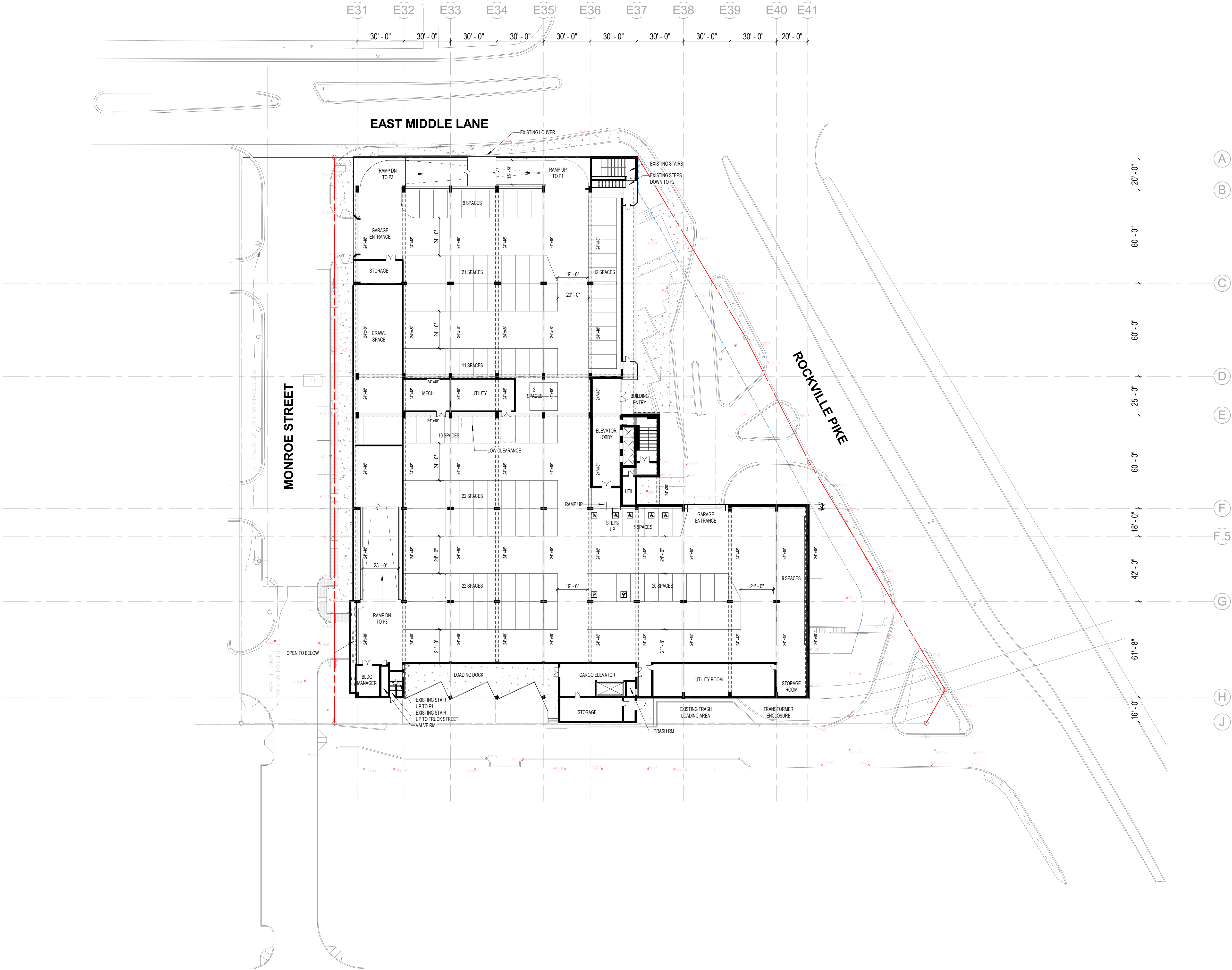
SCALE:
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JOB NO.
23433.00

DRAWING NO.

AN-14

SITE PLAN SET - MARCH 5, 2025



A1 P2 Level Existing

1" = 30'-0"



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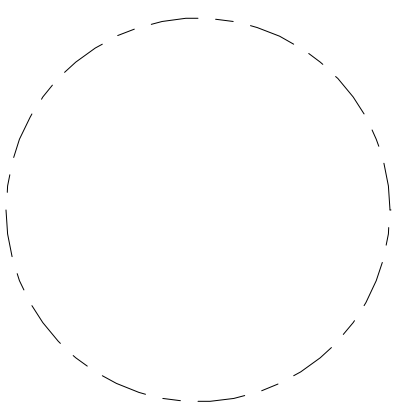
255 Rockville Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Key Plan

Issue
NO. DATE

Revisions
NO. DATE



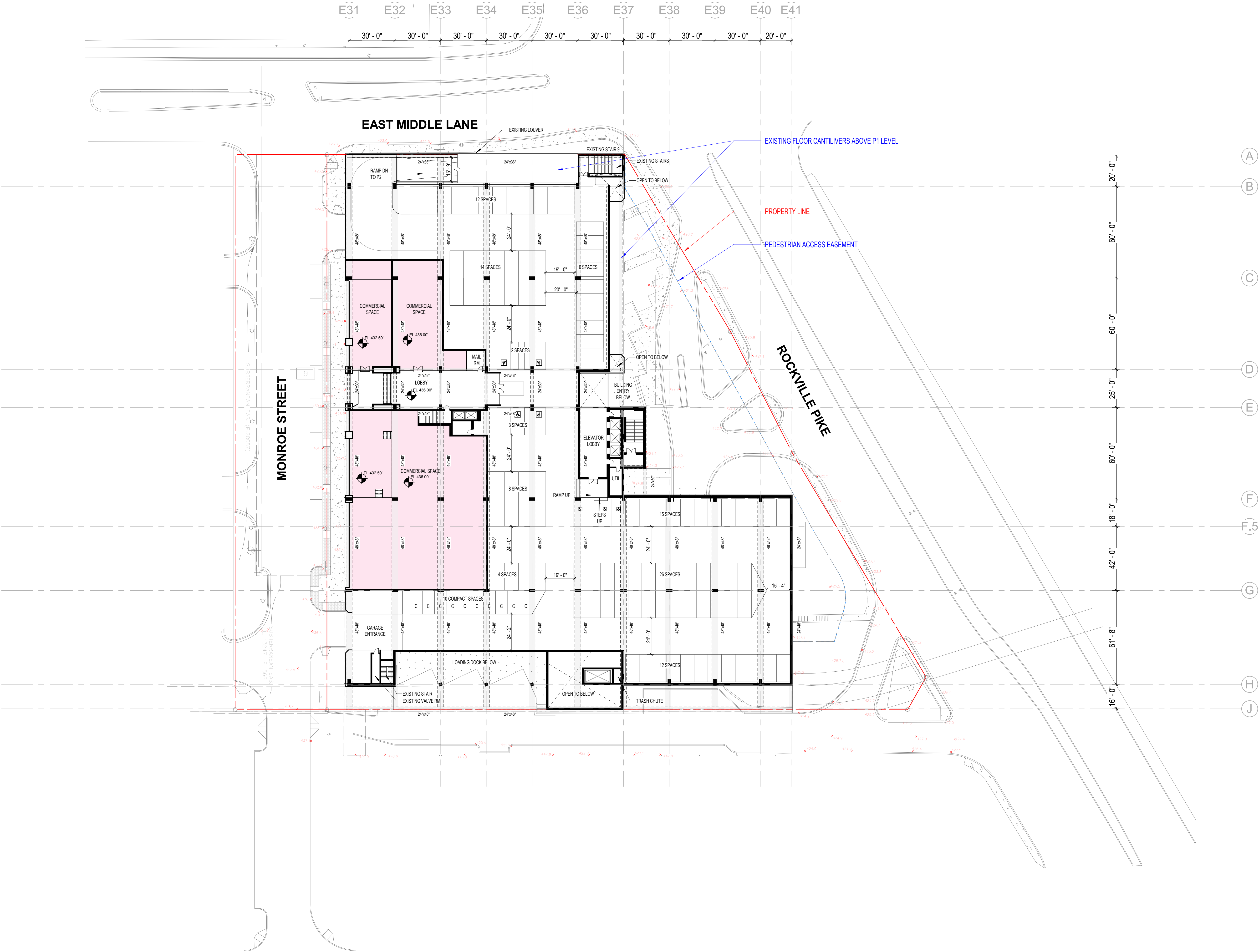
Existing P1 Floor Plan

PRINCIPAL IN CHARGE
N.D.
PROJECT ARCHITECT
J.J.
DRAWN
R.G.
DATE
03/05/2025
SCALE:
1" = 30'-0"

APPROVED N.D.	JOB NO. 23433.00
------------------	---------------------

DRAWING NO.
AN-15

SITE PLAN SET - MARCH 5, 2025



A1 P1 Level Existing
1" = 30'-0"

255 Rockville Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

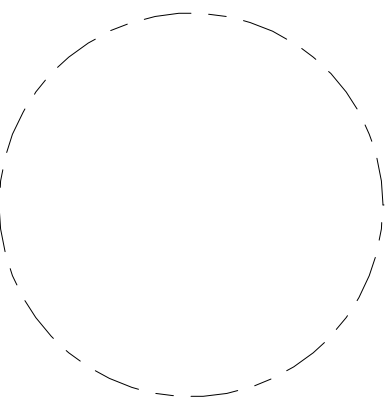
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



**Proposed P3
Floor Plan**

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

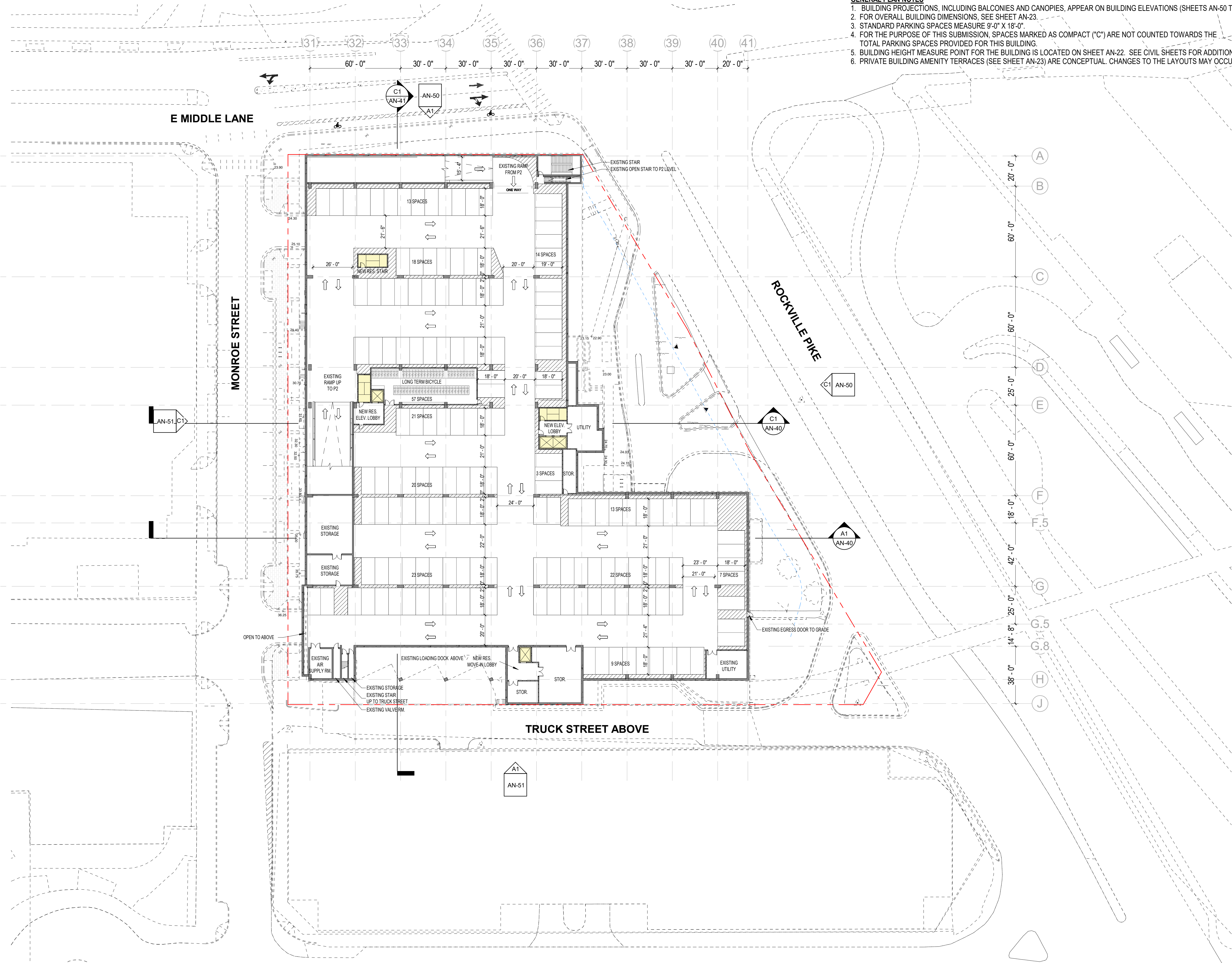
SCALE:
As indicated

JOB NO.
23433.00

DRAWING NO.

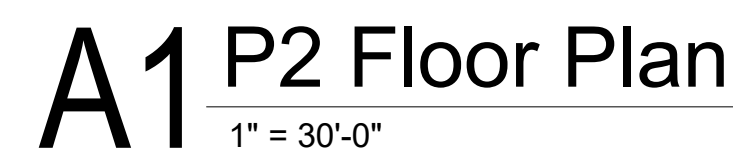
AN-20

- GENERAL PLAN NOTES**
1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
 2. FOR OVERALL BUILDING DIMENSIONS, SEE SHEET AN-23.
 3. STANDARD PARKING SPACES MEASURE 9'-0" X 18'-0".
 4. FOR THE PURPOSE OF THIS SUBMISSION, SPACES MARKED AS COMPACT ("C") ARE NOT COUNTED TOWARDS THE TOTAL PARKING SPACES PROVIDED FOR THIS BUILDING.
 5. BUILDING HEIGHT MEASURE POINT FOR THE BUILDING IS LOCATED ON SHEET AN-22. SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
 6. PRIVATE BUILDING AMENITY TERRACES (SEE SHEET AN-23) ARE CONCEPTUAL. CHANGES TO THE LAYOUTS MAY OCCUR.



A1 P3 Floor Plan
1" = 30'-0"

SITE PLAN SET - MARCH 5, 2025



**TORTI
GALLAS +
PARTNERS**

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255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Issue
NO. _____ DATE _____

NO.	DATE
-----	------



DRAWING NO.
AN-21

SITE PLAN SET - MARCH 5, 2025

255 Rockville Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

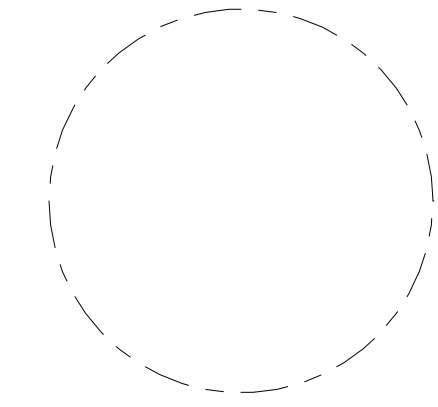
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



Proposed P1 Floor Plan

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
As indicated

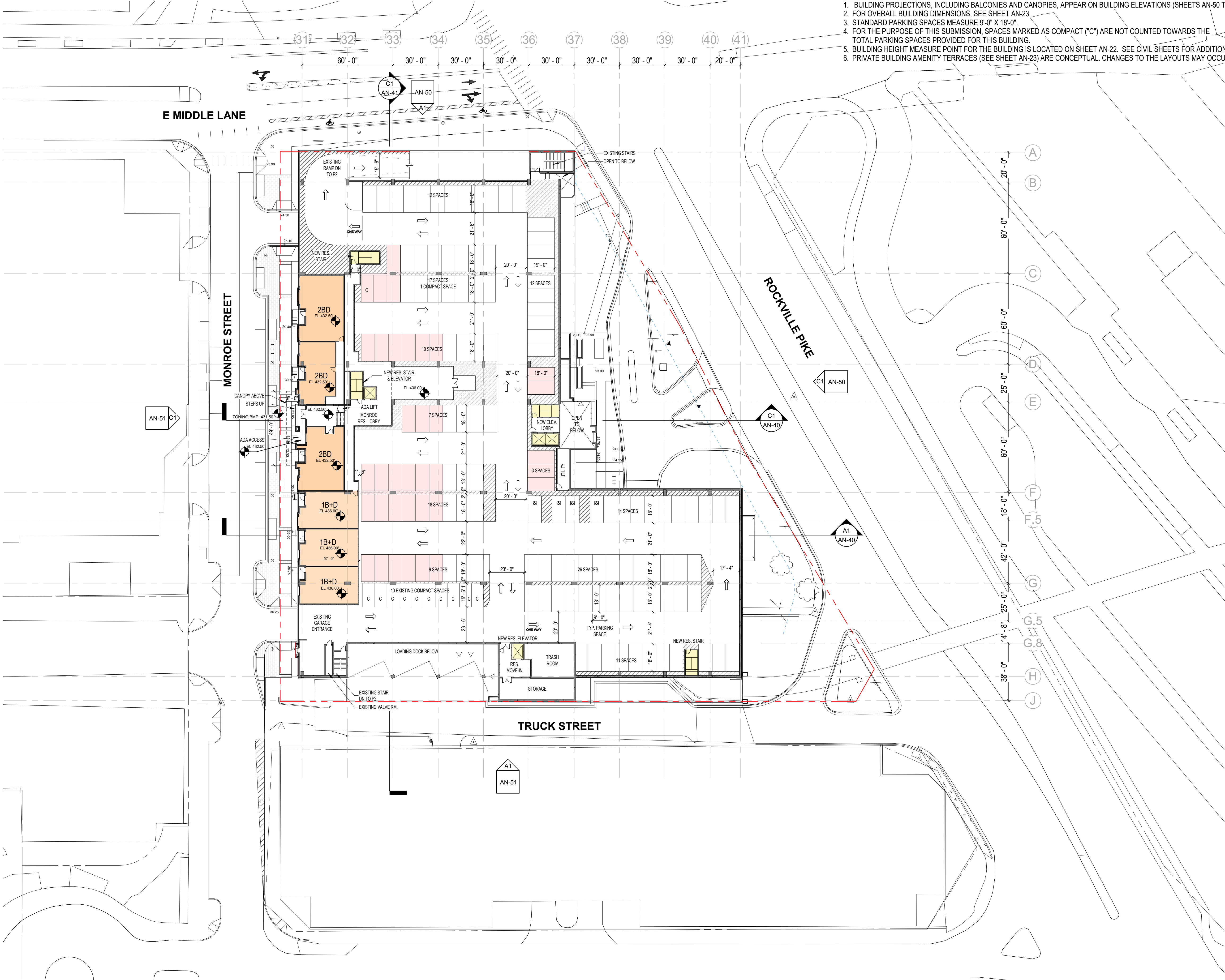
JOB NO.
23433.00

DRAWING NO.

AN-22

GENERAL PLAN NOTES

1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
2. FOR OVERALL BUILDING DIMENSIONS, SEE SHEET AN-23.
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6. PRIVATE BUILDING AMENITY TERRACES (SEE SHEET AN-23) ARE CONCEPTUAL. CHANGES TO THE LAYOUTS MAY OCCUR.



A1 P1 Floor Plan
1" = 30'-0"

255 Rockville
Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Key Plan

Issue

NO. DATE

Revisions

NO. DATE

Proposed 2nd
Floor Plan

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
As indicated

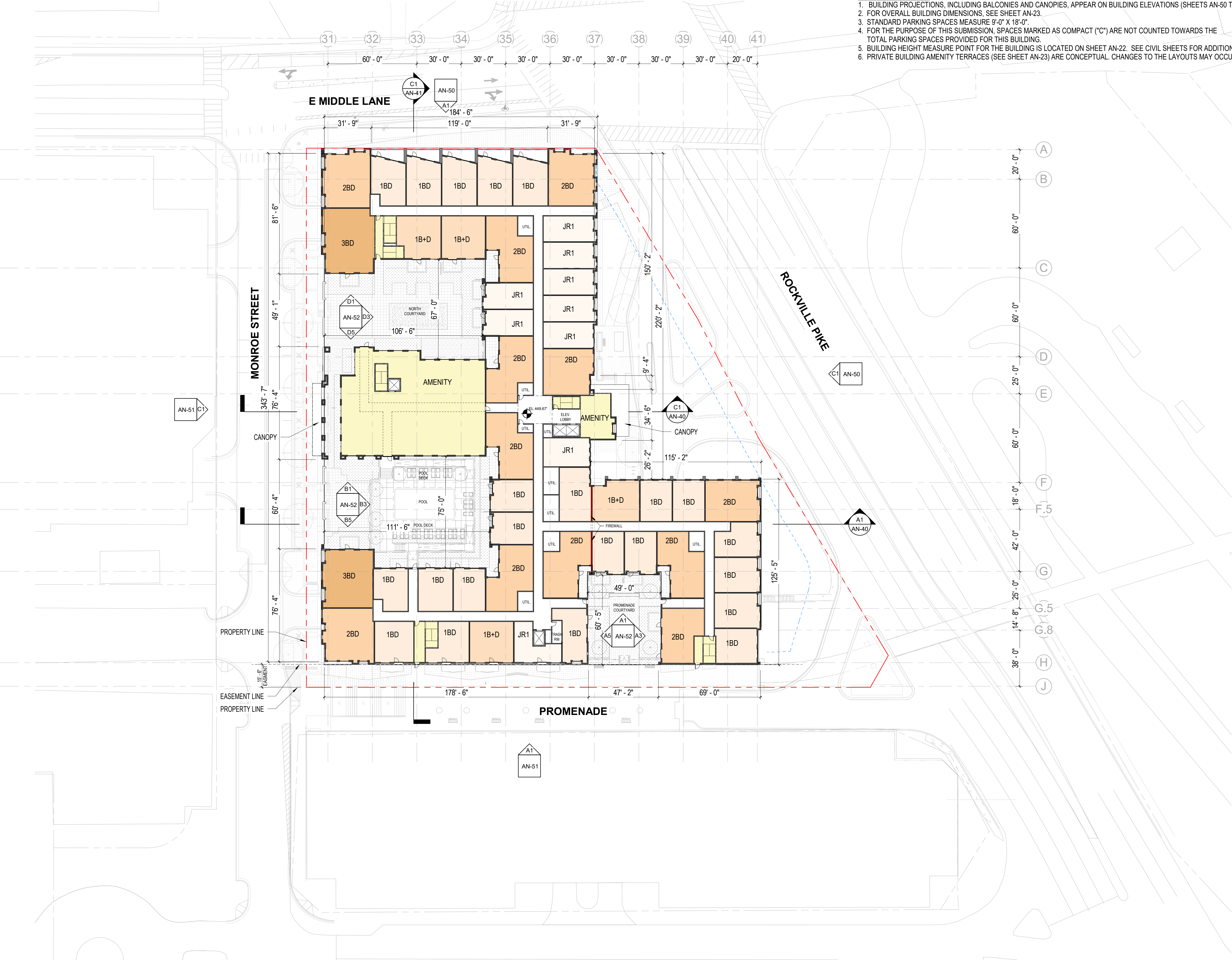
JOB NO.
23433.00

DRAWING NO.

AN-23

GENERAL PLAN NOTES

1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
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6. PRIVATE BUILDING AMENITY TERRACES (SEE SHEET AN-23) ARE CONCEPTUAL. CHANGES TO THE LAYOUTS MAY OCCUR.



A1 2nd Floor Plan
1" = 30'-0"

**255 Rockville
Pike**

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Key Plan

Issue

NO. DATE

Revisions

NO. DATE

**Proposed 3rd
Floor Plan**

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
As indicated

JOB NO.
23433.00

DRAWING NO.

AN-24

GENERAL PLAN NOTES

1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
2. FOR OVERALL BUILDING DIMENSIONS, SEE SHEET AN-23.
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6. PRIVATE BUILDING AMENITY TERRACES (SEE SHEET AN-23) ARE CONCEPTUAL. CHANGES TO THE LAYOUTS MAY OCCUR.

A1 3rd Floor Plan

1" = 30'-0"

A1 4th Floor Plan

1" = 30'-0"

- GENERAL PLAN NOTES**
1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
 2. FOR OVERALL BUILDING DIMENSIONS, SEE SHEET AN-23.
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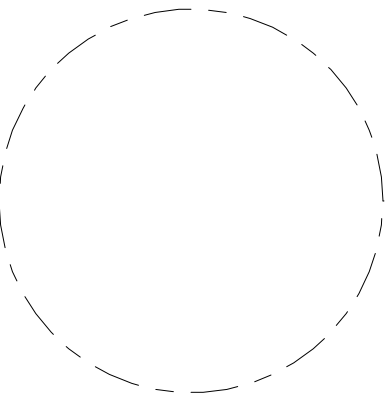
255 Rockville Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Key Plan

Issue
NO. DATE

Revisions
NO. DATE



Proposed 4th Floor Plan

PRINCIPAL IN CHARGE N.D.	
PROJECT ARCHITECT J.J.	
DRAWN R.G.	
DATE 03/05/2025	APPROVED N.D.
SCALE: As indicated	JOB NO. 23433.00

DRAWING NO.

AN-25

SITE PLAN SET - MARCH 5, 2025

255 Rockville Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

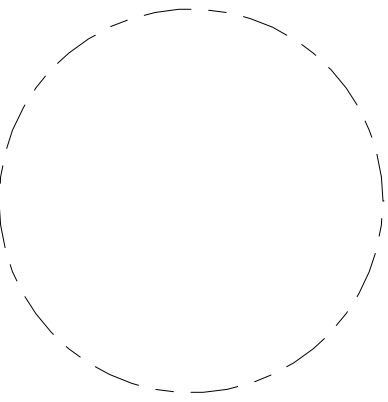
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



**Proposed 5th
Floor Plan**

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
As indicated

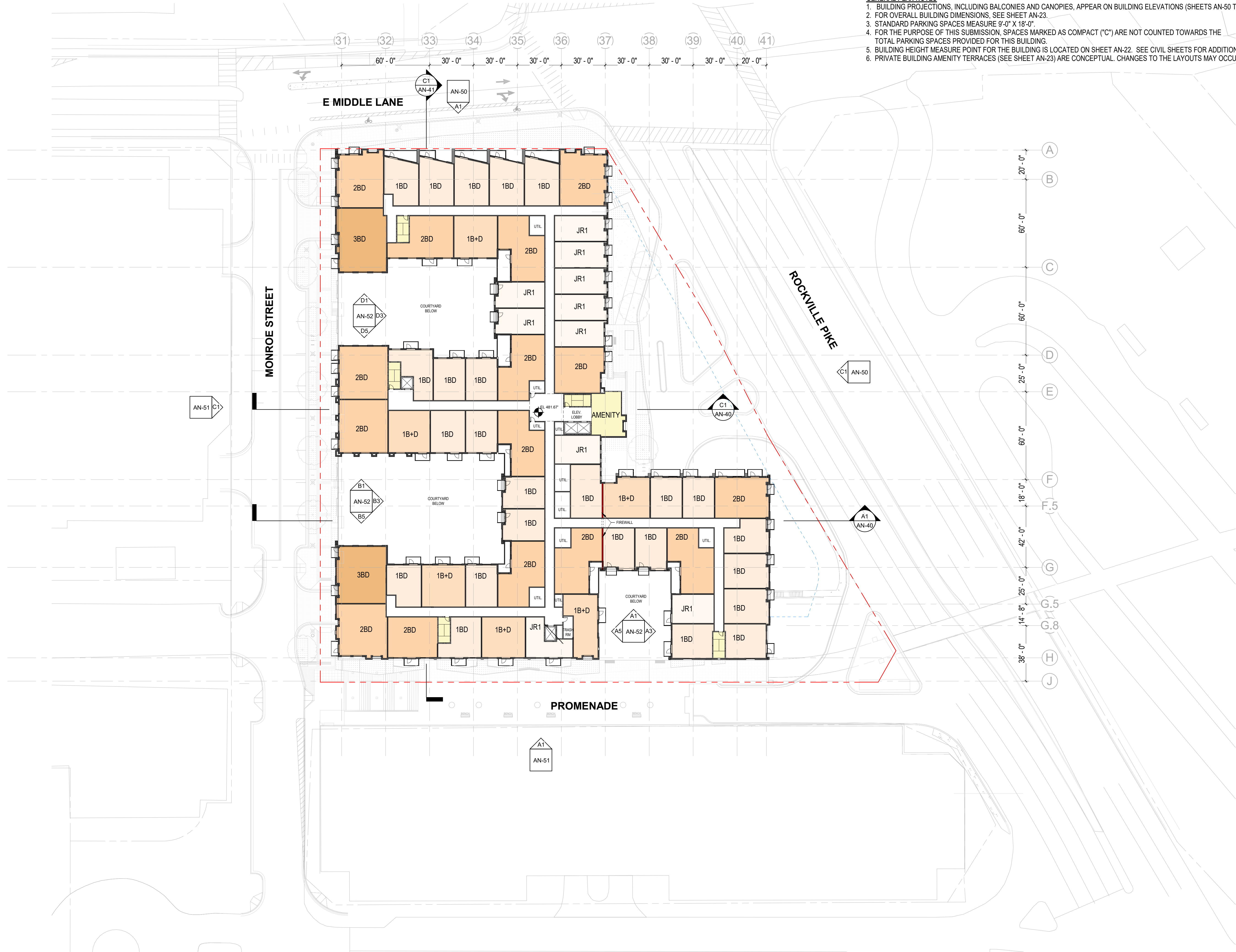
JOB NO.
23433.00

DRAWING NO.

AN-26

GENERAL PLAN NOTES

1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
2. FOR OVERALL BUILDING DIMENSIONS, SEE SHEET AN-23.
3. STANDARD PARKING SPACES MEASURE 9'-0" X 18'-0".
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6. PRIVATE BUILDING AMENITY TERRACES (SEE SHEET AN-23) ARE CONCEPTUAL. CHANGES TO THE LAYOUTS MAY OCCUR.



A1 5th Floor Plan
1" = 30'-0"

A1 6th Floor Plan

1" = 30'-0"

- GENERAL PLAN NOTES**
1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
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Rockville, MD 20850

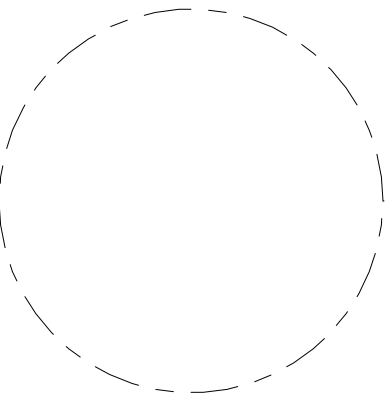
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



Proposed 6th Floor Plan

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
As indicated

JOB NO.
23433.00

DRAWING NO.

AN-27

SITE PLAN SET - MARCH 5, 2025



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255 Rockville Pike

OWNER:
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500 N. Washington Suite #4408
Rockville, MD 20850

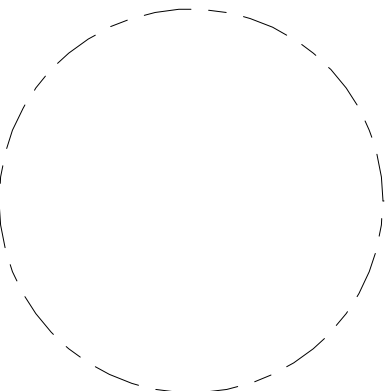
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



Proposed Roof Plan

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
As indicated

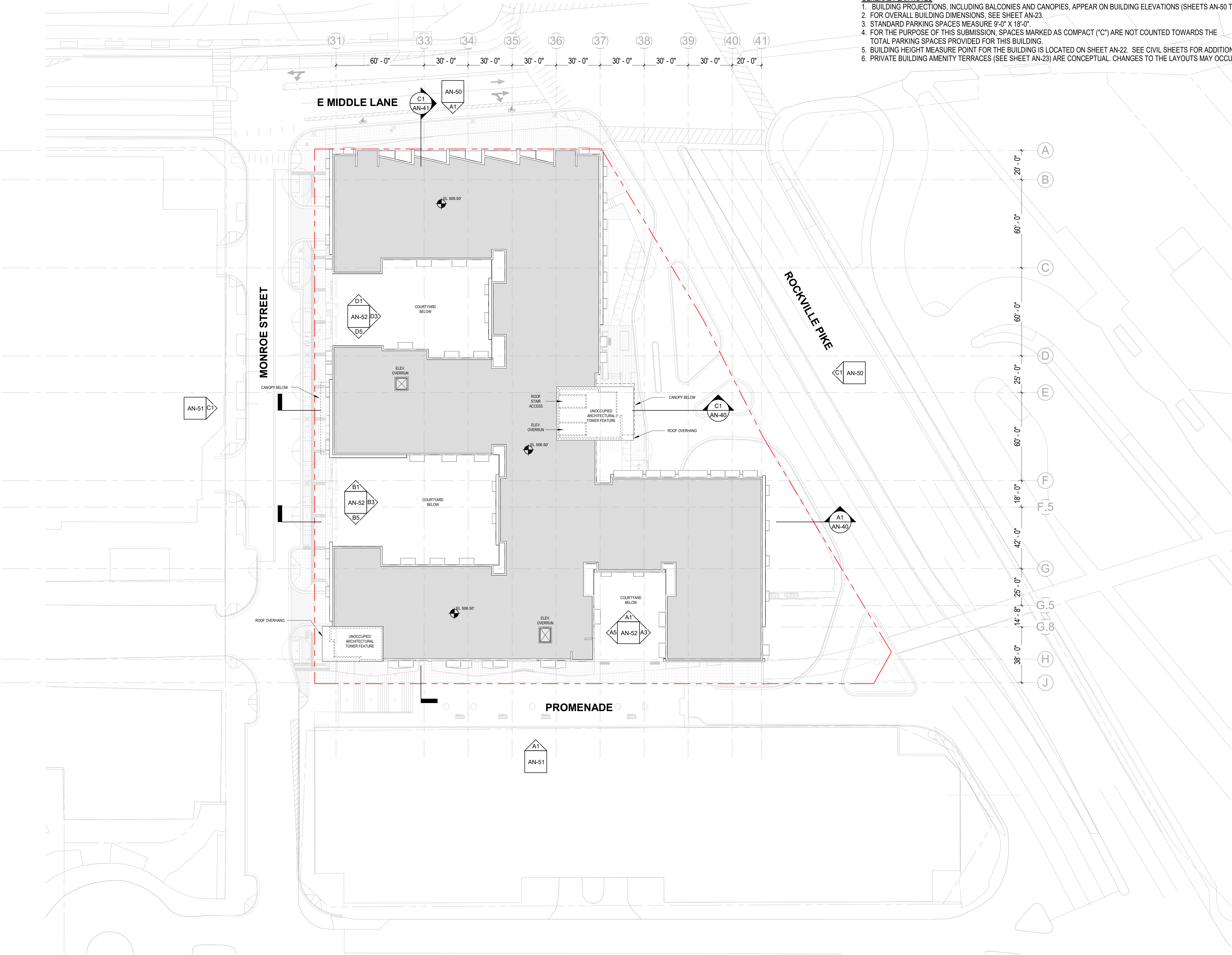
JOB NO.
23433.00

DRAWING NO.

AN-28

GENERAL PLAN NOTES

1. BUILDING PROJECTIONS, INCLUDING BALCONIES AND CANOPIES, APPEAR ON BUILDING ELEVATIONS (SHEETS AN-50 THROUGH AN-52).
2. FOR OVERALL BUILDING DIMENSIONS, SEE SHEET AN-23.
3. STANDARD PARKING SPACES MEASURE 9'-0" X 18'-0".
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6. PRIVATE BUILDING AMENITY TERRACES (SEE SHEET AN-23) ARE CONCEPTUAL. CHANGES TO THE LAYOUTS MAY OCCUR.



A1

Roof Plan

1" = 30'-0"



OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Issue NO. DATE

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE 03/05/2025	APPROVED N.D.
--------------------	------------------

SCALE: As indicated	JOB NO. 23433.00
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DRAWING NO.

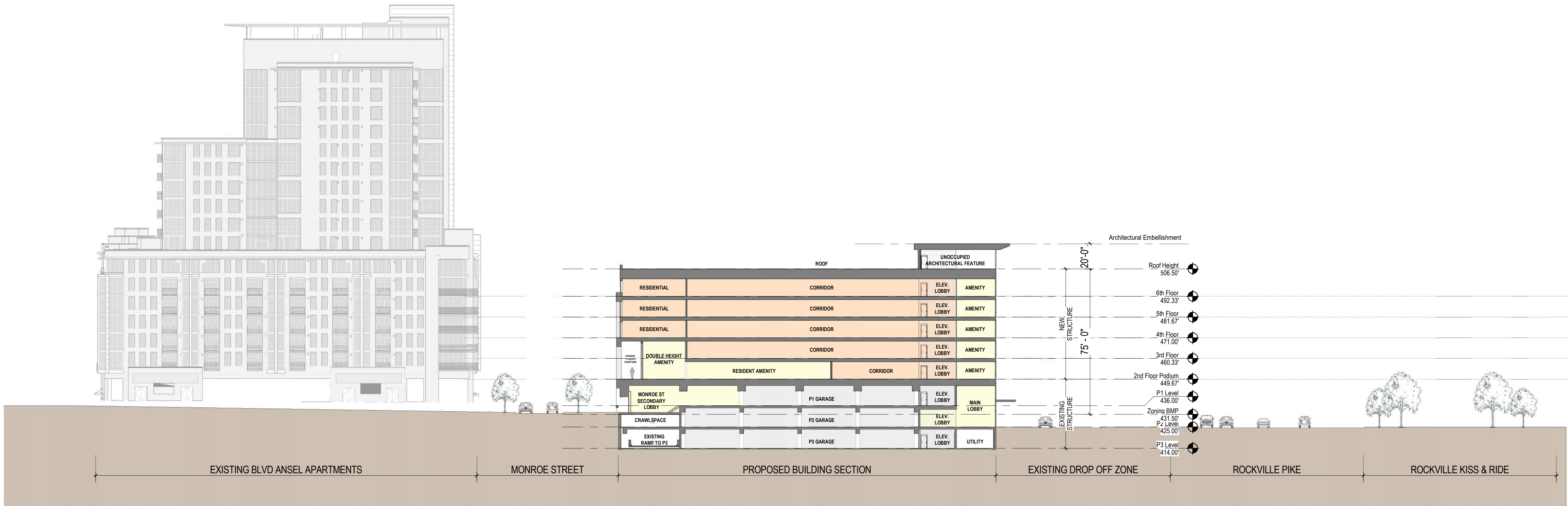
AN-29



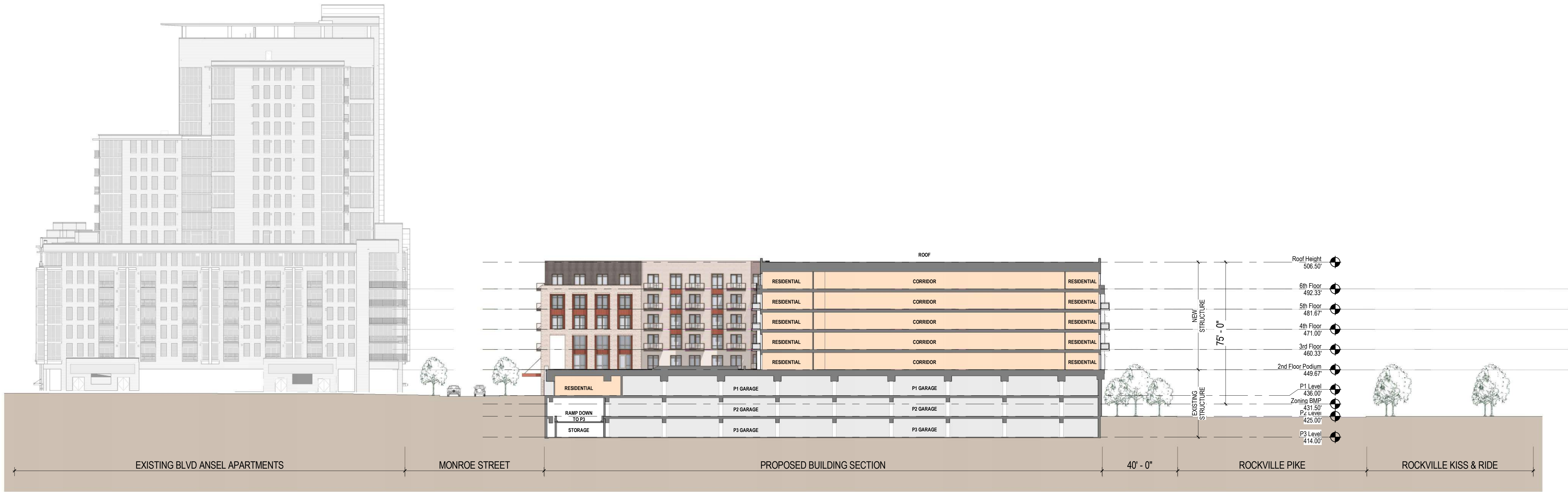
M/7/2025 7:58:52 AM

Community Planning & Development Services
Received
March 11, 2025

SITE PLAN SET - MARCH 5, 2025



C1 East-West Section A
1" = 30'-0"



A1 East-West Section B
1" = 30'-0"

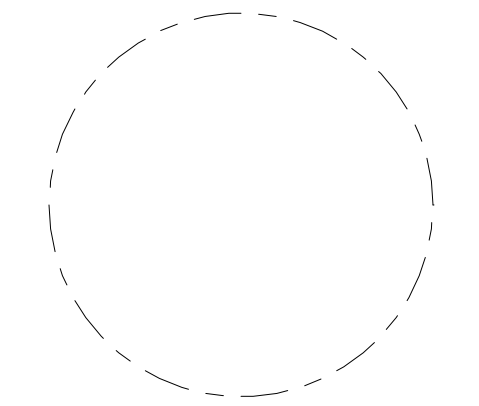
255 Rockville Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

Key Plan

Issue
NO. DATE

Revisions
NO. DATE



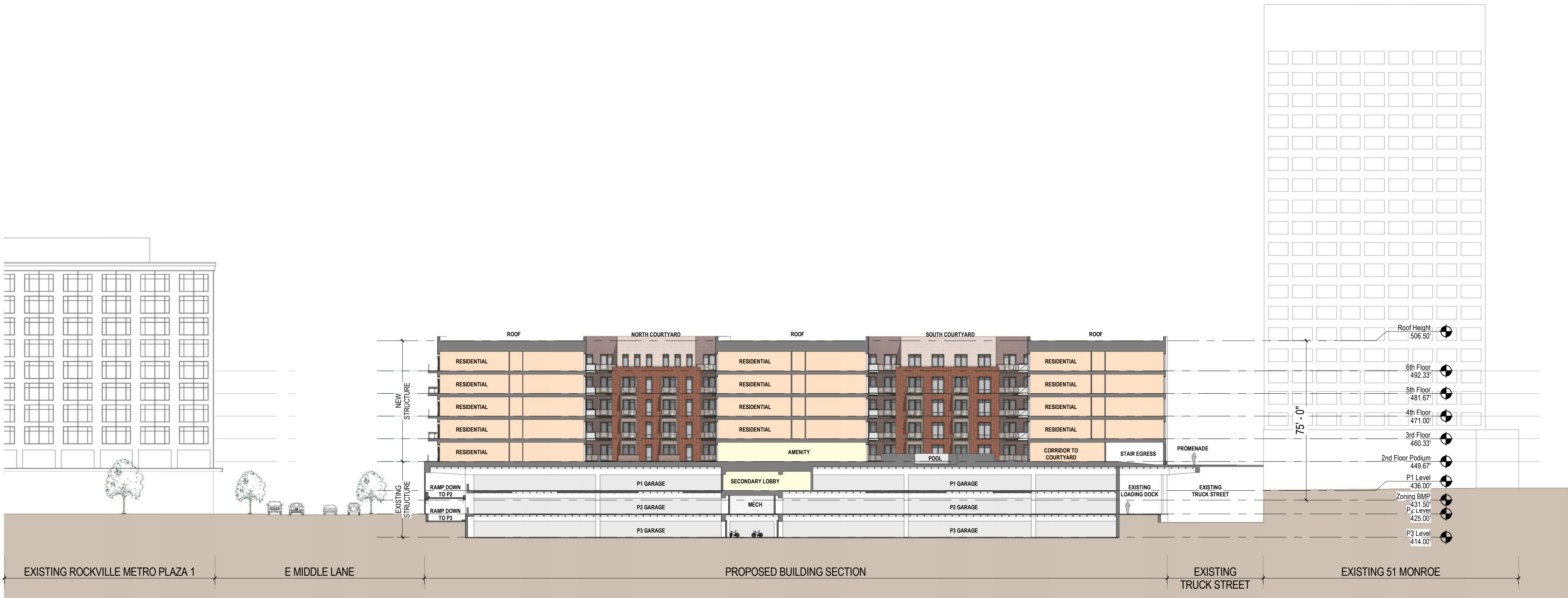
Building Sections

PRINCIPAL IN CHARGE
N.D.
PROJECT ARCHITECT
J.J.
DRAWN
R.G.
DATE
03/05/2025
SCALE:
1" = 30'-0"

APPROVED
N.D.
JOB NO.
23433.00
DRAWING NO.

AN-40

SITE PLAN SET - MARCH 5, 2025



C1 North-South Section A

1" = 30'-0"



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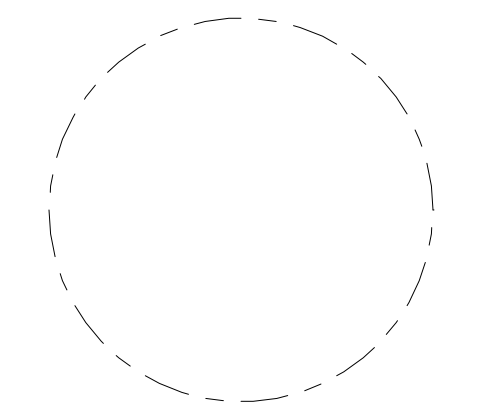
255 Rockville Pike

OWNER:
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500 N. Washington Suite #4408
Rockville, MD 20850

Key Plan

Issue
NO. DATE

Revisions
NO. DATE



Building Sections

PRINCIPAL IN CHARGE N.D.	
PROJECT ARCHITECT J.J.	
DRAWN R.G.	
DATE 03/05/2025	APPROVED N.D.
SCALE: 1" = 30'-0"	JOB NO. 23433.00

DRAWING NO.
AN-41

SITE PLAN SET - MARCH 5, 2025

255 Rockville
Pike

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

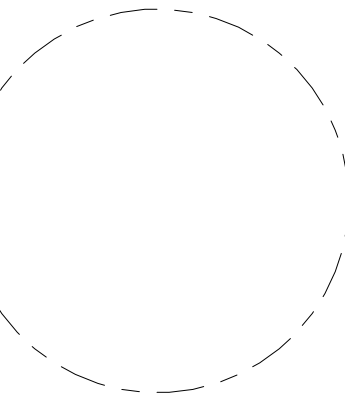
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



Building
Elevations

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

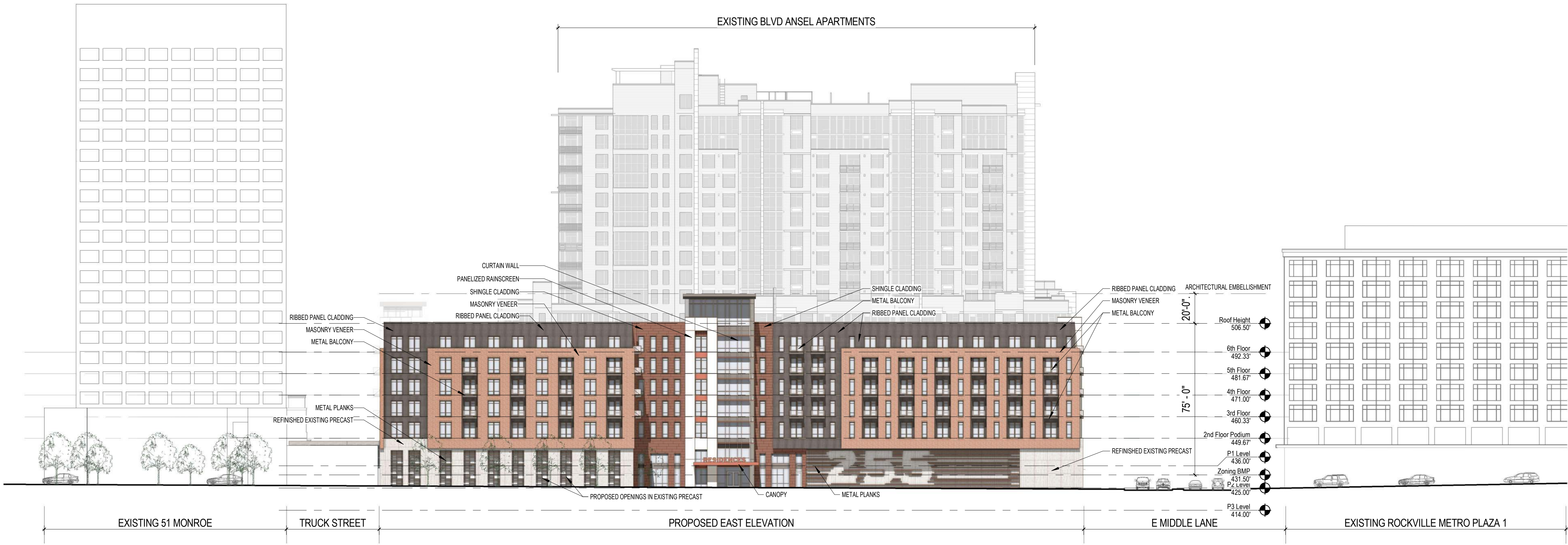
APPROVED
N.D.

SCALE:
1" = 30'-0"

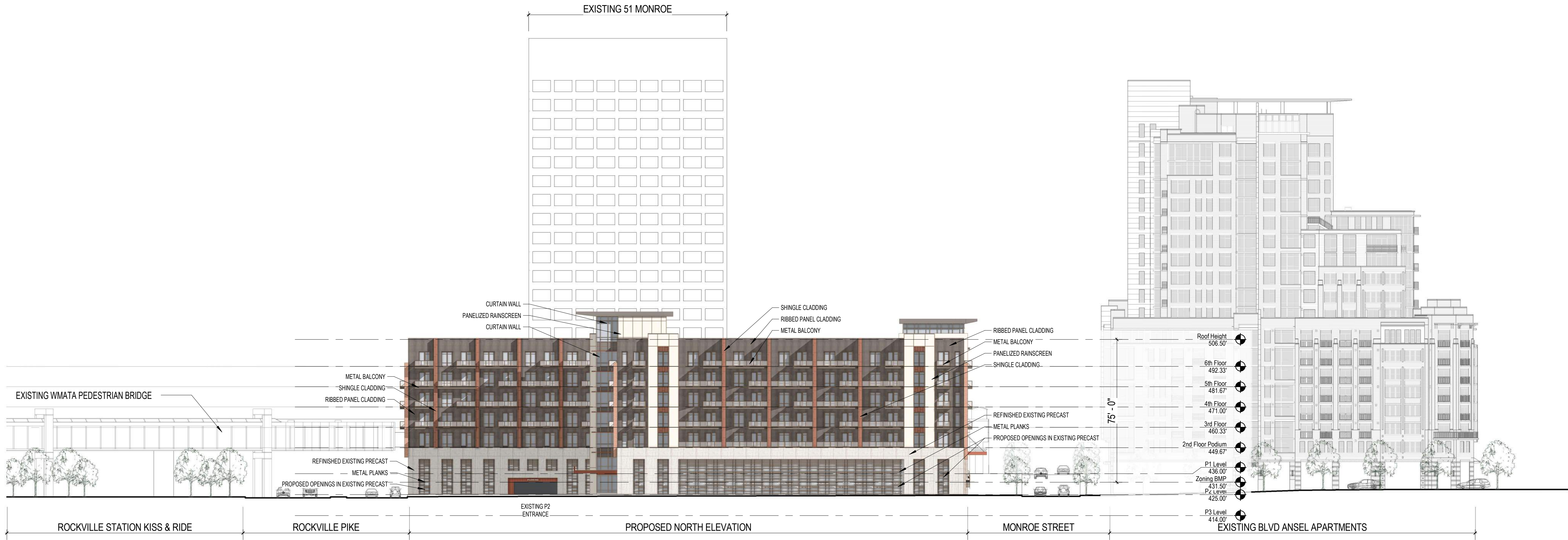
JOB NO.
23433.00

DRAWING NO.

AN-50



C1 East Elevation - Rockville Pike
1" = 30'-0"



A1 North Elevation - East Middle Lane
1" = 30'-0"

SITE PLAN SET - MARCH 5, 2025

**255 Rockville
Pike**

OWNER:
255 ROCKVILLE PIKE LLC
500 N. Washington Suite #4408
Rockville, MD 20850

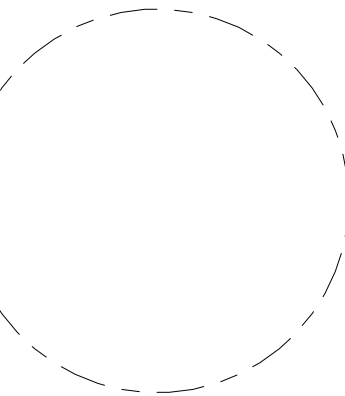
Key Plan

Issue

NO. DATE

Revisions

NO. DATE



**Building
Elevations**

PRINCIPAL IN CHARGE
N.D.

PROJECT ARCHITECT
J.J.

DRAWN
R.G.

DATE
03/05/2025

APPROVED
N.D.

SCALE:
1" = 30'-0"

JOB NO.
23433.00

DRAWING NO.

AN-51

SITE PLAN SET - MARCH 5, 2025



C1 West Elevation - Monroe St
1" = 30'-0"



A1 South Elevation - Promenade
1" = 30'-0"



OWNER:
255 ROCKVILLE PIKE LLC
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Rockville, MD 20850



NO. DATE



DRAWING NO.

AN-52



A1 Promenade Courtyard - North Elev

D3 North Courtyard - East Elev

B3 South Courtyard - East Elev

A3 Promenade Courtyard - East Elev

D5 North Courtyard - South Elev

B5 South Courtyard - South Elev

A5 Promenade Courtyard - West Elev