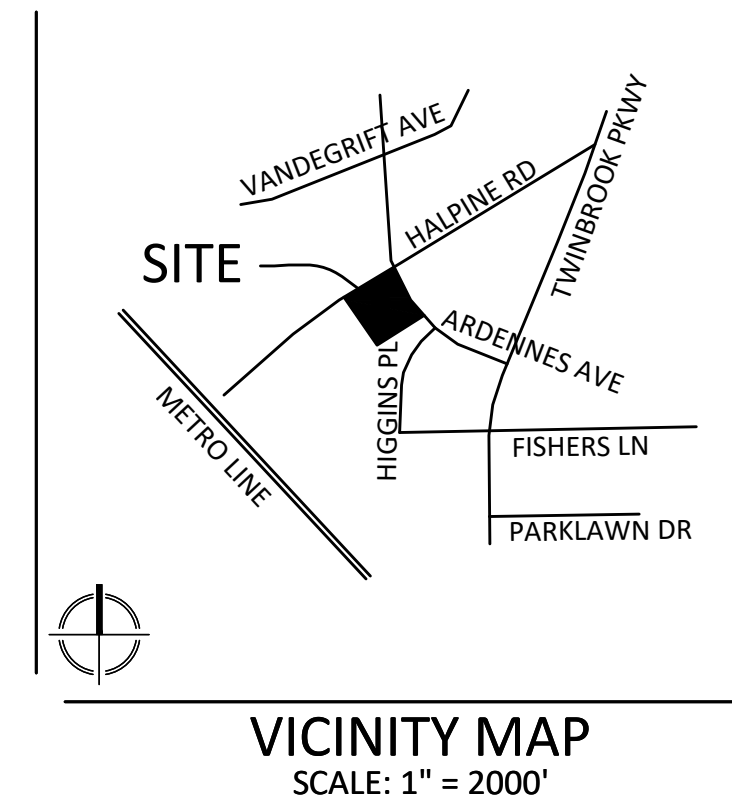


# HALPINE ROAD

## LEVEL 2 SITE PLAN

ROCKVILLE (4TH.) ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND



## DEVELOPMENT TABULATIONS

Property Information		
Zoning	R-60	
Floating Zone (Residential Flexible)	MXNC	
Tract Area	65,577 SF	1.51 AC
Proposed Ardennes Dedication	1,739 SF	0.04 AC
<b>Site Area</b>	<b>63,838 SF</b>	<b>1.47 AC</b>

Development Program	
<b>Residential Units</b>	<b>36</b>
Front Loaded Townhomes	0
Rear Loaded MF Residential Units (2 over 2)	36

<b>Building Height</b>	<i>Maximum Allowed</i>	<i>Maximum Requested</i>
Residential Units (2 over 2)	50'	50'

Open Space	Minimum Required		Proposed (minimum)	
Open Area (includes public use space)	15%	9,576 SF	35.7%	22,800 SF
Public Use Space	10%	6,384 SF	10.2%	6,486 SF

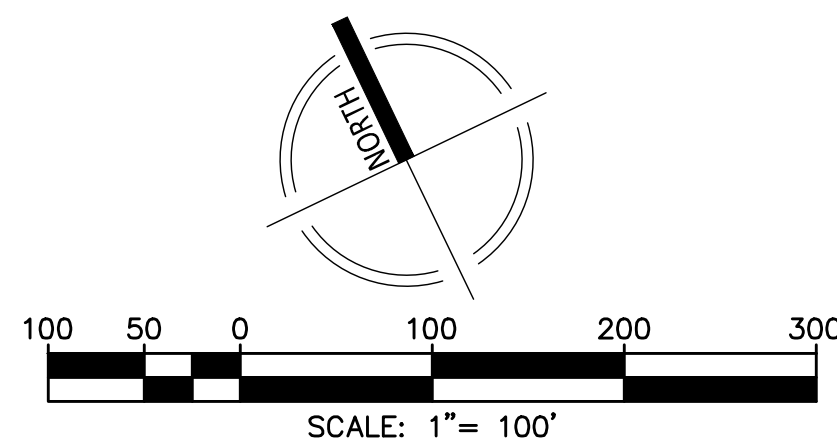
<b>Building Setbacks</b>	<i>Minimum Required</i>	<i>Proposed</i>
Minimum width at Frontline	10'	256' Halpine, 272' Ardennes
Setback abutting ROW	0' or 10' if provided	10' Halpine, 10' Ardennes
Side abutting Non-Residential	0' or 10' if provided	30'
Side abutting Residential	25' or height of building, whichever is greater	39' (1)
Rear	0' or 10' if provided	10'

<b>Parking</b>	<i>Minimum Required</i>	<i>Proposed</i>
Residential Units (2 over 2), 36 rear load (2 per unit)	72	72
	<b>72</b>	<b>72</b>

Accessible Parking	Minimum Required	Proposed
Residential Units (2 over 2)	0	0

<b>Bicycle Parking</b>	<i>Minimum Required</i>	<i>Proposed</i>
Residential Units (2 over 2)	0	0

(1) Pursuant to Zoning Ordinance Section 25.14.35.e a 10' waiver from the side yard setback requirement, as well as a corresponding 22' waiver from the layback slope requirement, is proposed.



## GENERAL NOTES

1. THE PROPERTY IS 1.51 ACRES.
2. THE SUBJECT PROPERTY COMPRISES THE FOLLOWING PROPERTIES:  
PARCEL N091, TAX MAP GQ63, TAX ACCT NO. 04-00146900 (CITY OF ROCKVILLE)
3. PARCEL N091 IS CURRENTLY ZONED R-60; MXNC ZONING IS BEING PURSUED IN ACCORDANCE WITH THE FLOATING ZONE PROVISIONS.
4. THE SITE IS LOCATED ON WSSC MAP 216NW06.
5. BOUNDARY AND TOPOGRAPHIC DATA PROVIDED BY VIKA 05/2023.
6. THERE IS NO 100 YEAR FLOODPLAIN LOCATED ON THE SITE.
7. THERE IS NO STREAM VALLEY BUFFER LOCATED ON THE SITE.
8. THERE ARE NO WETLANDS LOCATED ON THE SITE.
9. 'D' TAPE WAS USED TO MEASURE THE TREES.
10. THERE ARE NO STATE/COUNTY CHAMPION TREES LOCATED ON-SITE.
11. THERE ARE NO EXISTING BUILDINGS WITHIN THE INVENTORY AREA IDENTIFIED IN THE CITY OF ROCKVILLE HISTORIC BUILDINGS CATALOGUE MAP. THE CITY OF ROCKVILLE ONLINE GIS DATA WAS ACCESSED ON OCTOBER 28, 2021.
12. NRI/FSD FIELD WORK WAS CONDUCTED BY VIKA MARYLAND, LLC STAFF, CHARLES CRISLIP AND ZARIA STEBBINS ON APRIL 4, 2023.
13. NRI/FSD FTP2023-00059 WAS APPROVED 10/10/2023.
14. EXISTING BUILDINGS ON THE PROPERTY PROPOSED FOR DEMOLITION ARE SUBJECT TO ZONING ORDINANCE SEC. 25. 07.02.4, HISTORIC REVIEW.

## SHEET INDEX

SP-1	COVER SHEET
SP-2	APPROVALS
SP-3	SITE PLAN OVERALL
SP-4	SITE PLAN GRADING
SP-5	FIRE PROTECTION PLAN
SP-6	GARBAGE TRUCK MOVEMENT PLAN
SP-7	SU-30 MOVEMENT PLAN
SP-8	FIRE TRUCK MOVEMENT PLAN

LL-1.00	LANDSCAPE COVER
LL-1.01	OVERALL MATERIALS PLAN
LL-1.02	OVERALL LANDSCAPE PLAN
LL-1.03	PLANTING PLAN ENLARGEMENTS
LL-1.04	PLANTING PLAN ENLARGEMENT
LL-2.00	PAVER DETAILS
LL-2.01	SITE DETAILS
LL-2.02	SITE DETAILS
LL-2.03	PLANTING DETAILS AND SCHEDULE
LL-2.04	LIGHTING DETAILS
LL-3.00	LIGHTING PLAN
LL-4.00	OPEN SPACE PLAN

FFCP-1	FINAL FOREST CONSERVATION PLAN COVER SHEET
FFCP-2	FINAL FOREST CONSERVATION PLAN
FFCP-3	FINAL FOREST CONSERVATION PLAN TREE REMOVAL
FFCP-4	FINAL FOREST CONSERVATION PLAN TABLES
FFCP-5	FINAL FOREST CONSERVATION NOTES
FFCP-6	FINAL FOREST CONSERVATION DETAILS

## SUPPORTING DOCUMENTS

STORMWATER MANAGEMENT CONCEPT PLAN  
CONCEPT SEDIMENT EROSION CONTROL PLAN  
PAVEMENT MARKING AND SIGNAGE PLAN  
UTILITY PLAN

FOREST CONSERVATION/SWM OVERLAY EXHIBIT  
ARCHITECTURE PLAN CONCEPTS

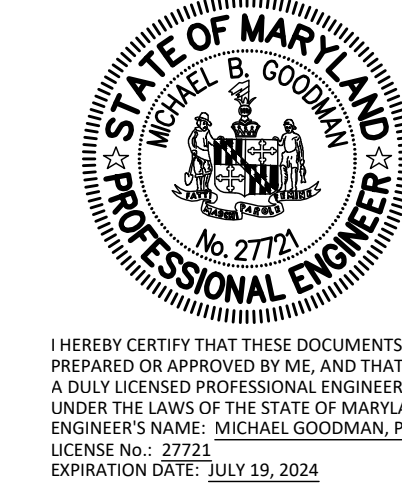
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HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

LEVEL 2 SITE PLAN  
COVER SHEET

## PROFESSIONAL SEAL



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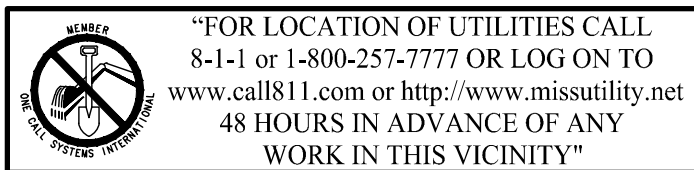
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SHEET NO. **SP-1**

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The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

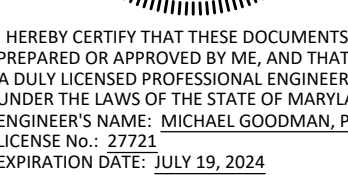


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CITY OF ROCKVILLE  
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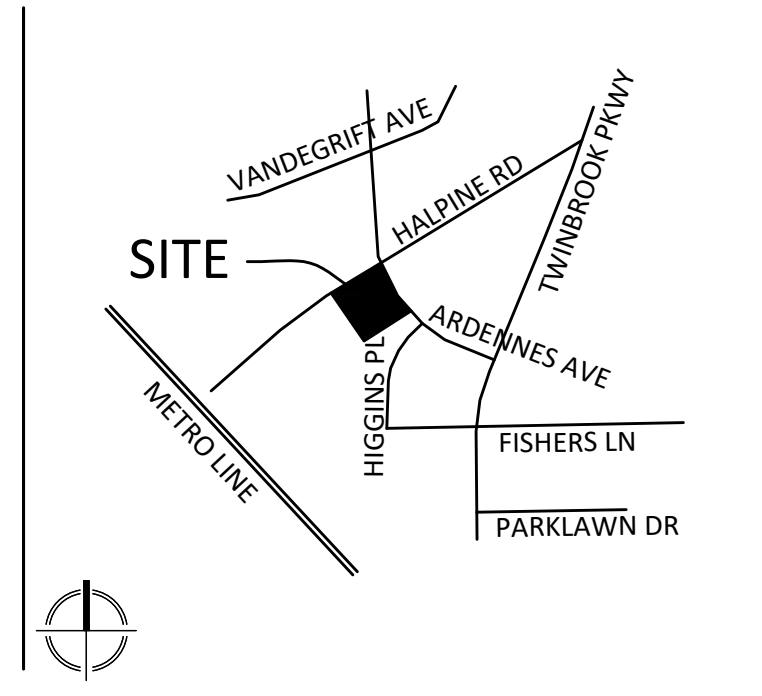
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48 HOURS IN ADVANCE OF ANY  
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VICINITY MAP  
SCALE: 1" = 2000'

### PLAN LEGEND

		PROPERTY LINES
		EXISTING EDGE OF GRADE
		EXISTING FENCE LINE
		EXISTING NATURAL GAS CONDUIT
		EXISTING OVERHEAD WIRES
		EXISTING TELEPHONE CONDUIT
		EXISTING SANITARY SEWER CONDUIT
		EXISTING STORM DRAIN CONDUIT
		EXISTING WATER CONDUIT
		EXISTING 10' CONTOUR
		EXISTING 2' CONTOUR
		LIMITS OF DISTURBANCE
		PROPOSED 10' CONTOUR
		PROPOSED 2' CONTOUR
		EXISTING GUY POLE
		EXISTING GAS VALVE
		EXISTING LIGHT POLE
		EXISTING PHONE PEDESTAL
		EXISTING PHONE MANHOLE
		EXISTING UTILITY POLE
		EXISTING STORM DRAIN MANHOLE
		EXISTING ELECTRICAL JUNCTION BOX
		EXISTING ELECTRICAL MANHOLE
		EXISTING FIRE DEPARTMENT CONNECTION
		EXISTING FIRE HYDRANT
		PROPOSED STORMWATER MANAGEMENT BIO
		EXISTING BOLLARD
		EXISTING SIGN POST
		EXISTING WOOD POST
		EXISTING CURB INLET
		EXISTING CONCRETE
		EXISTING SANITARY MANHOLE
		EXISTING TRAFFIC SIGNAL POLE
		EXISTING TREE
		EXISTING CABLE TELEVISION PEDESTAL
		EXISTING UNKNOWN UTILITY MANHOLE
		EXISTING WATER METER
		EXISTING WATER MANHOLE
		EXISTING WATER VALVE
		DOOR LOCATION
		EXISTING GAS MANHOLE
		PROPOSED RETAINING WALL
		PROPOSED SPOT ELEVATION
		TOP OF WAL/BOTTOM OF WAL



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HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

## SITE PLAN GRADING

## PROFESSIONAL SEAL



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ENGINEER'S NAME: MICHAEL GOODMAN, P.E.  
LICENSE No.: 27721  
EXPIRATION DATE: JULY 19, 2024

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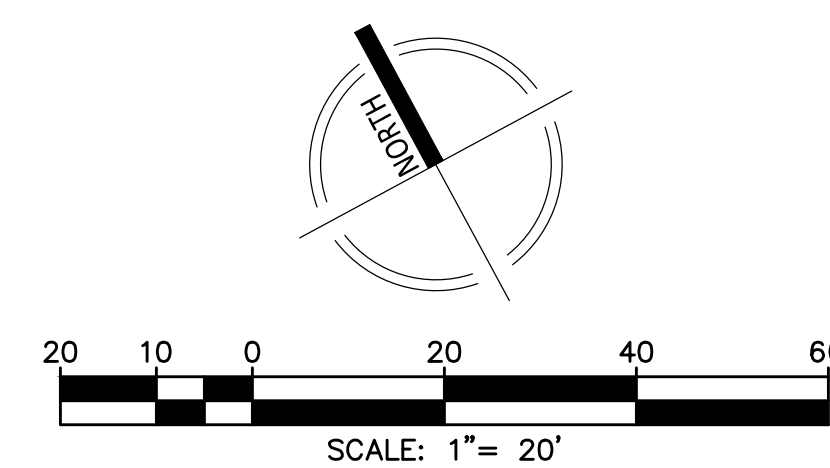
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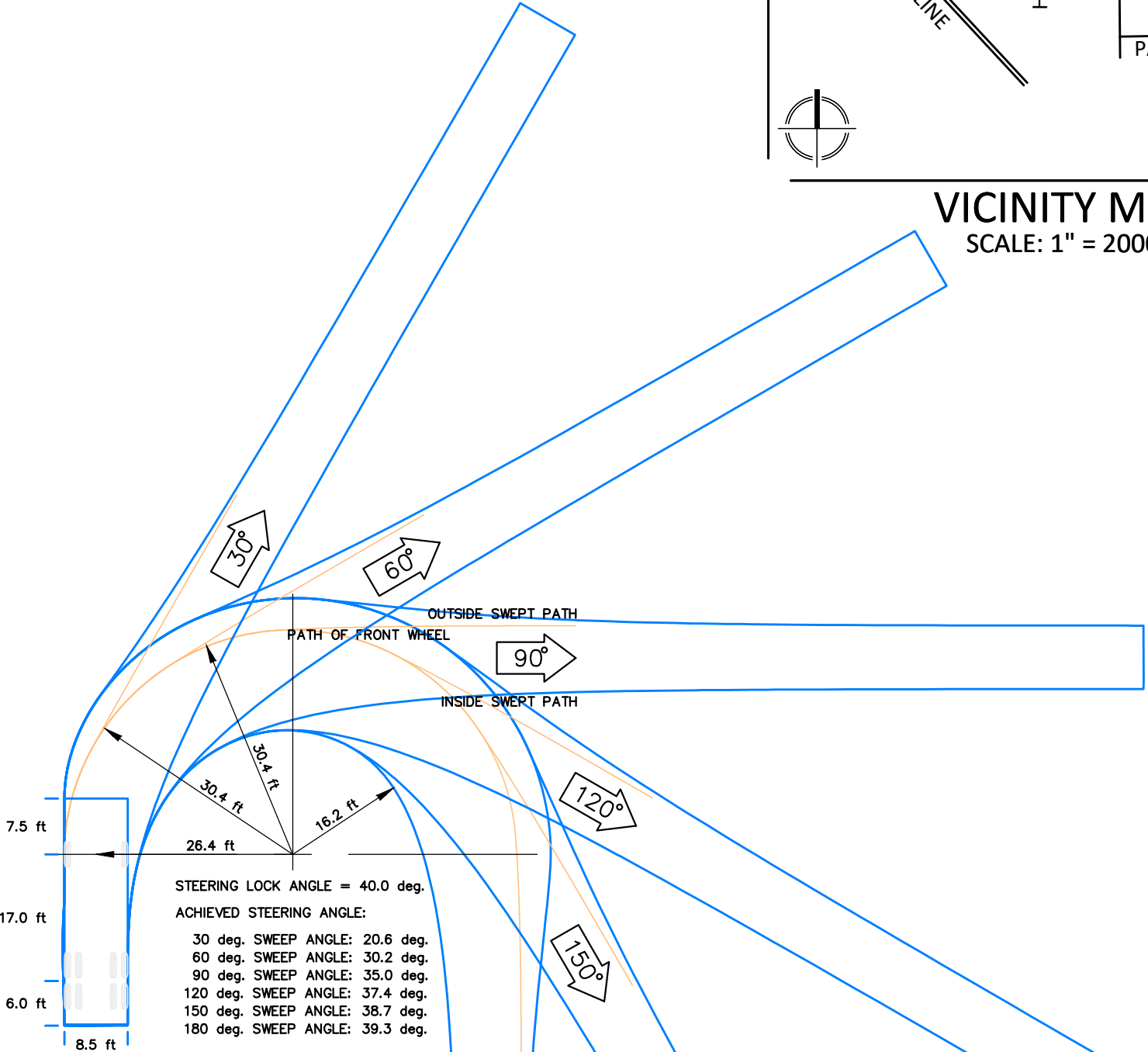
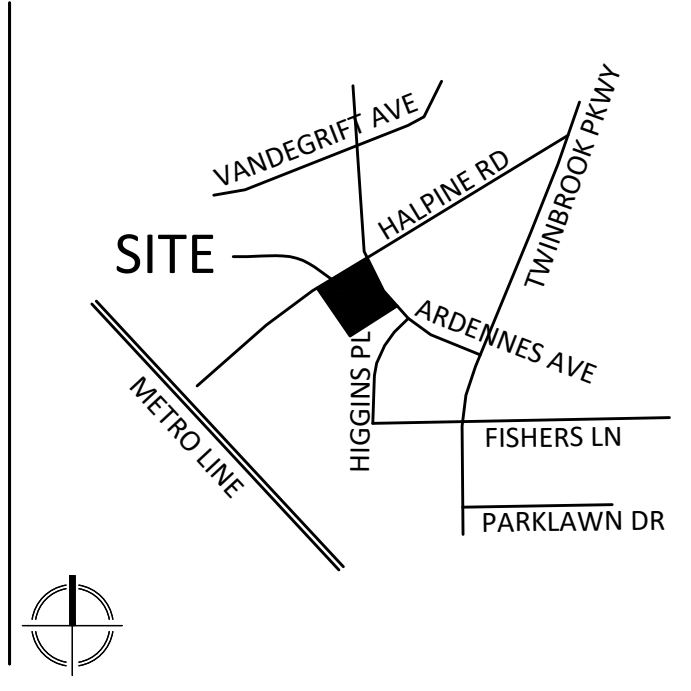
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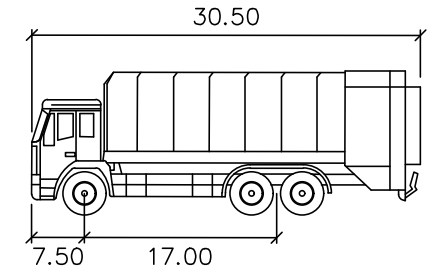
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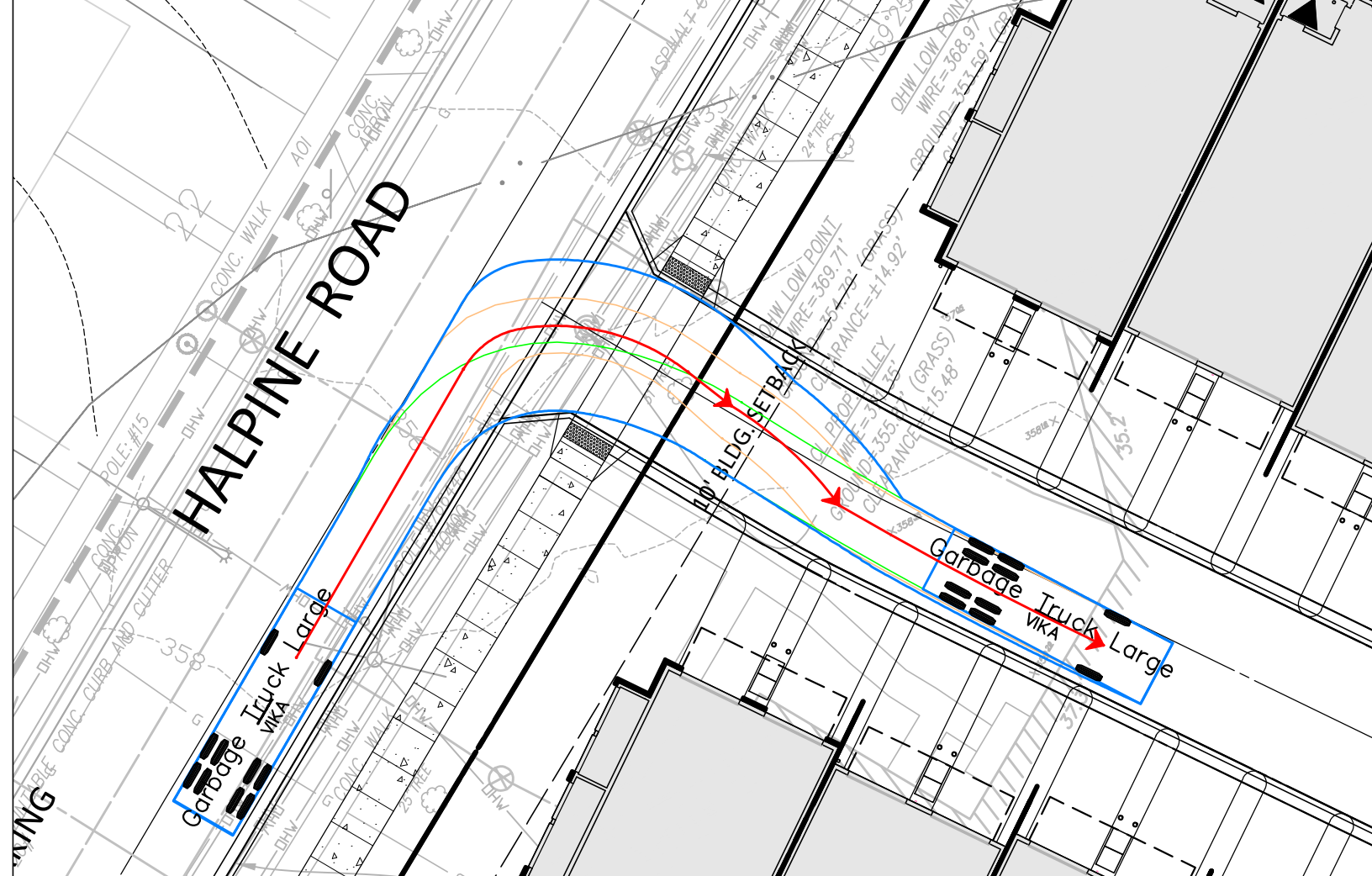




Garbage Truck Large  
VKA  
[ft]  
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Garbage Truck Large  
Width : 8.50  
Track : 8.50  
Lock to Lock Time : 6.0  
Steering Angle : 40.0



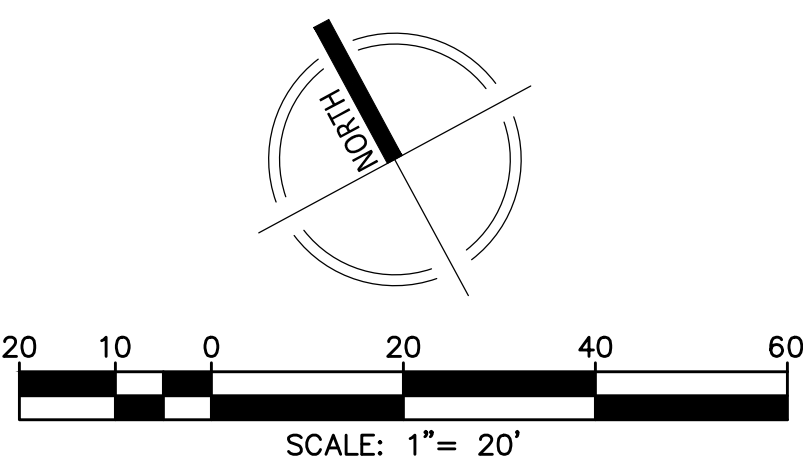
GARBAGE TRUCK RIGHT TURN IN

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CONTACT: WILL ZEID

REVISIONS	DATE

**HALPINE ROAD**  
CITY OF ROCKVILLE  
MONTGOMERY COUNTY, MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

GARBAGE TRUCK MOVEMENT STUDY

PROFESSIONAL SEAL  
STATE OF MARYLAND  
MICHAEL B. GOODMAN  
Professional Engineer  
No. 27721  
EXPIRATION DATE: JULY 15, 2024

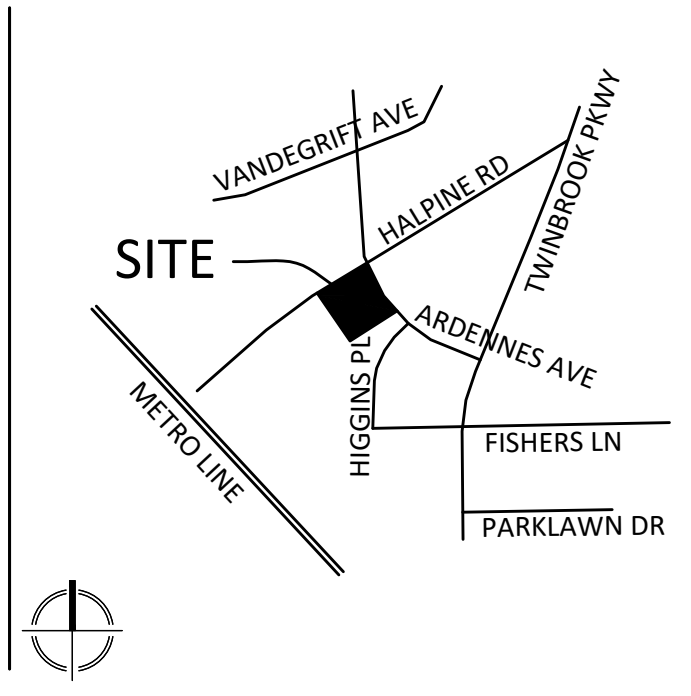
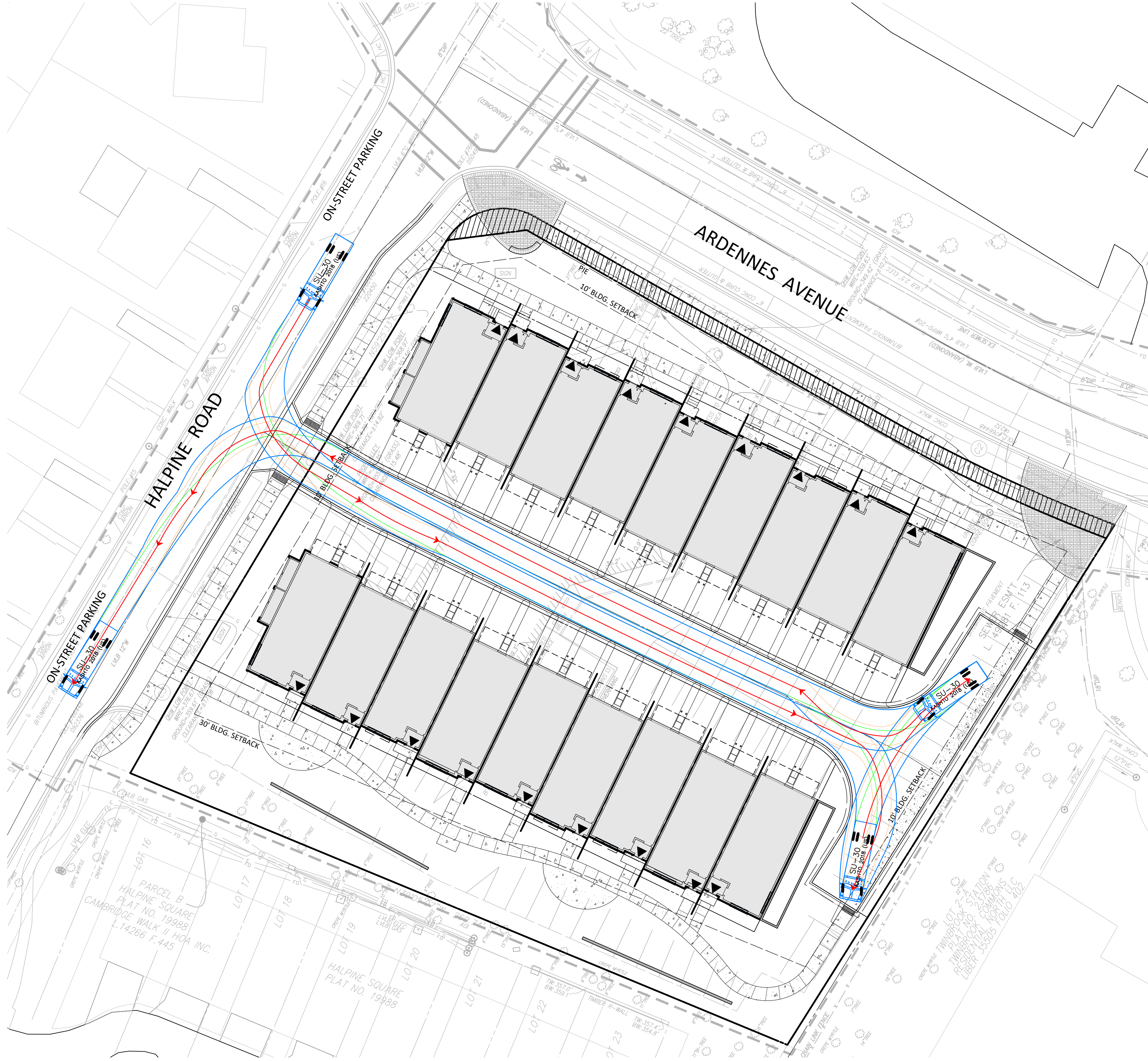
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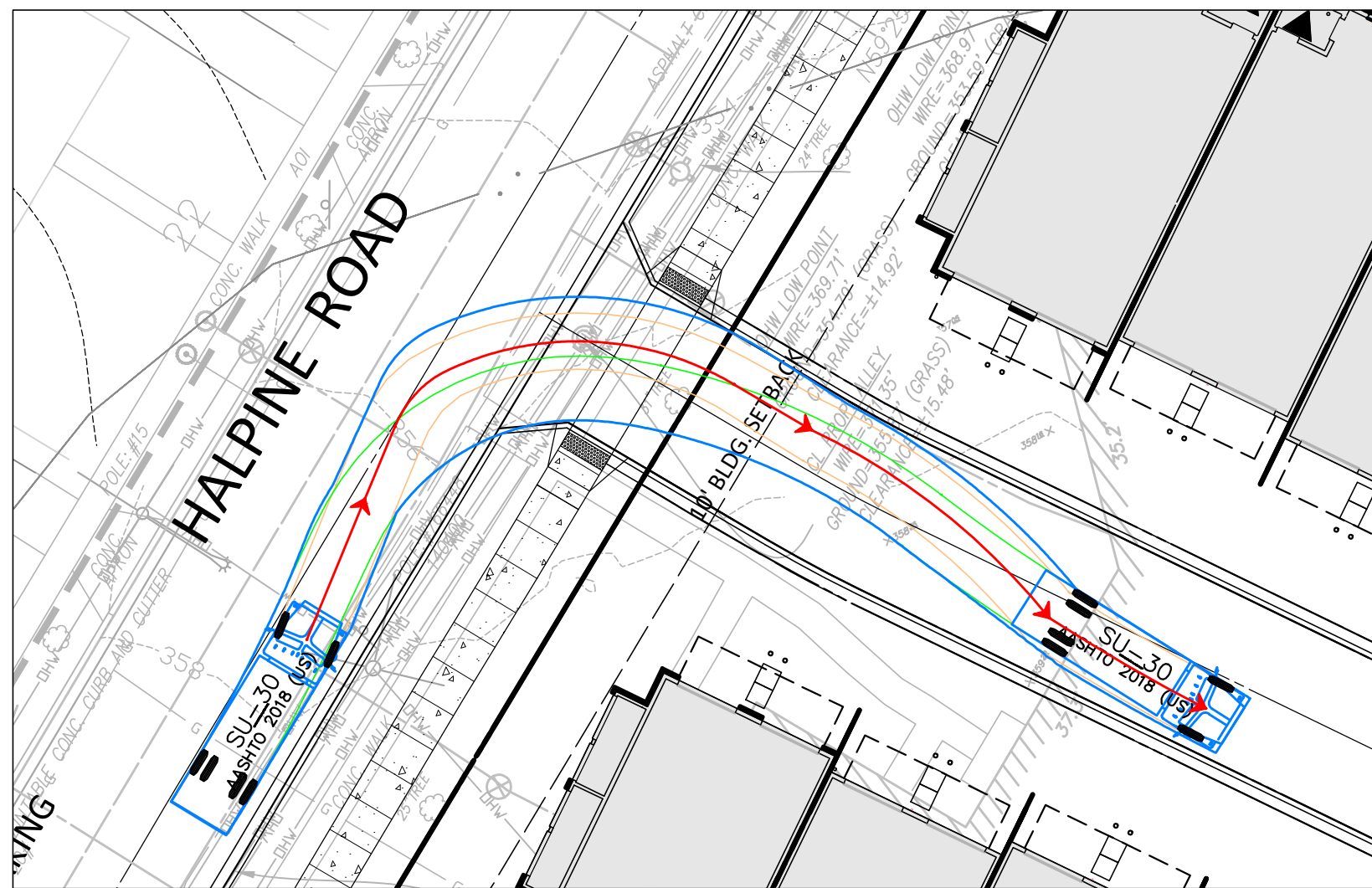
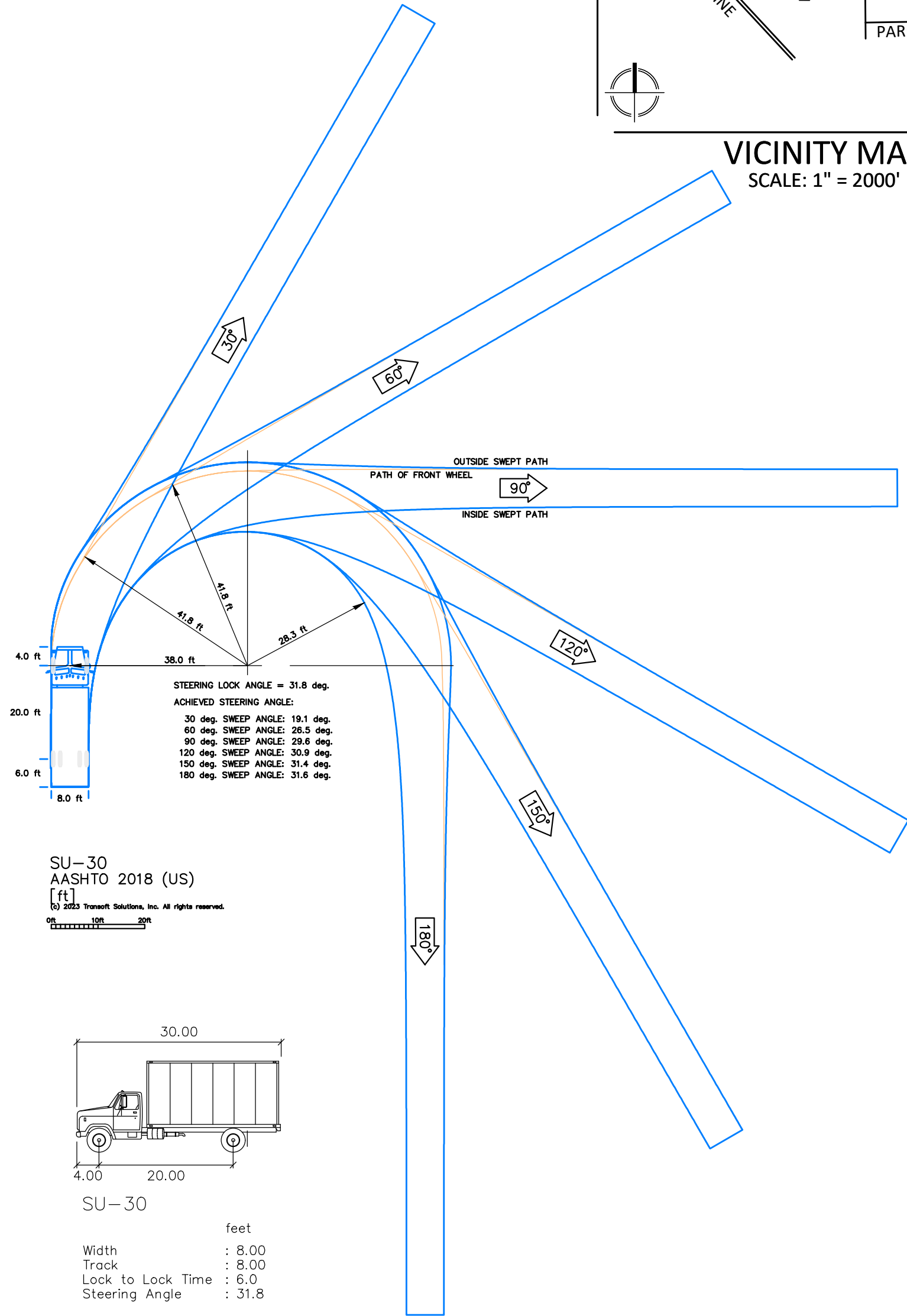
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VICINITY MAP  
SCALE: 1" = 2000'



SU-30 RIGHT TURN IN

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CONTACT: WILL ZEID

REVISIONS	DATE

## HALPINE ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

## SU-30 MOVEMENT STUDY



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LICENSE NO.: 27721  
EXPIRATION DATE: JULY 19, 2024

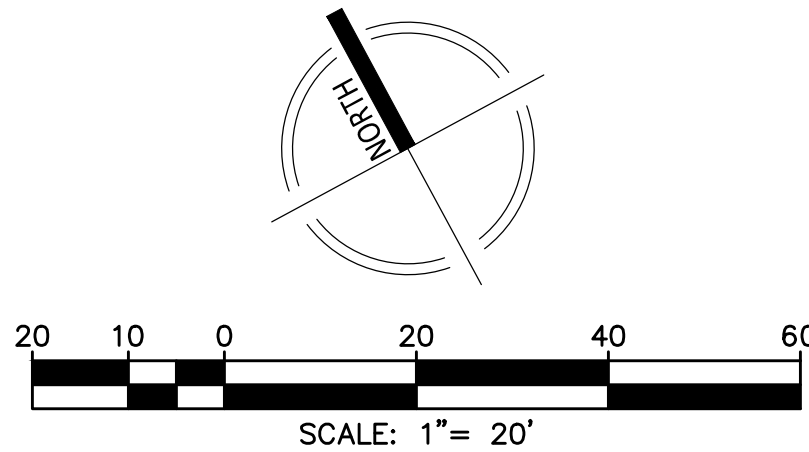
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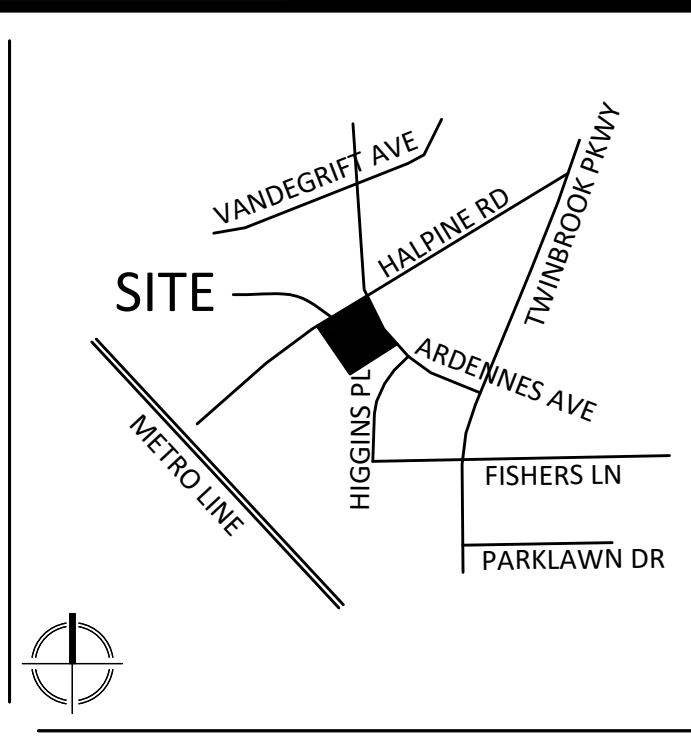
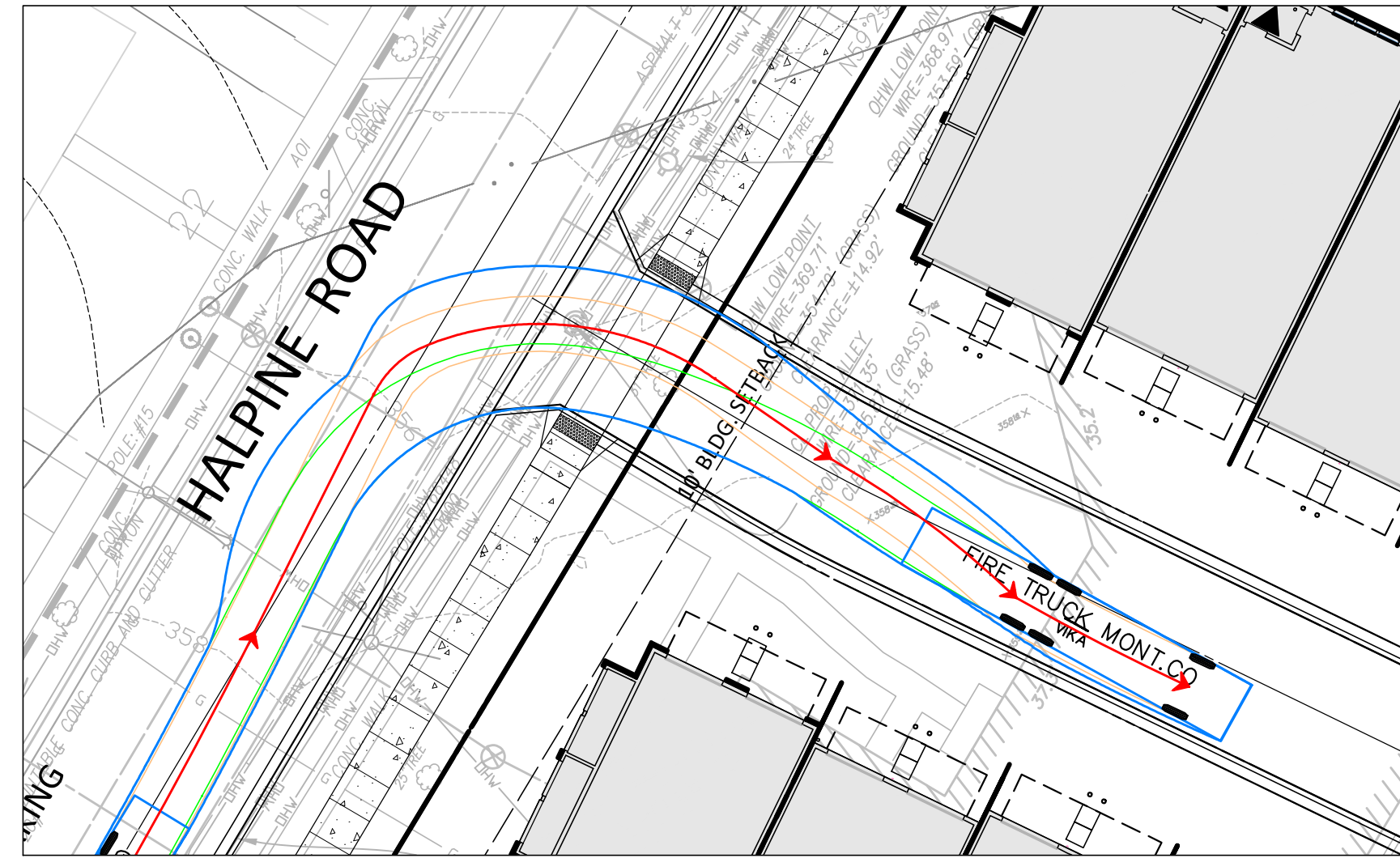
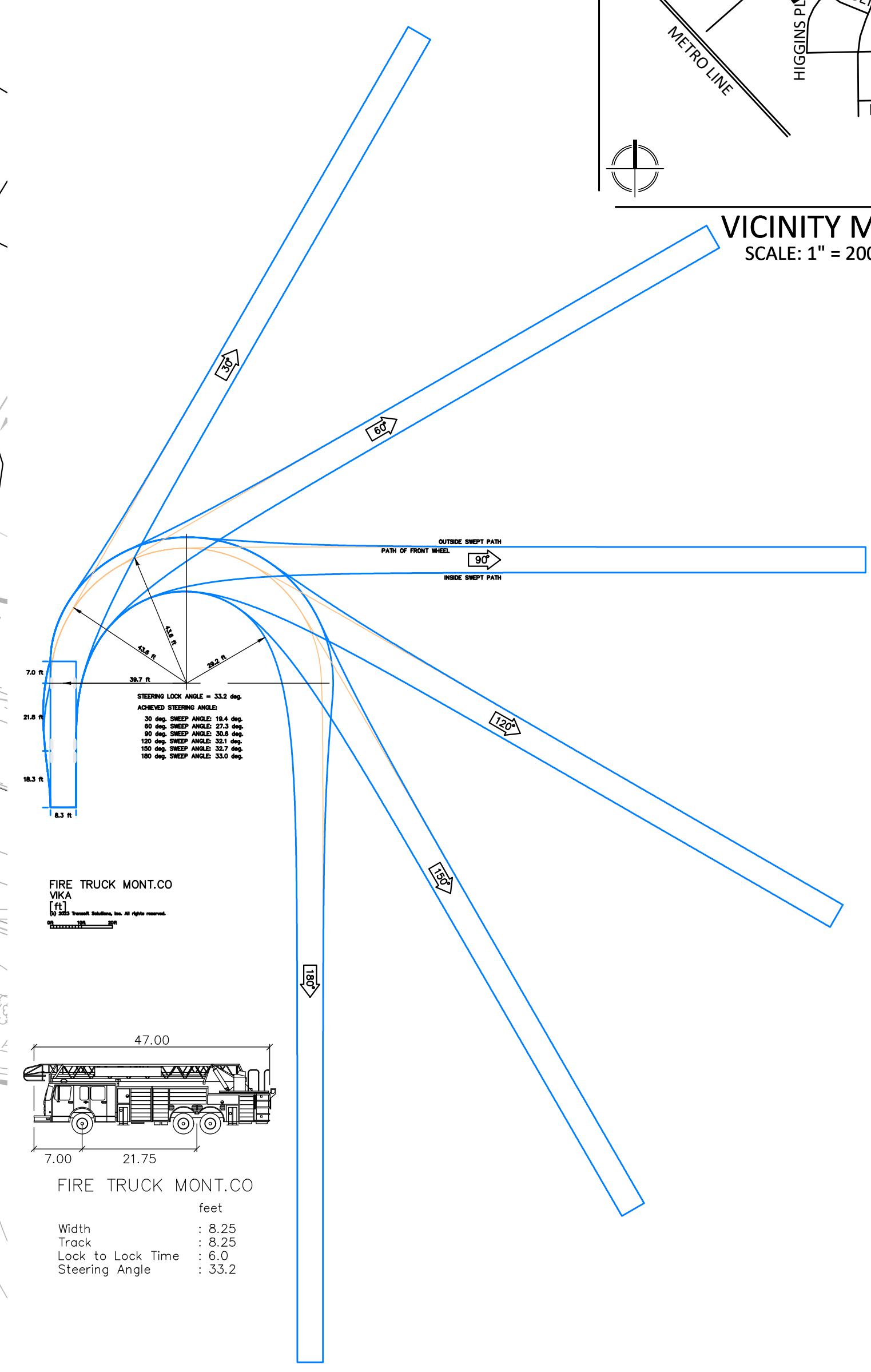
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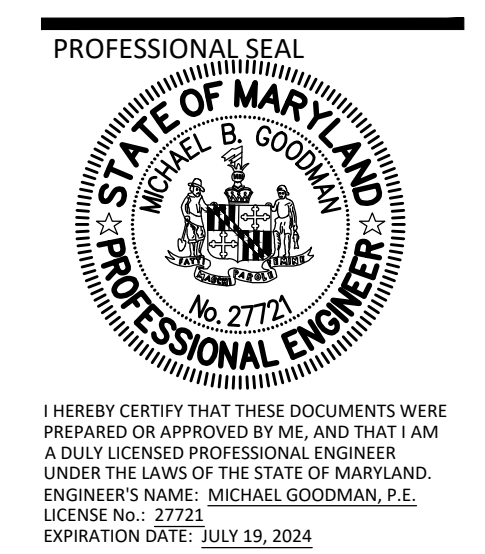
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**GROVE SLADE**  
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HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

# FIRE TRUCK MOVEMENT STUDY



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DRAWN BY: EJS

DESIGNED BY: MBG

DATE ISSUED: 12/01/2023

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VIKA  
PROJECT VM50639A

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DRAWING  
NO.

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SHEET NO. SP-8

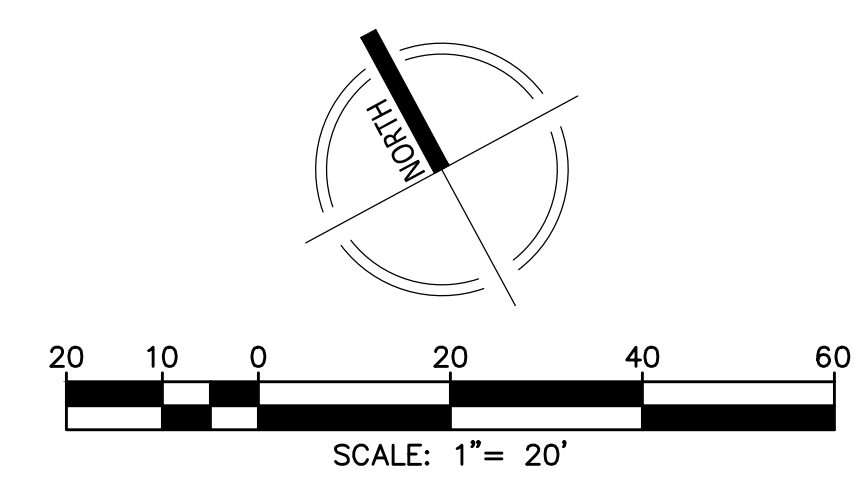
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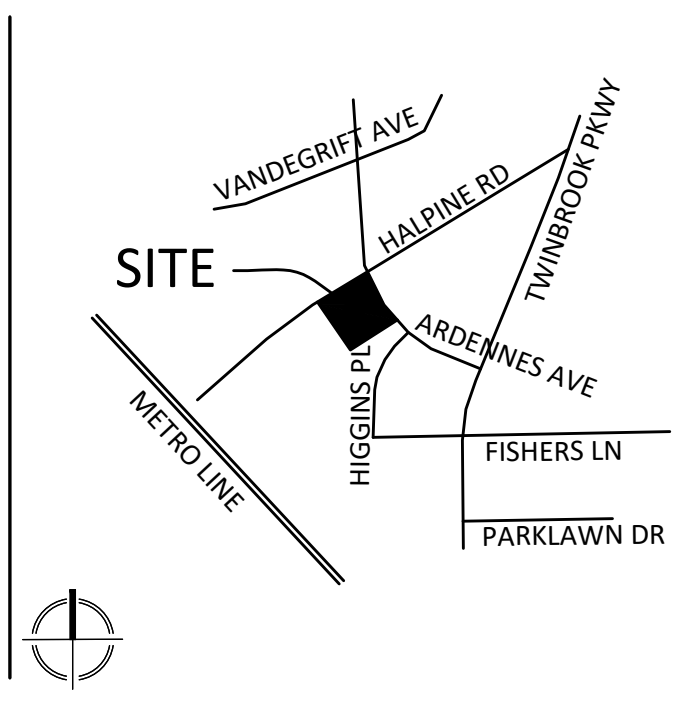
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Community Planning & Development Services  
Received  
December 15, 2023



# HALPINE ROAD



VICINITY MAP  
SCALE: 1" = 2000'

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202.296.8625  
CONTACT: WILL ZEID

[illegible]

HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

LANDSCAPE  
COVER

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
 NAME: ESRA SOYUTULU, RLA, LEED AP ND  
 LICENSE NO: 3960  
 EXPIRATION DATE: 03/09/2025

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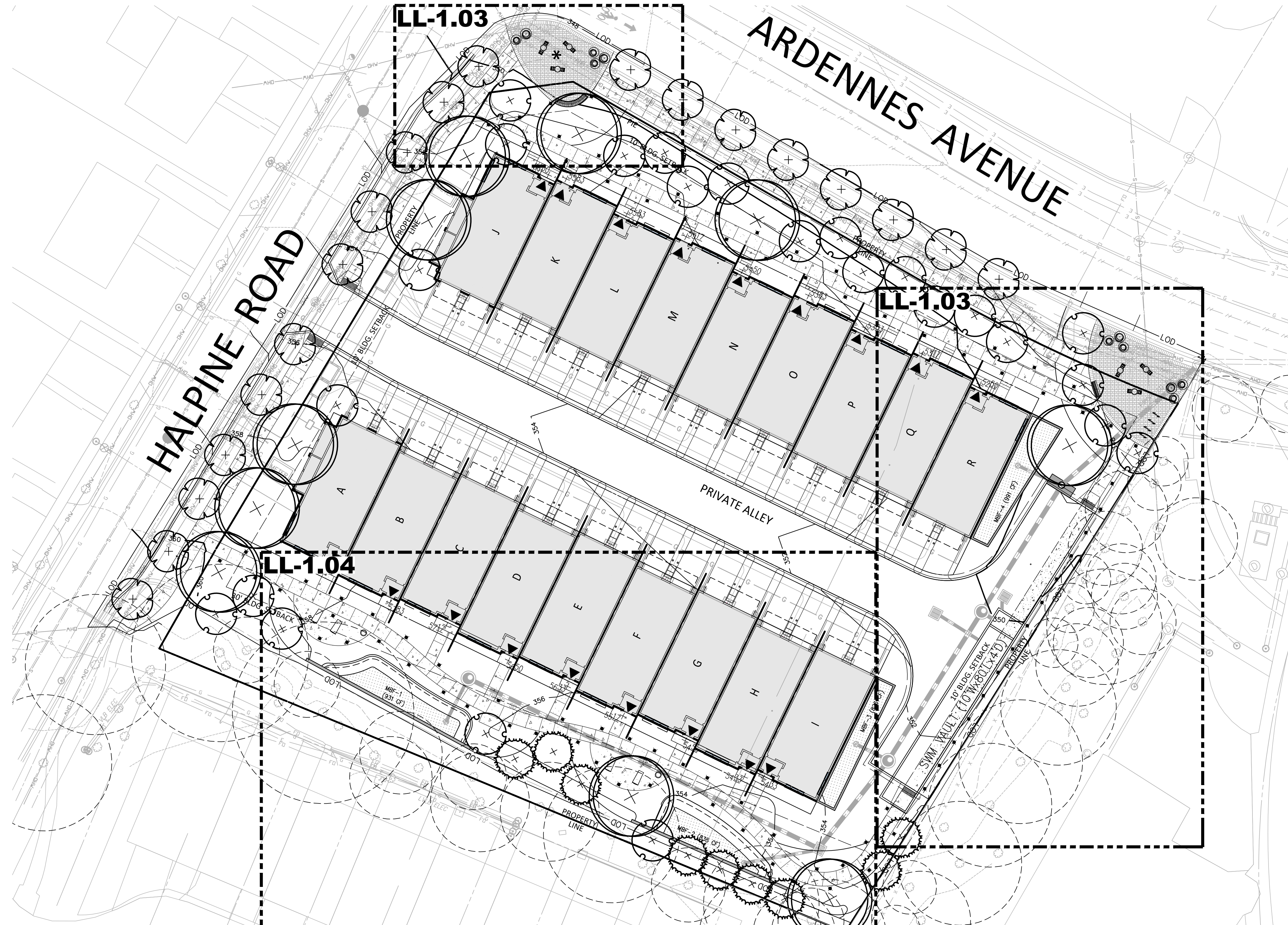
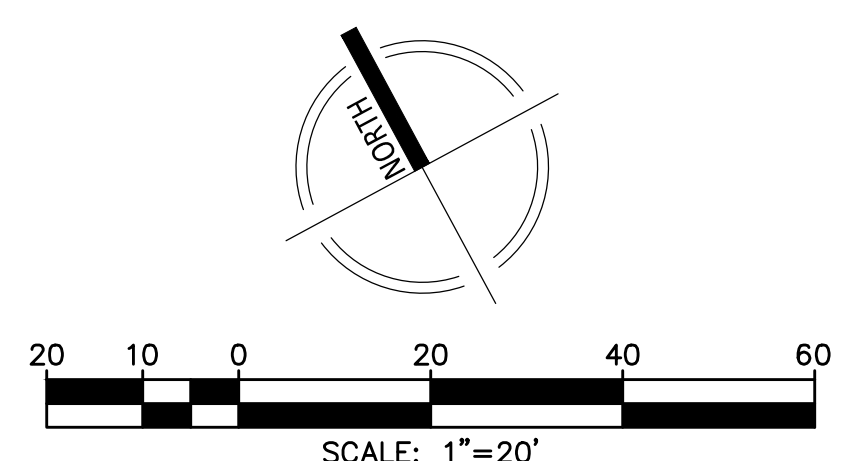
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DATE ISSUED: 12/01/2023

VIKA  
PROJECT **VM50639A**

DRAWING  
NO. **1**

SHEET NO. **1**



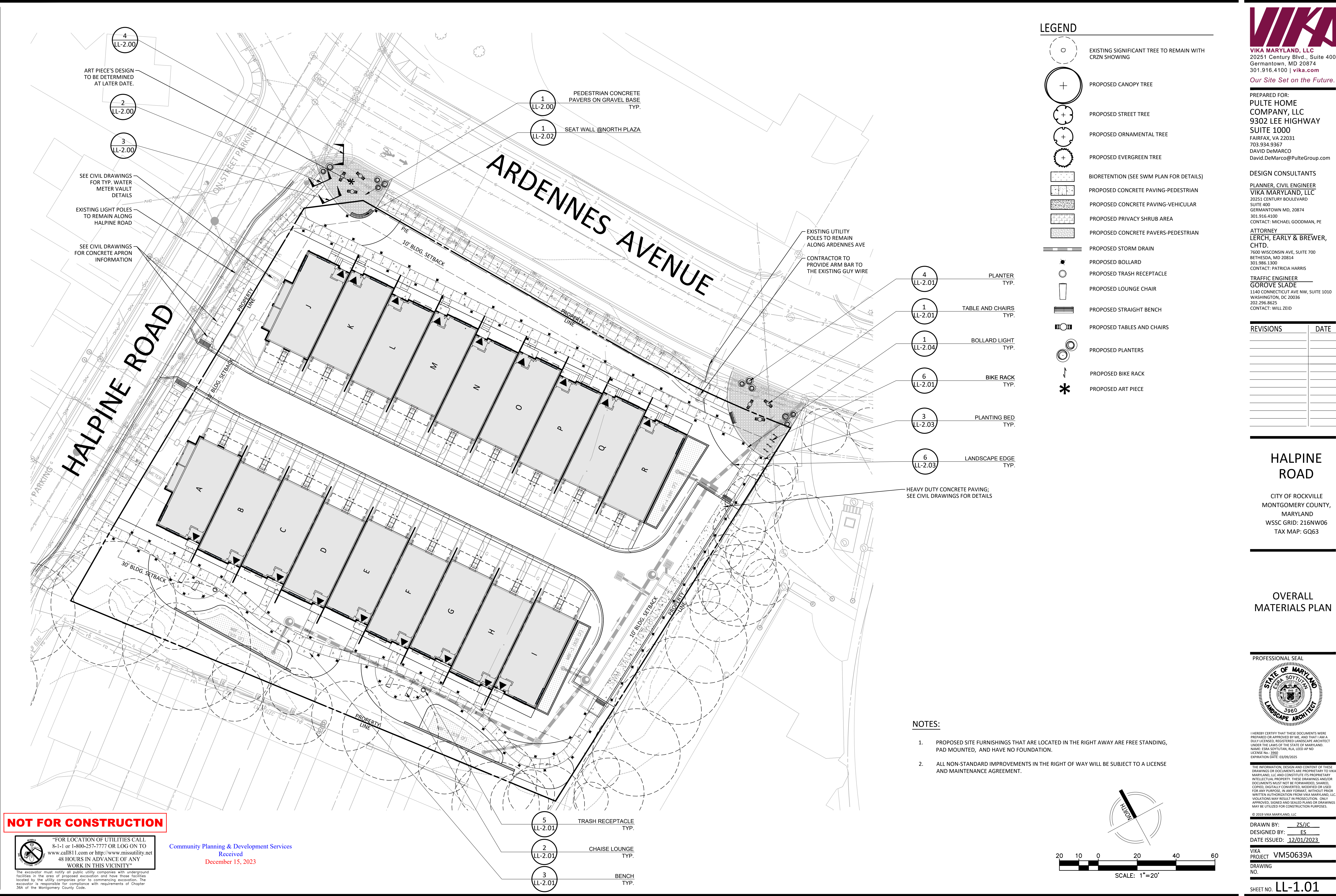
### LEGEND

- |  |                          |  |   |  |                            |  |                    |
|--|--------------------------|--|---|--|----------------------------|--|--------------------|
|  | PROPOSED CANOPY TREE     |  | EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING |  | PROPOSED STORM DRAIN       |  | PROPOSED PLANTERS  |
|  | PROPOSED STREET TREE     |  | BIORETENTION (SEE SWM PLAN FOR DETAILS)               |  | PROPOSED TRASH RECEPTACLE  |  | PROPOSED BIKE RACK |
|  | PROPOSED ORNAMENTAL TREE |  | PROPOSED CONCRETE PAVING-PEDESTRIAN                   |  | PROPOSED LOUNGE CHAIR      |  | PROPOSED ART PIECE |
|  | PROPOSED EVERGREEN TREE  |  | PROPOSED CONCRETE PAVING-VEHICULAR                    |  | PROPOSED STRAIGHT BENCH    |  |                    |
|  |                          |  | PROPOSED PRIVACY SHRUB AREA                           |  | PROPOSED TABLES AND CHAIRS |  |                    |
|  |                          |  | PROPOSED CONCRETE PAVERS-PEDESTRIAN                   |  |                            |  |                    |

## LANDSCAPE PLAN INDEX

- |         |                               |
|---------|-------------------------------|
| LL-1.00 | LANDSCAPE COVER               |
| LL-1.01 | OVERALL MATERIALS PLAN        |
| LL-1.02 | OVERALL TREE PLANTING PLAN    |
| LL-1.03 | PLANTING PLAN ENLARGEMENTS    |
| LL-1.04 | PLANTING PLAN ENLARGEMENT     |
| LL-2.00 | PAVER DETAILS                 |
| LL-2.01 | SITE DETAILS                  |
| LL-2.02 | SITE DETAILS                  |
| LL-2.03 | PLANTING DETAILS AND SCHEDULE |
| LL-2.04 | LIGHTING DETAILS              |
| LL-3.00 | LIGHTING PLAN                 |
| LL-4.00 | OPEN SPACE PLAN               |

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LEGEND

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- PROPOSED BOLLARD
- PROPOSED TRASH RECEPTACLE
- PROPOSED LOUNGE CHAIR
- PROPOSED STRAIGHT BENCH
- PROPOSED TABLES AND CHAIRS
- PROPOSED PLANTERS
- PROPOSED BIKE RACK
- PROPOSED ART PIECE

- 4 LL-2.01 PLANTER TYP.
- 1 LL-2.01 TABLE AND CHAIRS TYP.
- 1 LL-2.04 BOLLARD LIGHT TYP.
- 6 LL-2.01 BIKE RACK TYP.
- 3 LL-2.03 PLANTING BED TYP.
- 6 LL-2.03 LANDSCAPE EDGE TYP.

HEAVY DUTY CONCRETE PAVING;  
SEE CIVIL DRAWINGS FOR DETAILS

NOTES:

- PROPOSED SITE FURNISHINGS THAT ARE LOCATED IN THE RIGHT AWAY ARE FREE STANDING, PAD MOUNTED, AND HAVE NO FOUNDATION.
- ALL NON-STANDARD IMPROVEMENTS IN THE RIGHT OF WAY WILL BE SUBJECT TO A LICENSE AND MAINTENANCE AGREEMENT.



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HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: Z16NW06  
TAX MAP: GQ63

OVERALL  
MATERIALS PLAN

PROFESSIONAL SEAL



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VIKA PROJECT: VM50639A  
DRAWING NO.

SHEET NO. LL-1.01

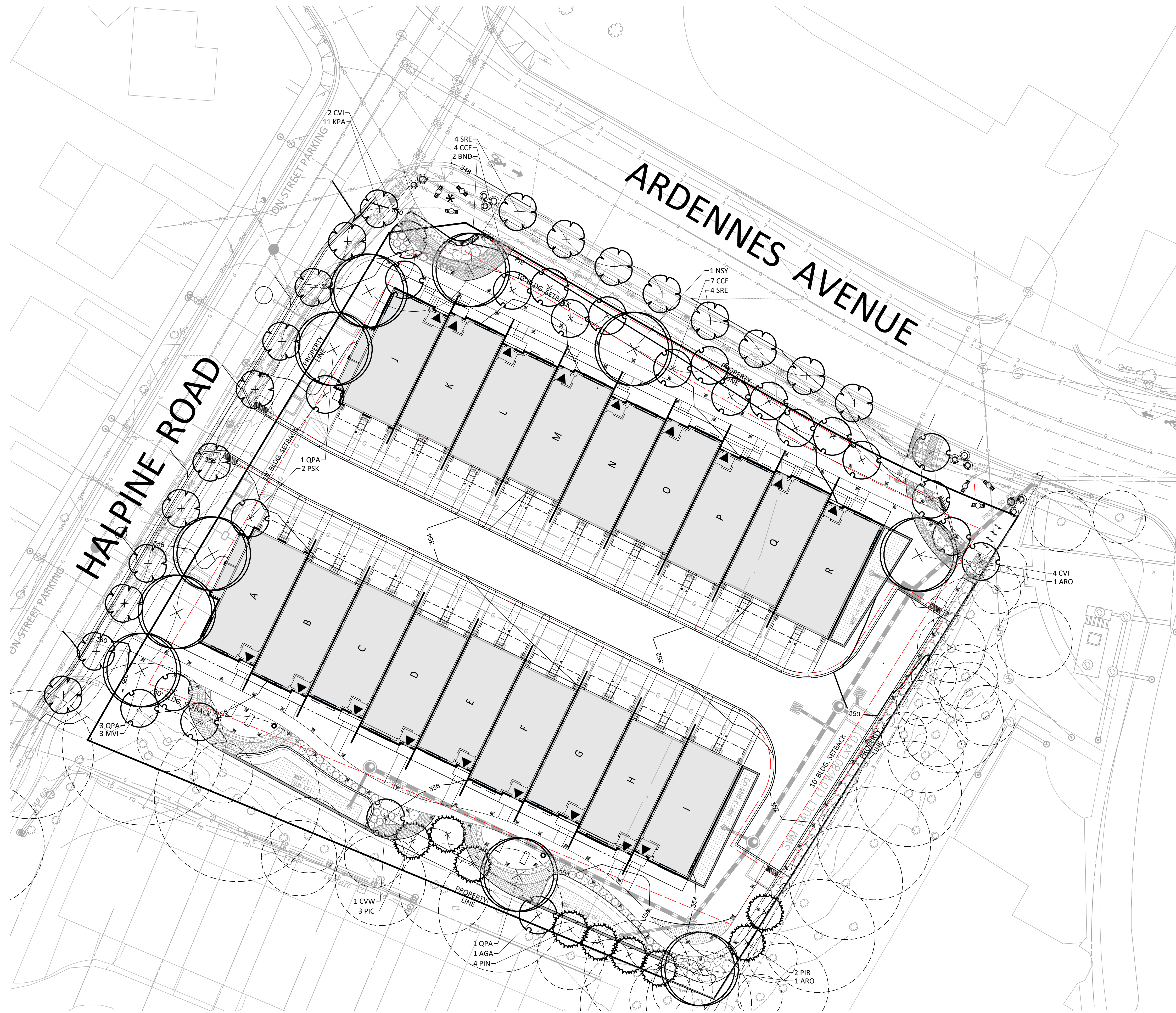
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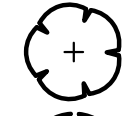
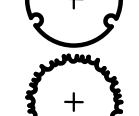
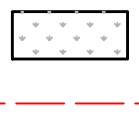



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PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME
<b>CANOPY TREES</b>	
ARO	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE
BND	BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH
NSY	NYSSA SYLVATICA / TUPELO
QPA	QUERCUS PALUSTRIS / PIN OAK
<b>EVERGREEN TREES</b>	
PIC	PICEA ABIES / NORWAY SPRUCE
PIR	PICEA RUBENS / RED SPRUCE
PIN	PINUS STROBUS / WHITE PINE
<b>ORNAMENTAL AND UNDERSTORY TREES</b>	
AGA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY
CCF	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD
CVI	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
CVW	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN
MVI	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
PSK	PRUNUS SERRULATA 'KWANZAN' / KWANZAN JAPANESE FLOWERING CHERRY
<b>STREET TREES - ORNAMENTAL</b>	
KPA	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE
SRE	SYRINGA RETICULATA / JAPANESE TREE LILAC

LEGEND

-  EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING
-  PROPOSED CANOPY TREE
-  PROPOSED STREET TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  BIORETENTION (SEE SWM PLAN FOR DETAILS)
-  UTILITY EASEMENT
-  PROPOSED STORM DRAIN

NOTES:

- 9 SYRINGA RETICULATA PLANTED ALONG ARDENNES AVE PER CITY OF ROCKVILLE MASTER STREET TREE PLAN REQUIREMENTS-DATED JUNE 2023.
- GOLDEN RAIN TREE IS REQUIRED TO BE PLANTED ALONG HALPINE ROAD PER CITY OF ROCKVILLE MASTER STREET TREE PLAN-DATED JUNE 2023 BUT THIS SECTION OF STREETScape IS RESTRICTED DUE TO OVERHEAD UTILITIES.
- TREES ARE TO BE FIELD LOCATED WITH THE SUPERVISION OF A CERTIFIED ISA ARBORIST TO AVOID ANY IMPACTS TO CRITICAL ROOTS.
- SEE SHEET LL-1.03, LL-1.04 FOR PLANTING PLAN ENLARGEMENTS. SEE SHEET LL-2.03 FOR PLANTING DETAILS AND MASTER SCHEDULE.



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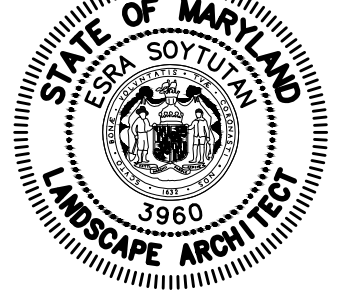
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**HALPINE ROAD**

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

OVERALL TREE PLANTING PLAN

PROFESSIONAL SEAL



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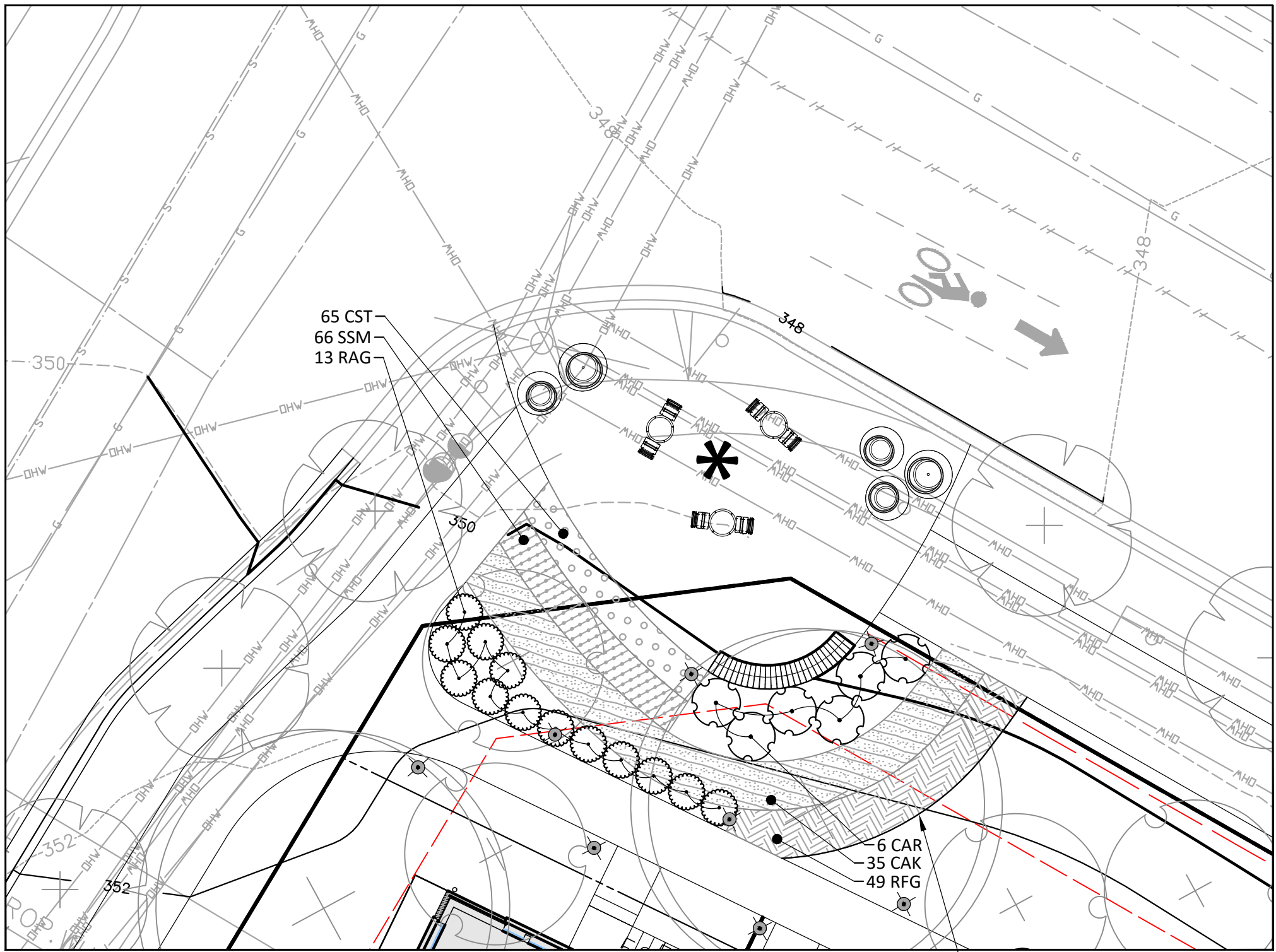
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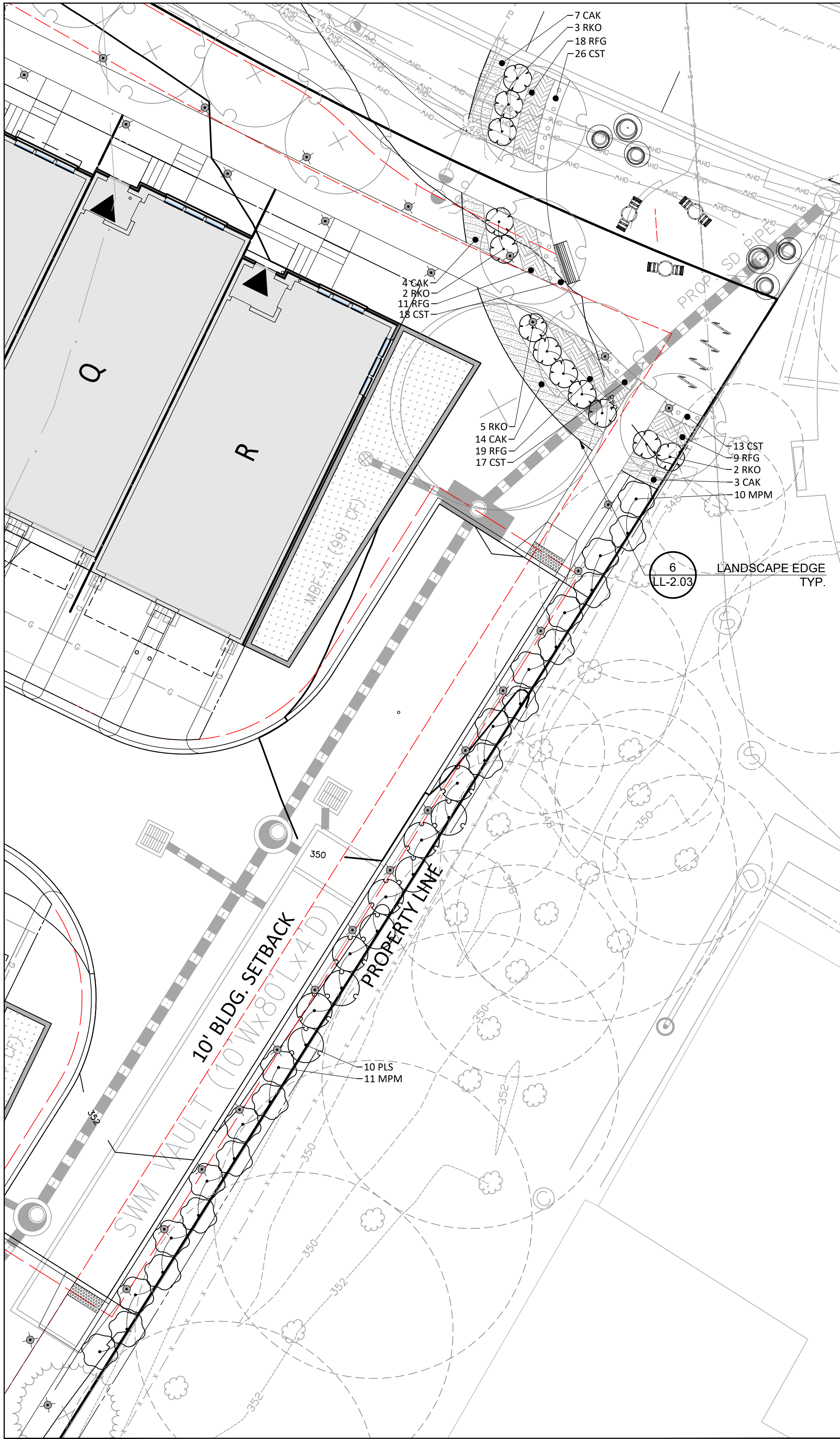
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SHEET NO. **LL-1.02**






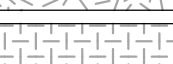
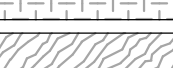
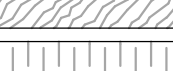


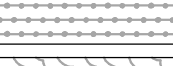




PLANTING PLAN NORTH PLAZA ENLARGEMENT



PLANTING PLAN SOUTH SIDE ENLARGEMENT

PLANT SCHEDULE

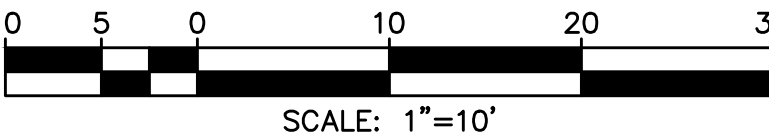
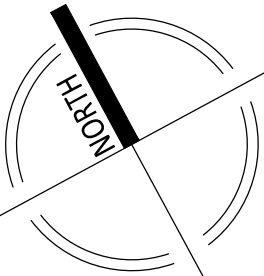
CODE	BOTANICAL / COMMON NAME
SHRUBS	
CAR	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET
FGJ	FOTHERGILLA GARDENII 'JANE PLATT' / JANE PLATT DWARF FOTHERGILLA
HQS	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA
IVH	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPICE
MPM	MYRICA PENSYLVANICA 'MORTON' / SILVER SPRITE BAYBERRY
PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL
RAG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
RKO	ROSA X 'KNOCK-OUT' RED / KNOCK OUT RED ROSE

<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
GROUND COVERS		
	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS
	CST	CAREX STRICTA / TUSsock SEDGE
	CCB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD
	PVS	PANICUM VIRGATUM 'SQUAW' / SQUAW SWITCH GRASS
	PAL	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS
	PAT	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRE' / BLUE SPIRE RUSSIAN SAGE
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER
	SSM	SALVIA X SYLVESTRIS 'MAINACHT' / MAINACHT SAGE
	SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM
		PLANT BED MIX
	EPM	ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER
	LSP	LIATRIS SPICATA / SPIKE GAYFEATHER
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

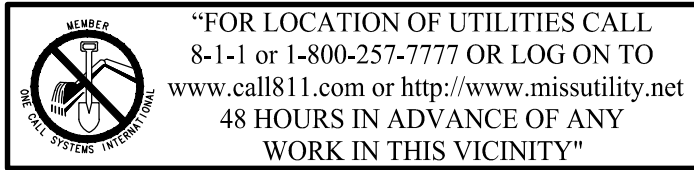
LEGEND

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	PROPOSED ORNAMENTAL TREE
	PROPOSED EVERGREEN TREE
	BIORETENTION (SEE SWM PLAN FOR DETAILS)
	UTILITY EASEMENT
	PROPOSED STORM DRAIN

**NOTES:**  
SEE SHEET LL-1.02 FOR OVERALL TREE PLANTING PLAN.  
SEE SHEET LL-2.00 FOR PLANTING DETAILED AND MASTER SCHEDULE.



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**HALPINE ROAD**

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**PLANTING PLAN ENLARGEMENTS**

PROFESSIONAL SEAL

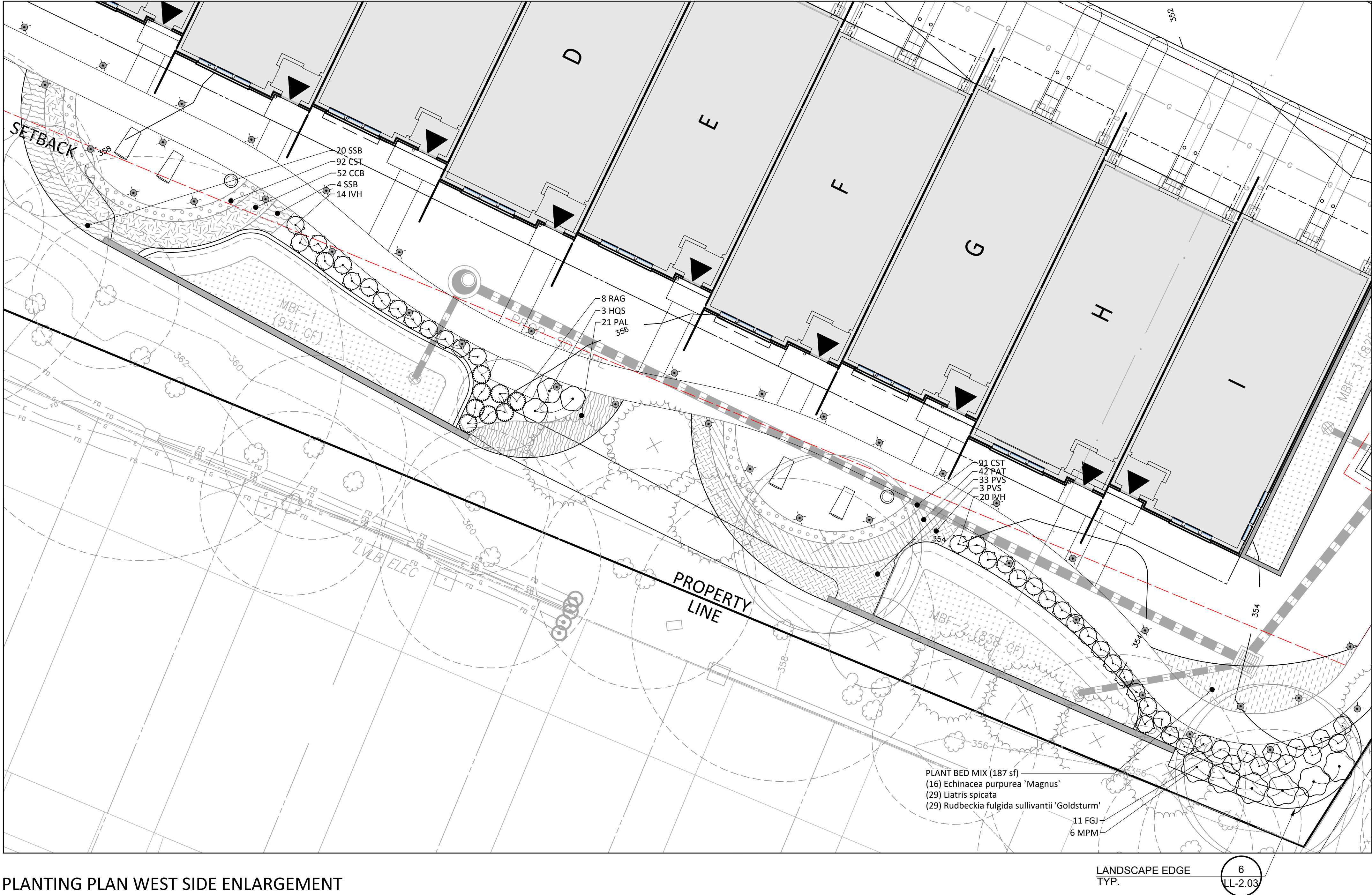


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRa SOUTTAN, RIA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

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DESIGNED BY: ES  
DATE ISSUED: 12/01/2023  
VIKA PROJECT: VM50639A  
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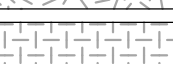

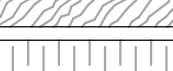



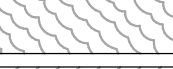



SHEET NO. **LL-1.03**



PLANTING PLAN WEST SIDE ENLARGEMENT

PLANT SCHEDULE

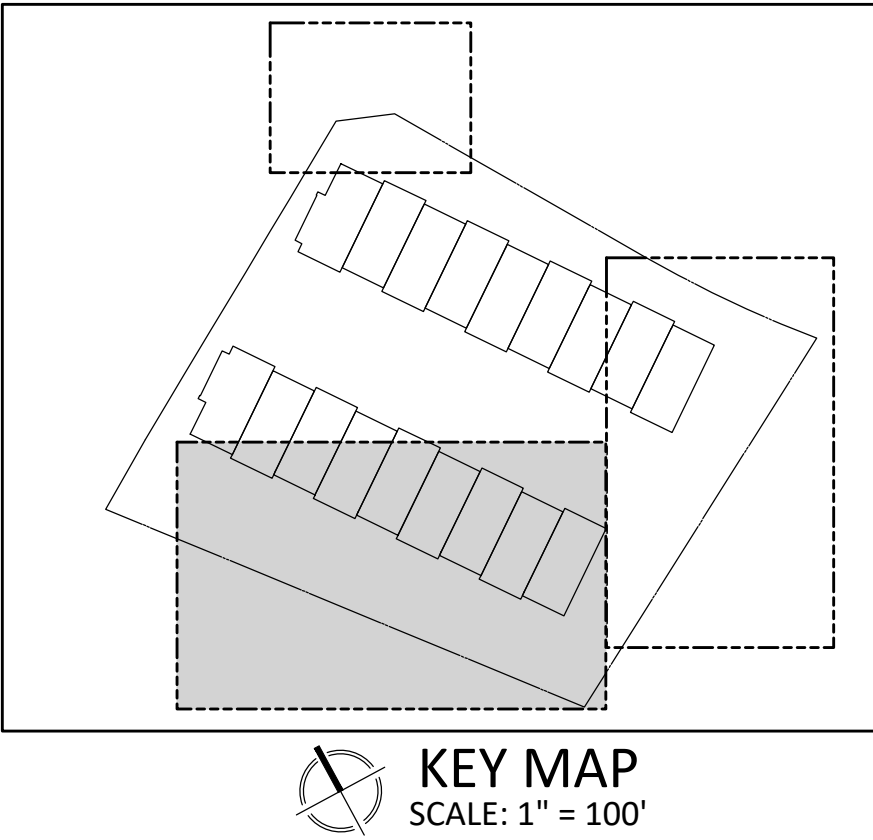
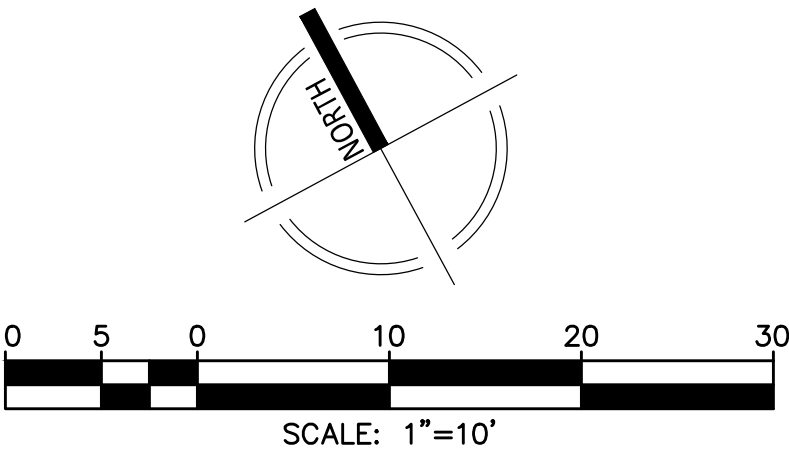
CODE	BOTANICAL / COMMON NAME
SHRUBS	
CAR	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET
FGJ	FOTHERGILLA GARDENII 'JANE PLATT' / JANE PLATT DWARF FOTHERGILLA
HQS	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA
IVH	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE
MPM	MYRICA PENSYLVANICA 'MORTON' / SILVER SPRITE BAYBERRY
PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL
RAG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
RKO	ROSA X 'KNOCK-OUT' RED / KNOCK OUT RED ROSE

<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
GROUND COVERS		
	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS
	CST	CAREX STRICTA / TUSSECK SEDGE
	CCB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD
	PVS	PANICUM VIRGATUM 'SQUAW' / SQUAW SWITCH GRASS
	PAL	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS
	PAT	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRE' / BLUE SPIRE RUSSIAN SAGE
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER
	SSM	SALVIA X SYLVESTRIS 'MAINACHT' / MAINACHT SAGE
	SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM
	EPM	PLANT BED MIX
	LSP	ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER
	RFG	LIATRIS SPICATA / SPIKE GAYFEATHER
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

LEGEND

- EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING
- PROPOSED CANOPY TREE
- PROPOSED STREET TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- BIORETENTION (SEE SWM PLAN FOR DETAILS)
- UTILITY EASEMENT
- PROPOSED STORM DRAIN

NOTES:  
SEE SHEET LL-1.02 FOR OVERALL TREE PLANTING PLAN.  
SEE SHEET LL-2.03 FOR PLANTING DERAILS AND MASTER SCHEDULE.



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David.DeMarco@PulteGroup.com

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CONTACT: WILL ZEID

REVISIONS	DATE

**HALPINE ROAD**

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

PLANTING PLAN ENLARGEMENT

PROFESSIONAL SEAL

ESRA SOYTUTAN  
LANDSCAPE ARCHITECT  
3960

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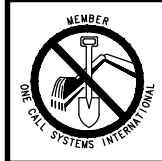
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DESIGNED BY: ES  
DATE ISSUED: 12/01/2023

VIKA  
PROJECT: **VM50639A**  
DRAWING NO. **LL-1.04**

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"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning & Development Services  
Received  
December 15, 2023

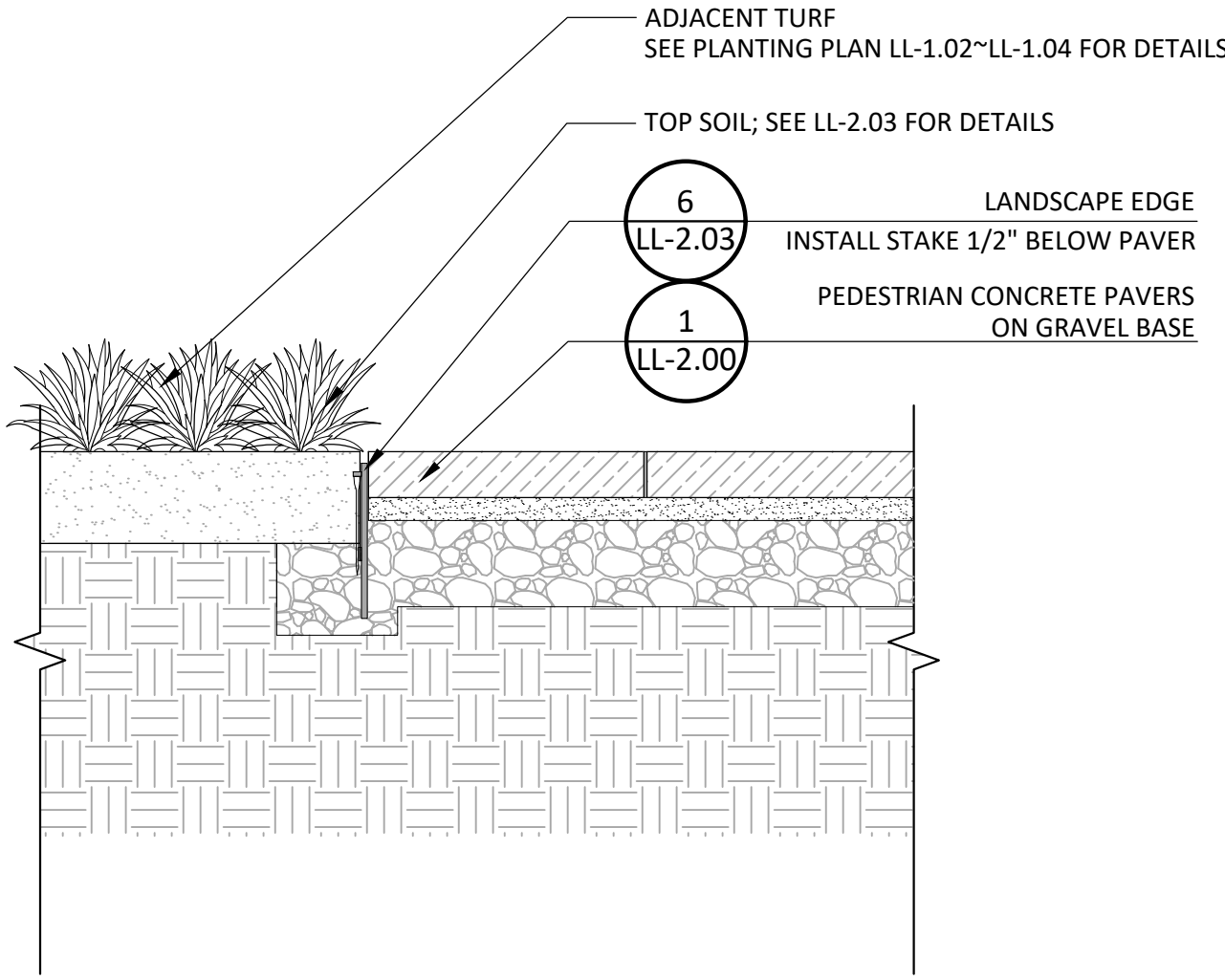
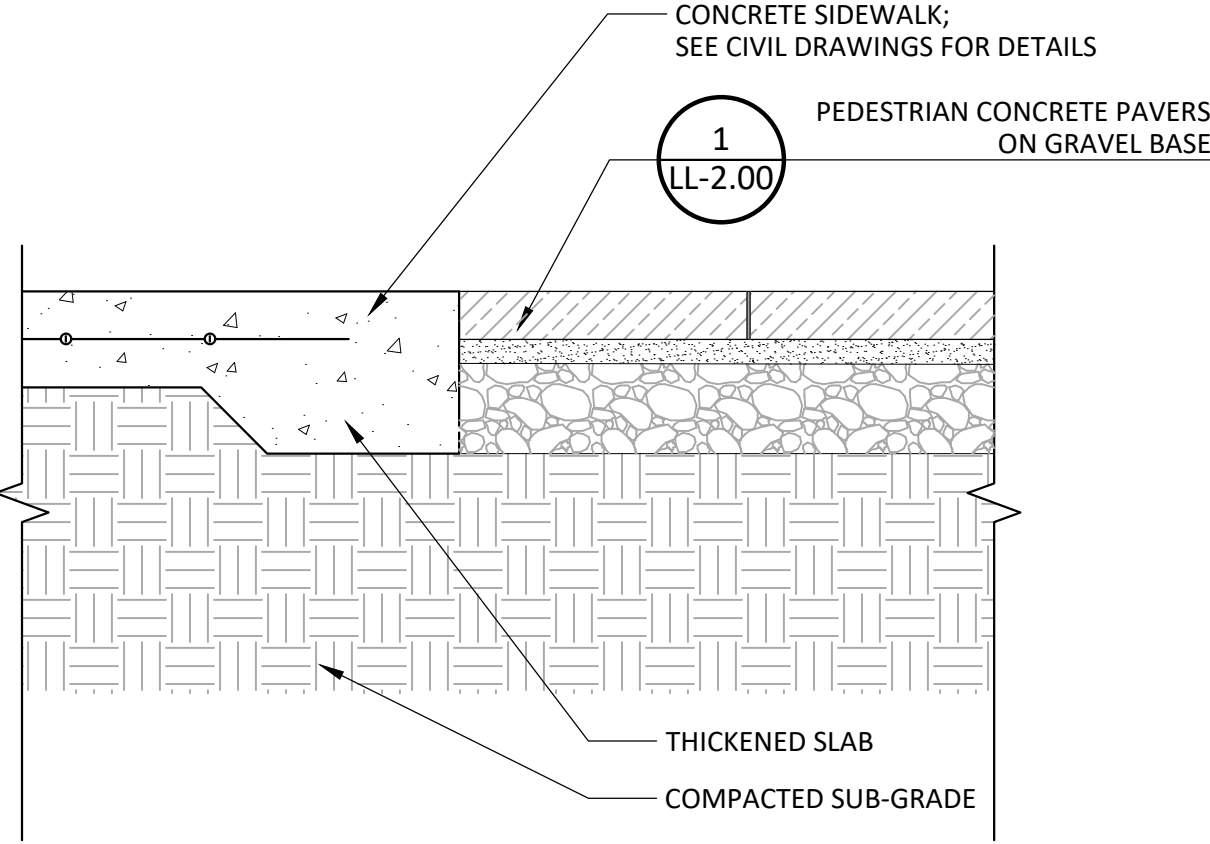
NOTES:

- JOINTS PERPENDICULAR TO CURBS SHALL BE LOCATED A MAXIMUM OF 16 FEET ON CENTER, OR LESS WHEN CHANGES OF PAVER TYPE OCCURS. JOINTS SHALL BE FULL DEPTH AND COINCIDE WITH FACTORY EDGE OF PAVER WHEREVER POSSIBLE. THIS DETAIL APPLIES WHERE PAVING MATERIALS ABUT VERTICAL SURFACES, SUCH AS WALLS AND CURBS. INSTALL STEEL EDGING AROUND THE EDGES OF THE TREE PITS.
- EXPANSION JOINTS SHALL BE LOCATED AROUND ALL UTILITY STRUCTURES, LIGHT POLE BASES, AND AT EDGES THAT ADJOIN HARD
- UNLESS OTHERWISE SHOWN ON PLAN, CONTRACTOR TO SUBMIT LAYOUT OF PROPOSED CONTRACTION EXPANSION JOINTS FOR APPROVAL PRIOR TO POURING CONCRETE

PAVER SPECIFICATIONS:

MODEL: INDUSTRIAL POLISHED COMMERCIAL  
SIZE: 3 7/8" HEIGHT X 7 7/8" WIDTH X 7 7/8" LENGTH  
MATERIAL: CONCRETE  
COLOR: BEIGE CREAM  
TEXTURE: HD<sup>2</sup> POLISHED  
INSTALLATION: GRAVEL BASE  
QUANTITY: 1,915 SQFT  
MANUFACTURER: TECO-BLOC OR APPROVED EQUAL  
WWW.TECO-BLOC.COM

"FLEXLOCK" POLYMER SAND JOINT FILL, HAND TIGHT SAND SWEEP JOINTS, 1/8" MAX. SET ALL EDGES FLUSH WITH CONCRETE CURB AND PAVEMENTS SURFACES.  
PRECAST CONCRETE PAVING UNIT  
1" SAND SETTING BED  
6" GRANULAR BASE  
NON-WOVEN GEOTEXTILE  
SUBGRADE, COMPACT TO 90% PROCTOR



1 PEDESTRIAN CONCRETE PAVERS ON GRAVEL BASE

1 1/2" = 1'-0"

P-50639-PAV-02

2 PEDESTRIAN CONCRETE PAVERS TO CONCRETE PAVING TRANSITION

1 1/2" = 1'-0"

P-50639-PAV-04

3 PEDESTRIAN CONCRETE PAVERS @ LAWN

1 1/2" = 1'-0"

P-50639-PAV-05

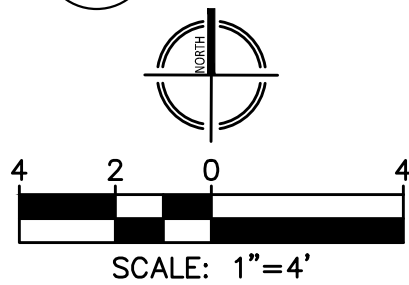
4 PEDESTRIAN CONCRETE PAVERS TO EXISTING CURB AND GUTTER

1 1/2" = 1'-0"

P-50639-PAV-06

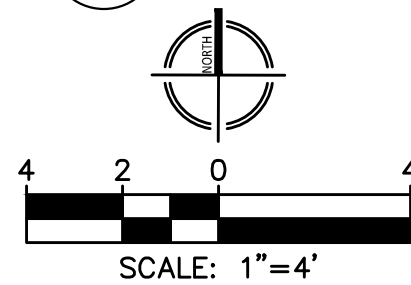
5 PAVER PATTERN @ NORTH PLAZA

805 SF



6 PAVER PATTERN @ SOUTH PLAZA

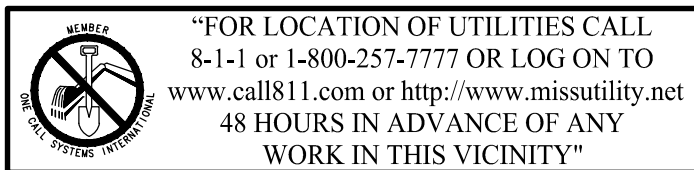
1110 SF



NOTE:

- ALL FINAL PAVEMENT SECTIONS TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED ON IN-SITU SOILS TESTING AT THE TIME OF CONSTRUCTION.

**NOT FOR CONSTRUCTION**



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WASHINGTON, DC 20036  
202.296.8625  
CONTACT: WILL ZEID

REVISIONS	DATE

**HALPINE ROAD**

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

**PAVER DETAILS**

PROFESSIONAL SEAL



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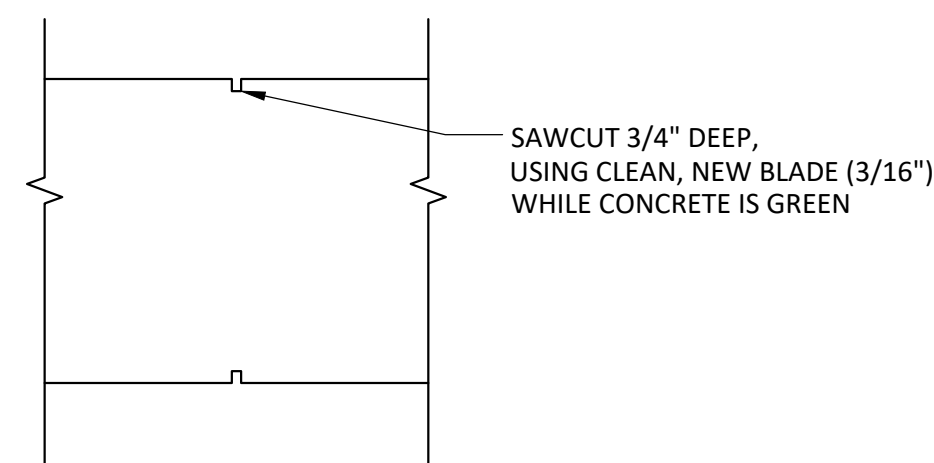
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DESIGNED BY: ES  
DATE ISSUED: 12/01/2023

VIKA  
PROJECT: VMS0639A  
DRAWING NO.

SHEET NO. **LL-2.00**





### WALL CONTROL JOINT

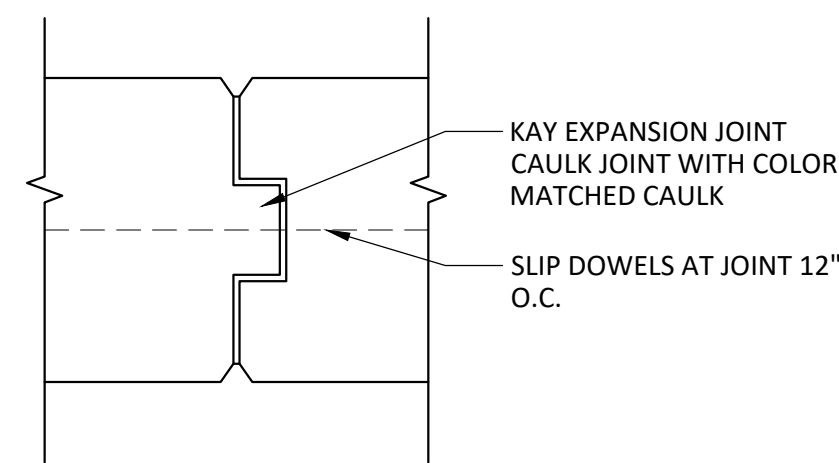


**WOOD SEATING SPECIFICATIONS:**

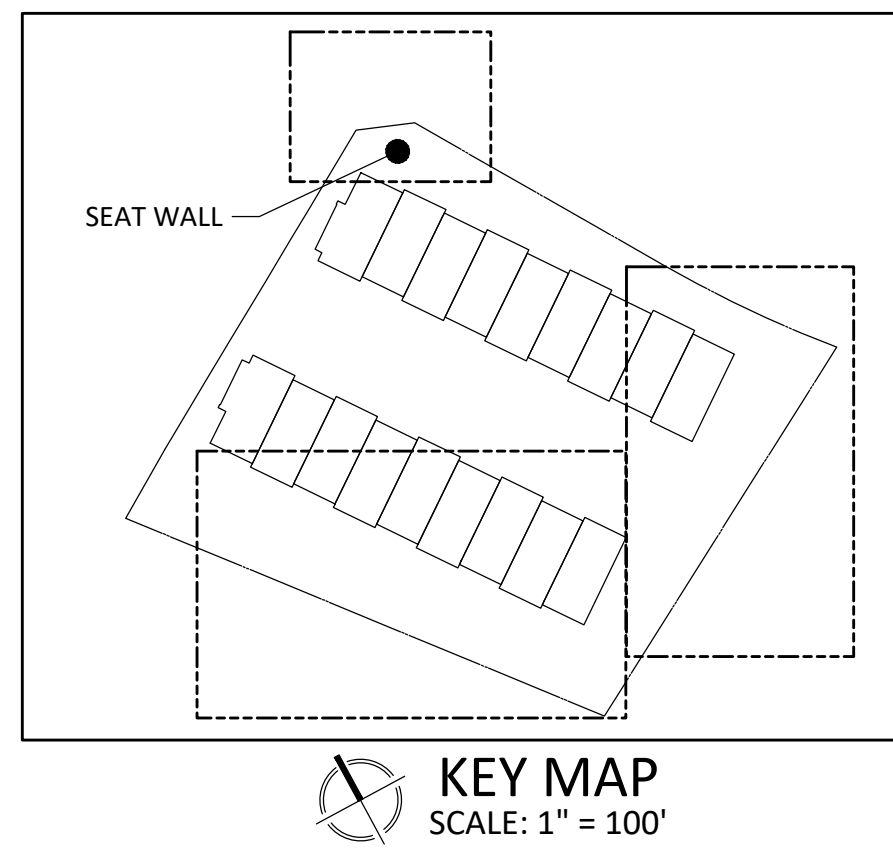
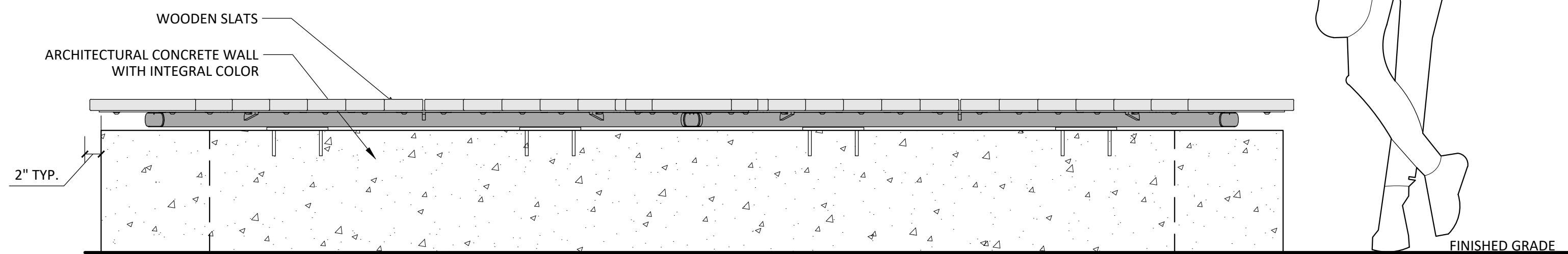
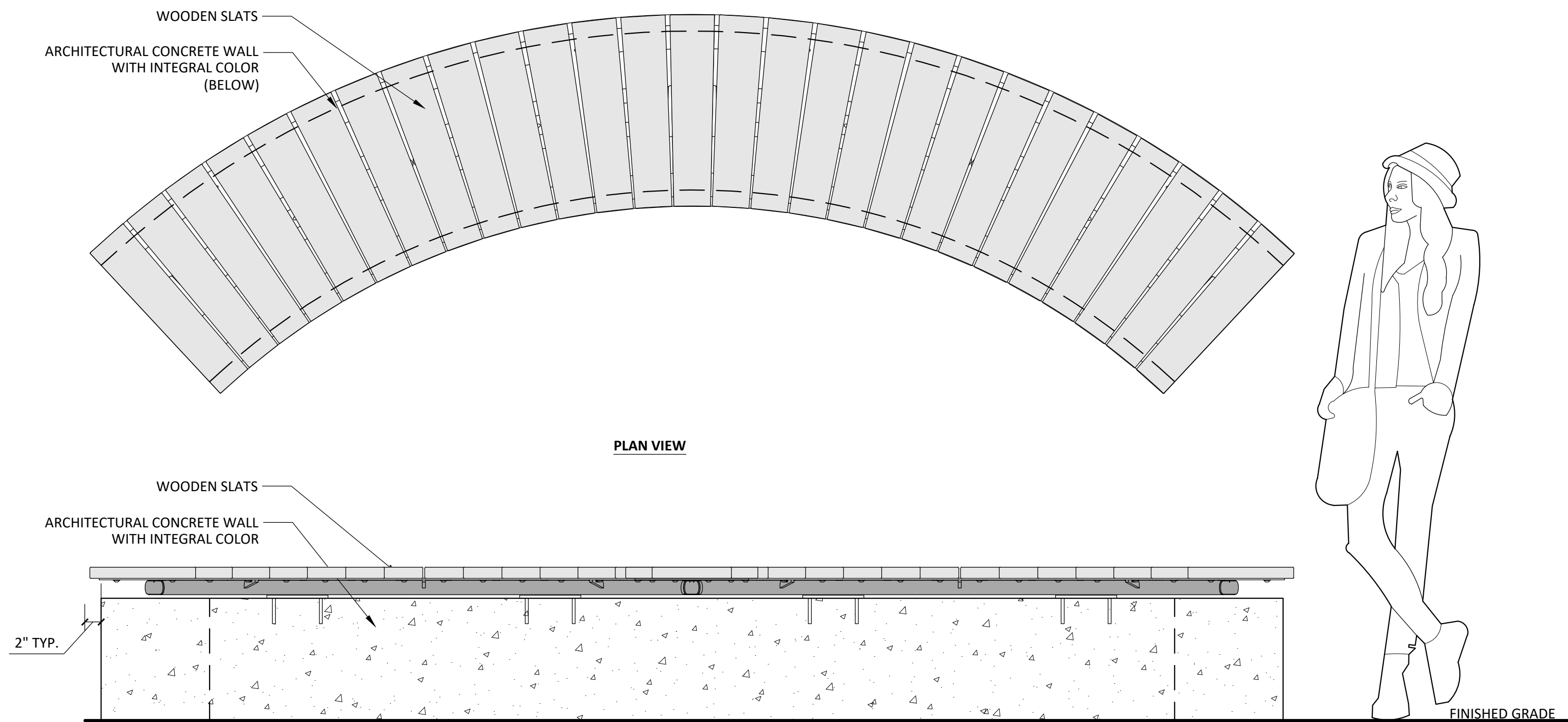
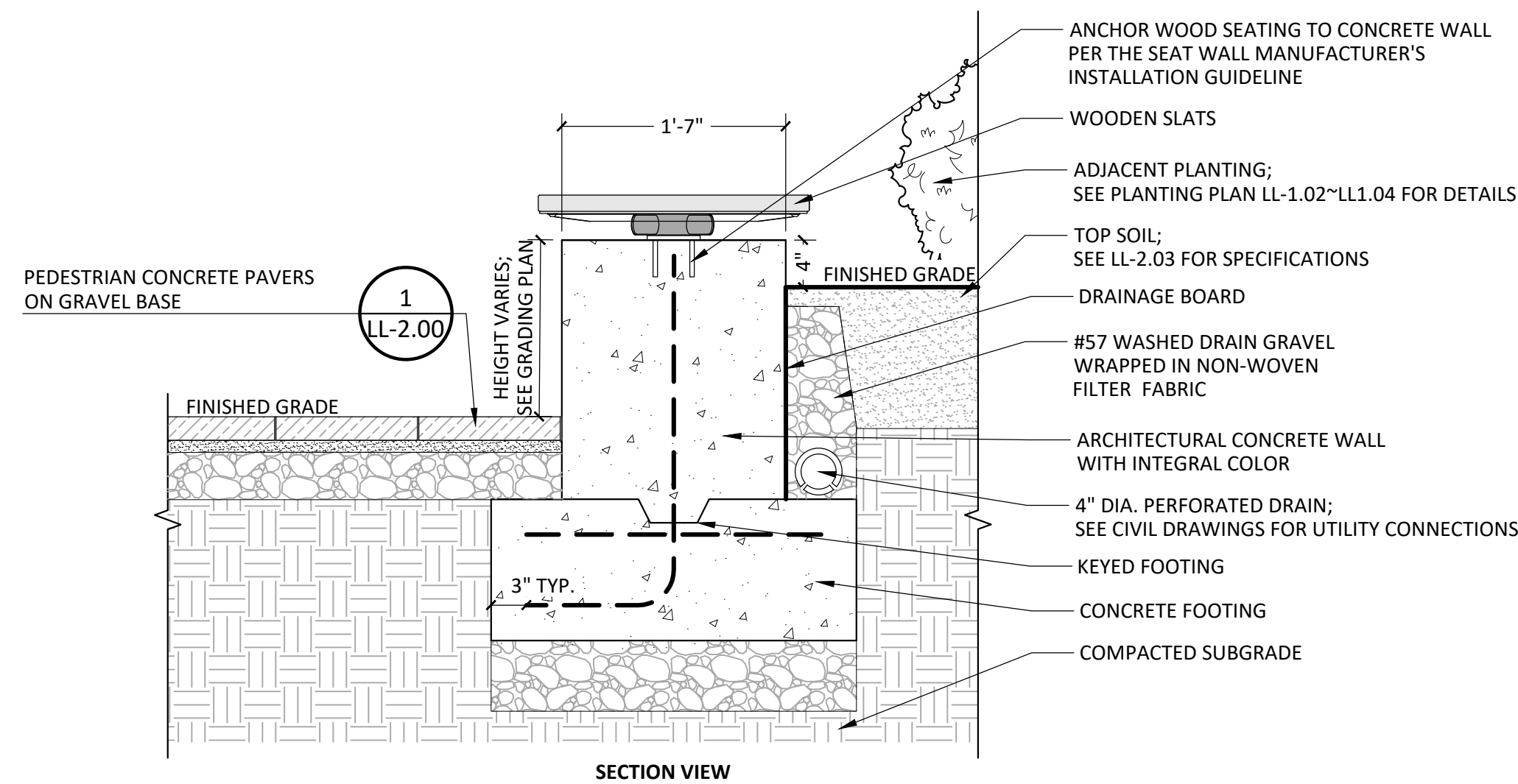
MODEL:	LINK 96" RADII PIANO KEY
SIZE:	32"H X 23"W X 74"L
COLOR:	SUBMIT SAMPLES TO LANDSCAPE ARCHITECT
MATERIAL:	CARBON STEEL FRAME WITH WOODEN SLATS
INSTALLATION:	SURFACE MOUNTED
QUANTITY:	2
MANUFACTURER:	LANDSCAPE FORMS OR APPROVED EQUAL <a href="http://WWW.LANDSCAPEFORMS.COM">WWW.LANDSCAPEFORMS.COM</a>

**NOTES:**

1. WATER PROOFING TO BE APPLIED TO SURFACE OF MASONRY WALL ADJACENT TO PLANTER SOIL.
2. SEE CIVIL DRAWING FOR GRADING AND WALL LAYOUT.
3. SEE STRUCTURAL DRAWINGS FOR FOOTING AND REINFORCEMENT INFORMATION.
4. CONTRACTOR TO SUBMIT SHOP DRAWINGS.
5. SIDES OF WALL TO BE BOARD FORMED CONCRETE, TOP RUBBED FINISH, AND TOWELED SMOOTH.
6. ALL CON CRETE TO BE INTEGRAL COLOR.
7. CONTRACTOR TO PROVIDE WORK SAMPLE PF COLOR AND FINISH FOR APPROVAL.
8. ALL EXPANSION JOINTS TO BE CAULKED.



### WALL EXPANSION JOINT



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202.296.8625  
CONTACT: WILL ZEID

[illegible]

HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

## SITE DETAILS

PROFESSIONAL SEAL



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DRAWN BY: EJS/JC  
DESIGNED BY: MBG/ES  
DATE ISSUED: 12/01/2023

VIKA 11250600A

PROJECT VV130039A

DRAWING  
NO.

SHEET NO. **LL-2.02**

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Community Planning & Development Services  
Received

Received

December 15, 2023

LAYOUT: LL-2.02, Plotted By: stebbins

# GENERAL PLANTING NOTES

## PLANT / MATERIAL NOTES

### PLANT IDENTIFICATION:

- ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING AND ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE.
- STATE OR FEDERAL NURSERY INSPECTION CERTIFICATES SHALL BE FURNISHED TO THE OWNER UPON REQUEST.
- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. PLANT QUANTITIES SHOWN ON THE PLAN SHALL GOVERN OVER THOSE SHOWN ON THE PLANT LIST.
- CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS.
- PLANTS WILL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND CONFORM IN GENERAL TO THE REPRESENTATIVE SPECIES. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND NINCPIC. ANY SUBSTITUTIONS MADE WITHOUT THIS APPROVAL MADE BE SUBJECT TO REJECTION AND REMOVAL AT THE CONTRACTOR'S EXPENSE.
- PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE AND VARIETY. PLANTS DAMAGED IN HANDLING OR TRANSPORTATION MAY BE REJECTED BY THE OWNER. PLANT QUALITY:
- ALL PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND BE FREE OF PLANT DISEASE, INSECTS, EGGS AND LARVAE AND SHALL HAVE HEALTHY ROOT SYSTEMS, PLANTS SHALL BE OBTAINED FROM SITES WHICH ARE SIMILAR IN SOIL AND CLIMATIC CONDITIONS AS THOSE OF THE PROJECT SITE.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALL OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.N.L.A. SPECIFICATIONS.
- CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN THE CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- PRUNING SHALL BE DONE DURING PLANTING OPERATION.
- ALL PLANT MATERIAL IN TRANSIT SHALL BE COVERED WITH BURLAP OR SIMILAR COVER TO KEEP IT FROM WIND DAMAGE AND DRYING OUT.

### PLANT SIZE:

- ALL PLANT SIZES SHALL AVERAGE AT LEAST THE MIDDLE OF THE PLANT RANGE GIVEN IN THE PLANT LIST, BUT IN NO CASE SHALL ANY PLANT BE LESS THAN THAT SIZE STATED FOR THAT SPECIES.
- CALIPER MEASUREMENTS SHALL BE TAKEN AT A POINT ON THE TRUNK 6 INCHES ABOVE NATURAL GRADE FOR TREES UP TO 4 INCHES IN DIAMETER; AND AT A POINT 12 INCHES ABOVE NATURAL GRADE FOR TREES OVER 4 INCHES IN DIAMETER.
- SINGLE TRUNK TREES SHALL NOT INCLUDE THE "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE.
- SHRUBS HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED FROM THE END OF THE BRANCHING, EQUALLY AROUND THE PLANT. MEASUREMENTS SHALL NOT INCLUDE TERMINAL GROWTH.
- HEIGHT AND SPREAD DIMENSIONS SPECIFIED SHALL REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP.

### MULCH:

- MULCH SHALL BE EITHER COMPOSTED HARDWOOD BARK, FINE SHREDDED HARDWOOD BARK, PINE BARK OR APPROVED EQUAL, AND FREE OF FOREIGN MATTER. FERTILIZER: FERTILIZER SHALL BE GRANULAR, PACKET OR PELLET, WITH 35% TO 50% OF TOTAL NITROGEN IN ORGANIC FORM. IT SHALL BE A COMPLETE FERTILIZER WITH A MINIMUM ANALYSIS OF 10% NITROGEN, 6% PHOSPHOROUS AND 4% POTASSIUM. GRANULAR FERTILIZER SHALL BE APPLIED TO THE SOIL MIX WITH A 10-6-4 ANALYSIS AT THE FOLLOWING RATES: TREE PITS, 2-3 LBS. PER INCH OF TRUNK DIAMETER; SHRUB BEDS, 2 LBS. PER 100 SQUARE FEET OF AREA (OR 1/4 LB. PER FOOT OF HEIGHT OR SPREAD); GROUND COVER, VINE AND HERBACEOUS PLANTS, 2-3 LBS. PER 100 SQUARE FEET. THE OWNER RESERVES THE RIGHT TO DETERMINE THE TIME FERTILIZATION SHOULD OCCUR WITHIN THE ONE YEAR GUARANTEE PERIOD.
- TOPSOIL, IF REQUIRED, SHALL BE FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, CLUMPS, PLANTS, AND THEIR ROOT DEBRIS AND OTHER EXTRANEEOUS MATTER OF 1 INCH IN DIAMETER, AND CAPABLE OF PERMITTING VIGOROUS PLANT GROWTH. TOPSOIL SHALL HAVE A pH RANGE OF 6.0 TO 6.5, WITH A pH RANGE OF 5.0 TO 5.5 FOR PLANTS REQUIRING ACID SOILS. CONTRACTOR SHALL PROVIDE SOIL ANALYSIS TO OWNER PRIOR TO IMPORTING TOPSOIL ONTO THE PROJECT SITE.

## PLANTING NOTES

### LOCATION:

- PLANT LOCATIONS WILL BE STAKED BY THE LANDSCAPE CONTRACTOR AND WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO PLANT LOCATIONS IN THE FIELD SO AS TO AVOID UTILITIES, SWALES AND OTHER UNFORESEEN CONFLICTS. IF UNUSUALLY LARGE DISCREPANCIES ARISE BETWEEN ACTUAL FIELD LIMITS AND THOSE PLANTING AREAS SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE CONTRACTOR'S NEED TO RELOCATE THE PLANT MATERIAL AT HIS OWN EXPENSE.
- TREES AND SHRUBS THAT ARE TO BE PLANTED IN UNIFORM MASSES AND/OR ROWS SHALL BE OF UNIFORM SIZE, SHAPE, AND VIGOR.

## MAINTENANCE / WARRANTY NOTES: CONTRACTOR RESPONSIBILITIES

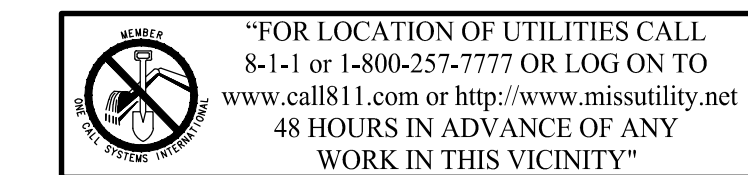
### MAINTENANCE:

- THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND UP TO THE TIME OF FINAL ACCEPTANCE FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, RE-STAKING AND CLEANING UP AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT TIME OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE REQUIRED TO REMOVE ALL DEBRIS, TRASH, AND UNNECESSARY MATERIALS FROM THE AREA OF WORK AND/OR THE PROPERTY ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE ALL DEAD PLANT MATERIAL FROM THE JOB SITE ON A WEEKLY BASIS. CONTRACTOR SHALL ALSO BE REQUIRED TO RETAIN A LOG OF ALL PLANT MATERIALS REMOVED DUE TO DEATH OR INJURY SO AS TO PROPERLY IDENTIFY THOSE PLANTS FOR REPLACEMENT. WARRANTY AND REPLACEMENT.
- ALL PLANT MATERIAL, INCLUDING TREES AND ALL WOODY AND HERBACEOUS PLANTS SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. THE CONTRACTOR IS NOT RESPONSIBLE FOR LOSSES OR DAMAGE CAUSED BY OTHER TRADES, MECHANICAL INJURY OR VANDALISM.
- ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND SHALL BE REPLACED AT NO COST TO THE OWNER.

## PLANTING SOIL

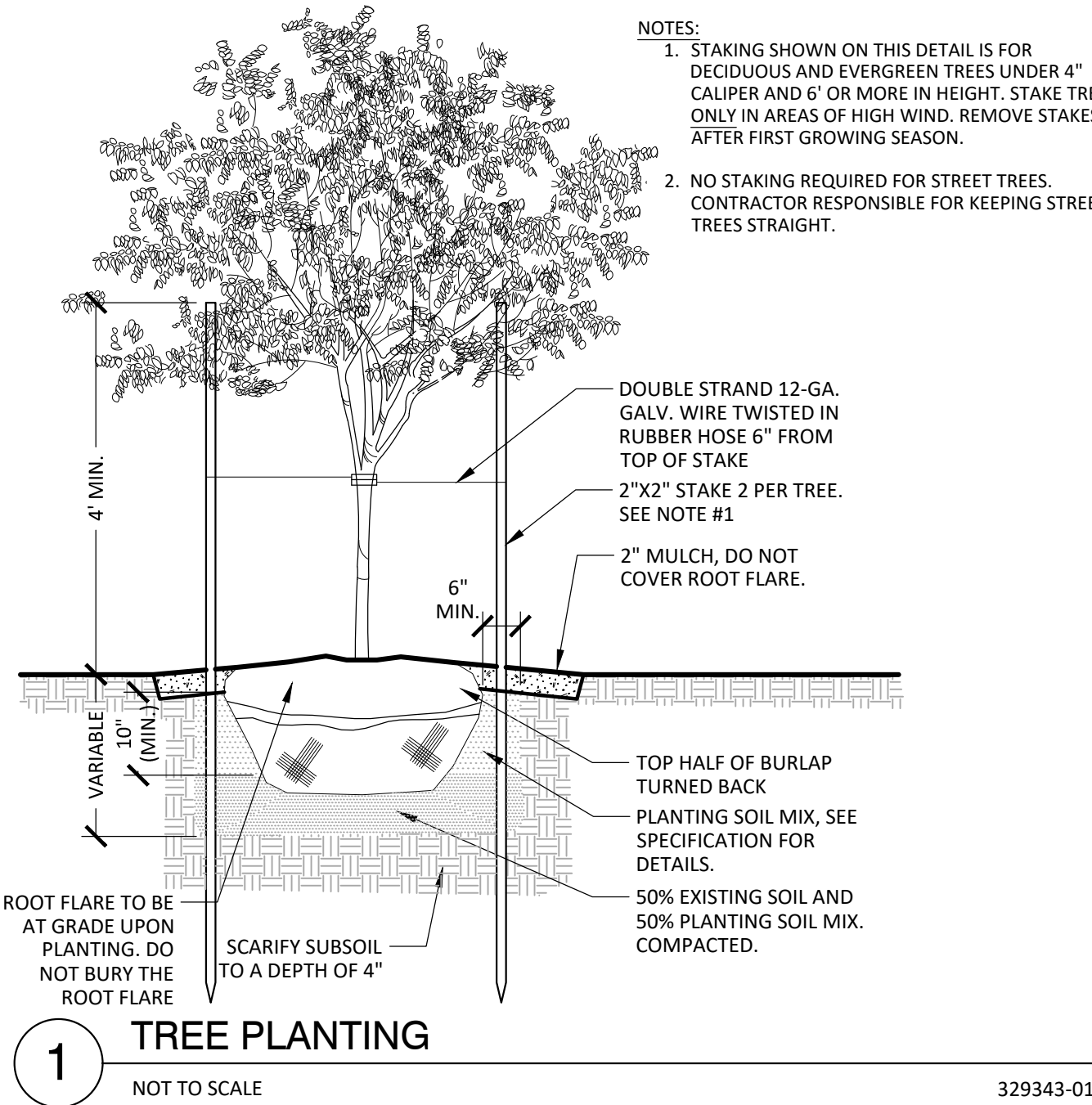
- EXAMINE AREAS TO RECEIVE EXTERIOR PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- VERIFY THAT FINAL GRADES HAVE BEEN ESTABLISHED, AND THAT FORESEEABLE PLANT GROWTH WILL NOT INTERFERE WITH PREVIOUSLY COMPLETED WORK.
- VERIFY THAT SOILS IN THE AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED CONTAIN NO TOXIC MATERIALS OR CONSTRUCTION WASTE, TRASH, DEBRIS AND STONES LARGER THAN 1" IN DIAMETER OR LENGTH, AND OF ALL ROOTS, BRUSH, WEEDS, GRASS, WIRE, GRADE STAKES, AND OTHER OBJECTS THAT WOULD INTERFERE WITH SOIL PREPARATION.
- PROTECT STRUCTURES, UTILITIES, PAVEMENTS, DECKING, AND OTHER FACILITIES, AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- FINISH GRADING: GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, ENSURING THAT ALL DEBRIS IS REMOVED AS SPECIFIED AND THAT THE SURFACE IS SMOOTH, FREE DRAINING, CONTAINS NO LOW OR HIGH SPOTS, AND MEETS SPECIFIED FINISH GRADES. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- SPREAD PLANTING SOIL MIX TO A DEPTH OF 4 INCHES MINIMUM AND 5 INCHES MAXIMUM, PLUS 10 PERCENT, AFTER MODERATE COMPACTION.
- GUY TREES USING GUYING SYSTEM AS INDICATED PER DRAWINGS AND AS SPECIFIED.

**NOT FOR CONSTRUCTION**

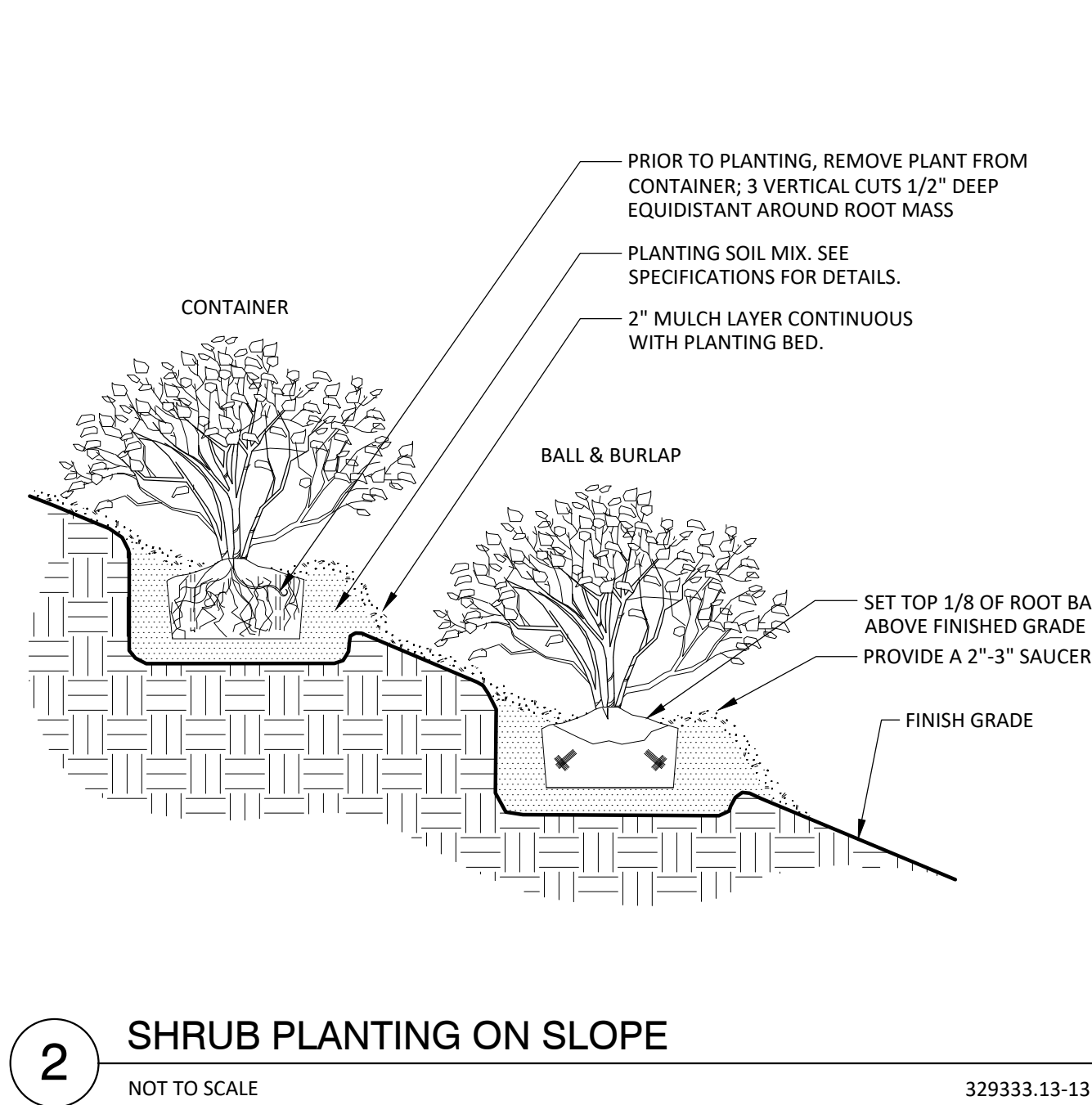


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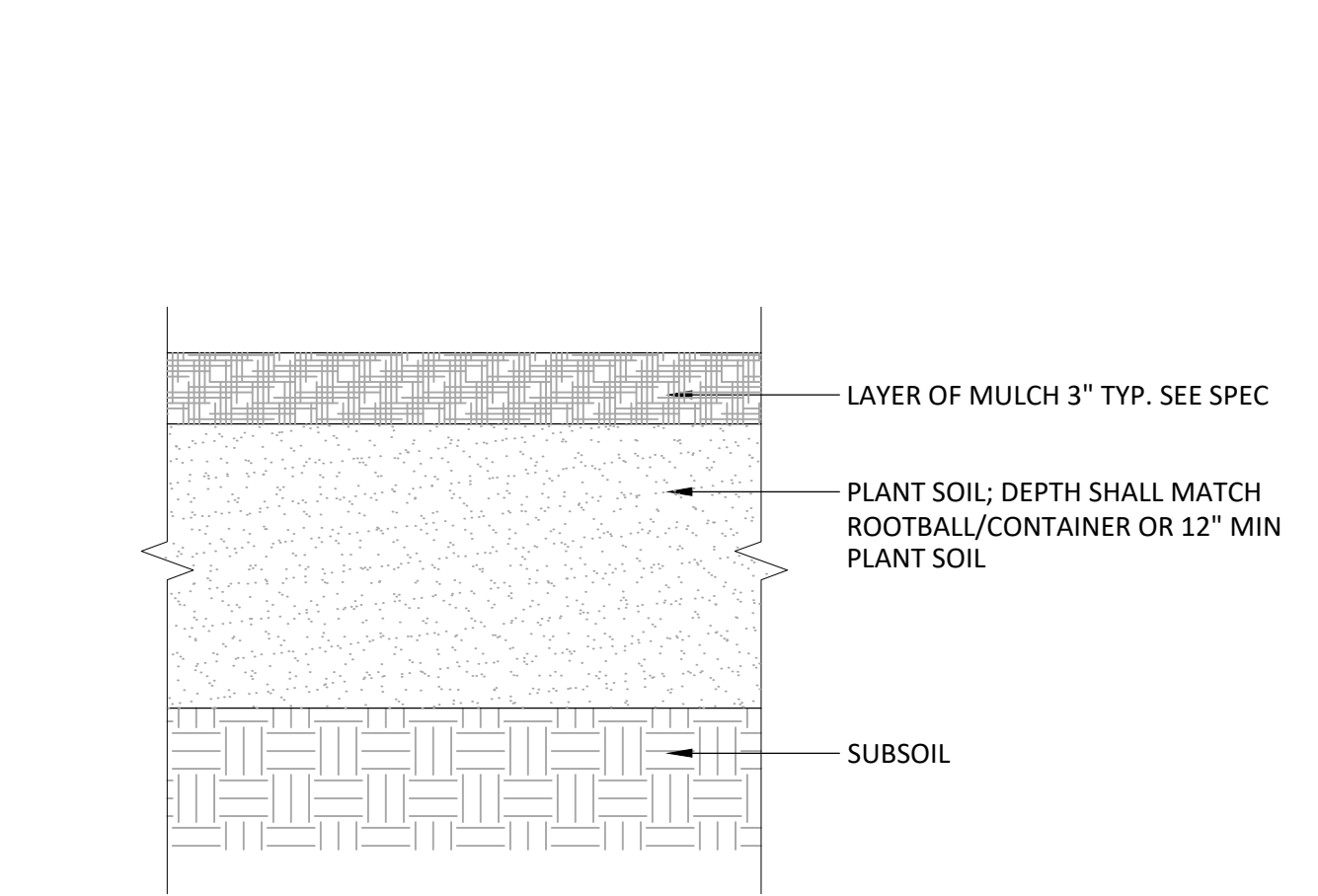
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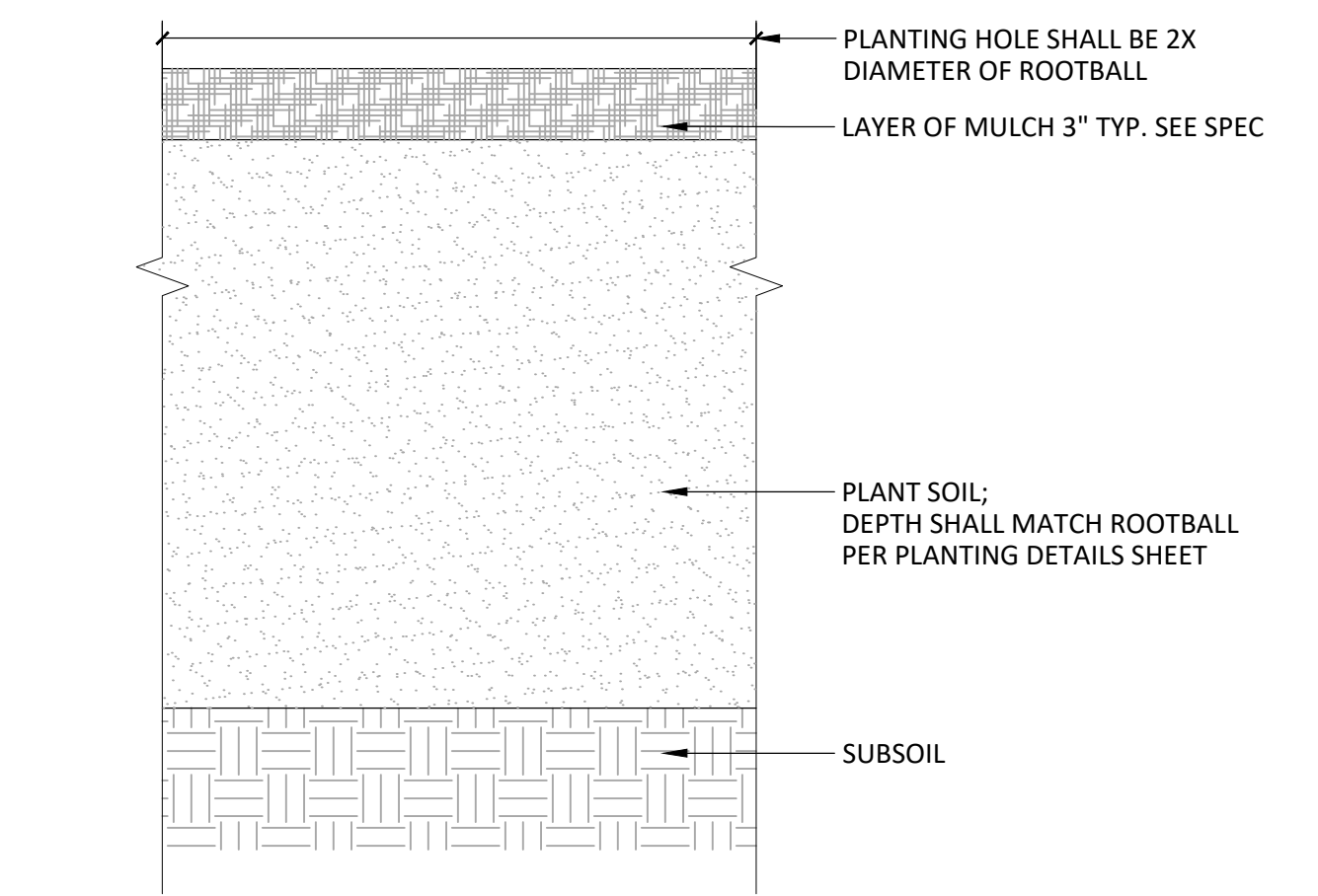
1 TREE PLANTING  
NOT TO SCALE  
329343-01



2 SHRUB PLANTING ON SLOPE  
NOT TO SCALE  
329333.13-13



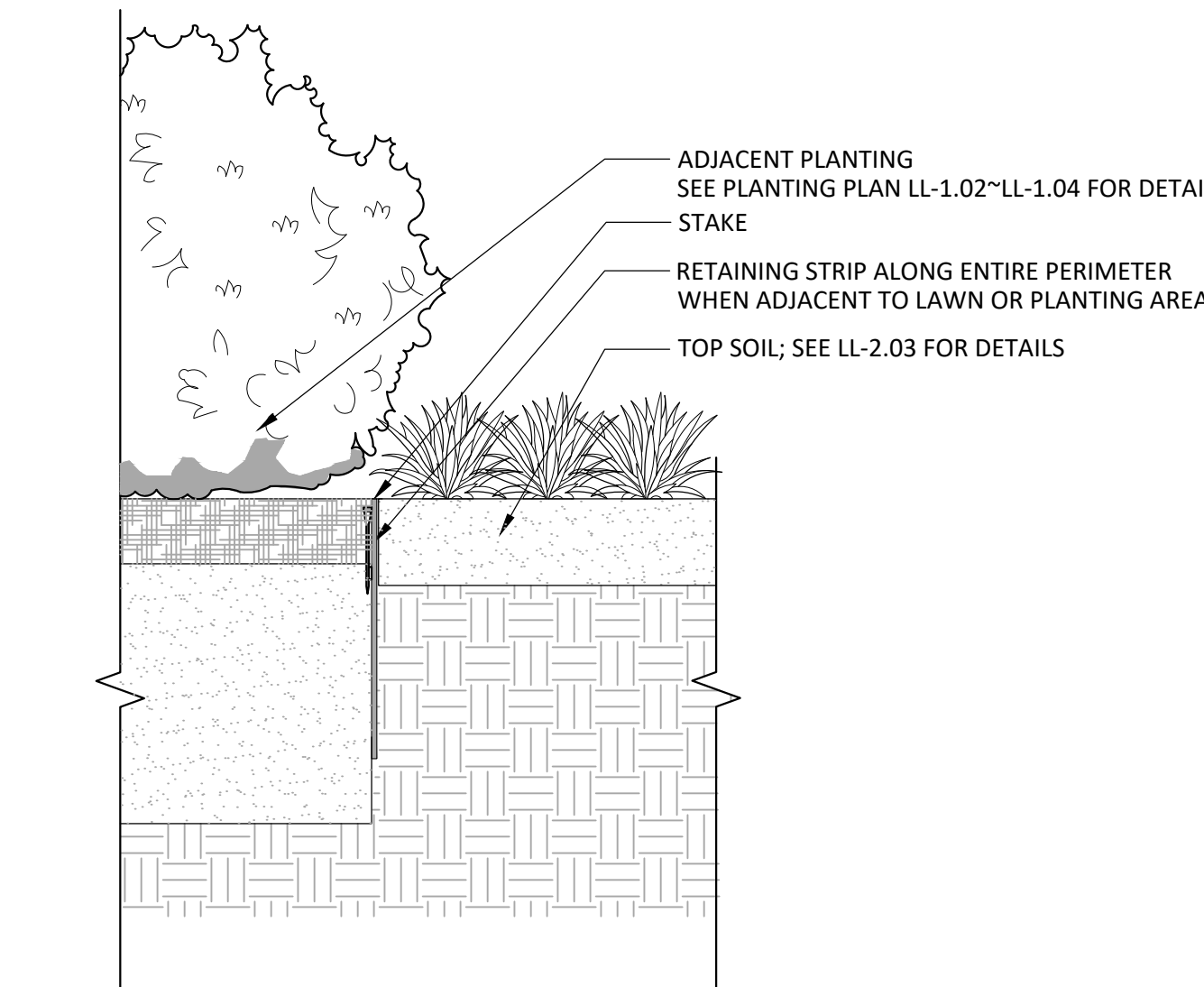
3 PLANTING BED  
1 1/2\"/>



4 TREE PLANTING AREAS  
1 1/2\"/>

**EDGE & STAKE SPECIFICATIONS:**

MODEL: COL-MET  
SIZE: 4\"/>



6 LANDSCAPE EDGE  
1 1/2\"/>

PLANT SCHEDULE		QTY	SIZE	REMARKS
CANOPY TREES	ARO	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	2	3-3.5\"/>
	BND	BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH	2	3-3.5\"/>
	NSY	NYSSA SYLVATICA / TUPELO	1	3-3.5\"/>
	QPA	QUERCUS PALUSTRIS / PIN OAK	5	3-3.5\"/>
				STRONG SINGLE LEADER/SPECIMEN
EVERGREEN TREES	PIC	PICEA ABIES / NORWAY SPRUCE	3	12-14\"/>
	PIR	PICEA RUBENS / RED SPRUCE	2	12-14\"/>
	PIN	PINUS STROBUS / WHITE PINE	4	12-14\"/>
				STRONG SINGLE LEADER/SPECIMEN
ORNAMENTAL AND UNDERSTORY TREES	AGA	AMELANGHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	1	12-14\"/>
	CCF	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	11	12-14\"/>
	CVI	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	6	12-14\"/>
	CVW	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN	1	12-14\"/>
	MVI	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA	3	12-14\"/>
	PSK	PRUNUS SERRULATA 'KWANZAN' / KWANZAN JAPANESE FLOWERING CHERRY	2	12-14\"/>
				CONSISTENT HT. & FORM, FULL CROWN
STREET TREES - ORNAMENTAL	KPA	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	11	12-14\"/>
	SRE	SYRINGA RETICULATA / JAPANESE TREE LILAC	8	12-14\"/>
SHRUBS	CAR	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET	6	30-36\"/>
	FGJ	FOTHERGILLA GARDENII 'JANE PLATT' / JANE PLATT DWARF FOTHERGILLA	11	30-36\"/>
	HQS	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA	3	24-36\"/>
	IVH	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	34	24-30\"/>
	MPM	MYRICA PENSYLVANICA 'MORTON' / SILVER SPRITE BAYBERRY	27	24-36\"/>
	PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL	10	30-36\"/>
	RAG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	21	24-30\"/>
	RKO	ROSA X 'KNOCK-OUT' RED / KNOCK OUT RED ROSE	12	24-36\"/>
GROUND COVERS	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	63	1 GAL
	CST	CAREX STRICTA / TUSSOCK SEDGE	322	1 GAL
	CCB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD	52	1 GAL
	PVS	PANICUM VIRGATUM 'SQUAW' / SQUAW SWITCH GRASS	36	1 GAL
	PAL	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS	21	1 GAL
	PAT	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRE' / BLUE SPIRE RUSSIAN SAGE	42	1 GAL
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER	106	1 GAL
	SSM	SALVIA X SYLVESTRIS 'MAINACHT' / MAINACHT SAGE	66	1 GAL
	SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM	24	1 GAL
		PLANT BED MIX	187 SF	
	EPM	ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER	16	1 GAL
	LSP	LIATRIS SPICATA / SPIKE GAYFEATHER	29	1 GAL
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER	29	1 GAL

**VIKA MARYLAND, LLC**  
20251 Century Blvd., Suite 400  
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David.DeMarco@PulteGroup.com

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ATTORNEY  
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202.296.8625  
CONTACT: WILL ZEID

REVISIONS	DATE

## HALPINE ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

## LANDSCAPE PLAN PLANTING PLAN DETAILS

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
NAME: ESRA SOYTUTAN, RIA, LEED AP PD  
LICENSE NO.: 3960  
EXPIRATION DATE: 03/09/2025

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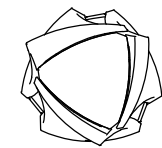
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DRAWN BY: EJS/JC  
DESIGNED BY: MBG/ES  
DATE ISSUED: 12/01/2023

VIKA PROJECT: VMS0639A  
DRAWING NO. LL-2.03

SHEET NO. LL-2.03

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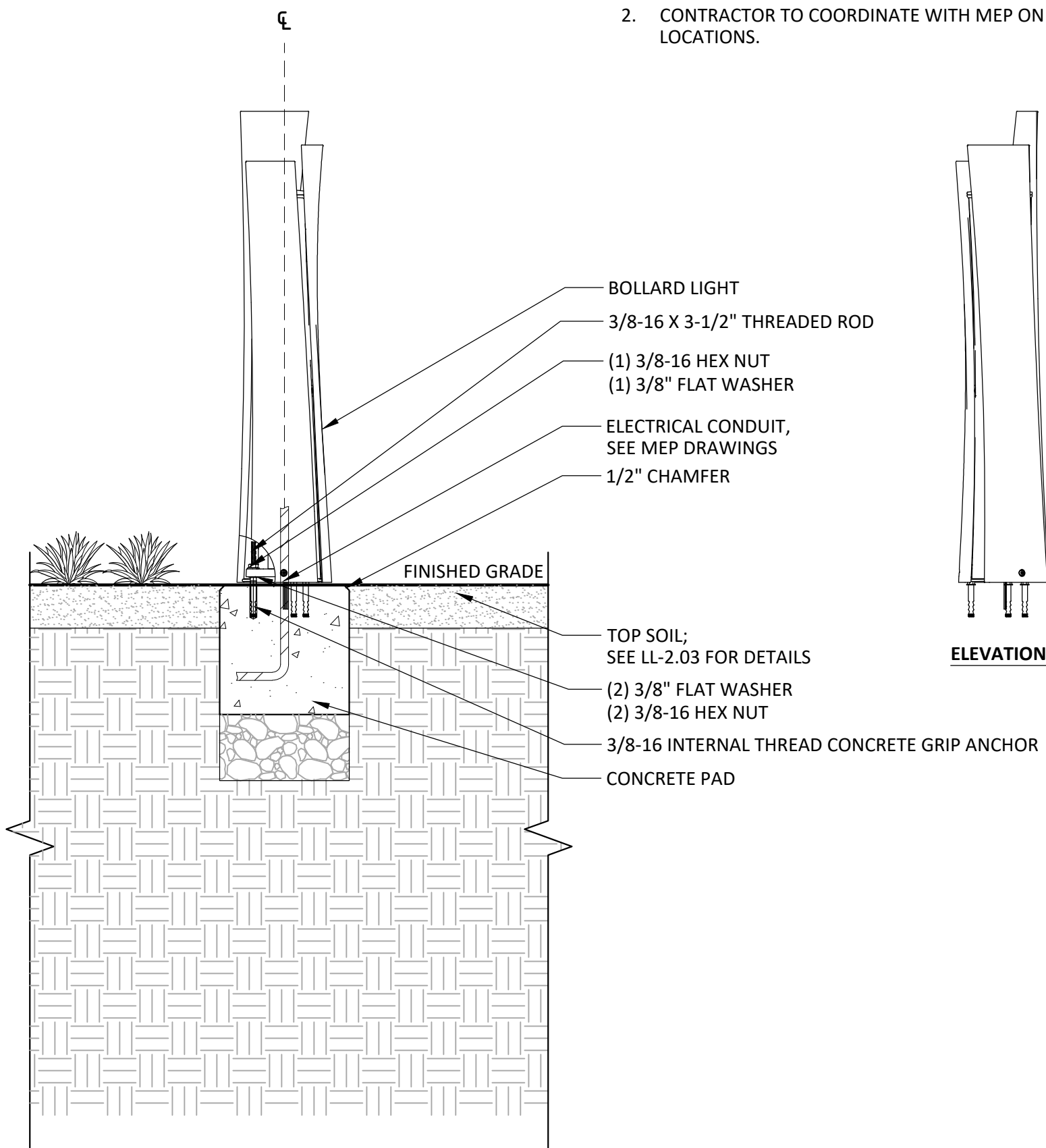
PLAN VIEW

**BOLLARD SPECIFICATIONS:**

MODEL: GUIDE W/ LED LIGHTING  
DIMENSIONS: 8 3/4" X 8 1/2" X 43 3/4"  
MATERIAL: CAST ALUMINUM  
INSTALLATION: SURFACE MOUNTED  
QUANTITY: 94  
MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL  
WWW.LANDSCAPEFORMS.COM

**NOTES:**

1. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. CONTRACTOR TO COORDINATE WITH MEP ON CONDUIT LOCATIONS.



1

BOLLARD LIGHT

1" = 1'-0"

P-50639-LIG-01

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CONTACT: WILL ZEID

REVISIONS	DATE

**HALPINE ROAD**  
  
CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

LIGHTING  
DETAILS

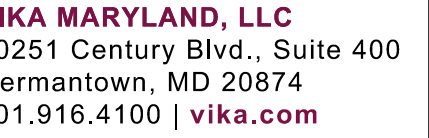
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LICENSE NO.: 3960  
EXPIRATION DATE: 03/09/2025

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DESIGNED BY: ES  
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VIKA  
PROJECT: VMS0639A  
DRAWING NO.

SHEET NO. **LL-2.04**

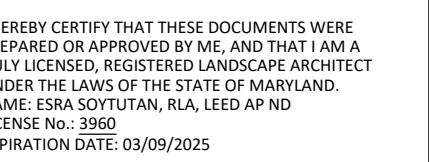


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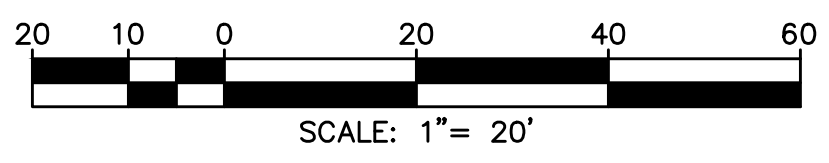
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LAYOUT: LL-3.00, Plotted By: stebbing

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2.296.8625  
CONTACT: WILL ZEID

Open Space	Minimum Required		Proposed (minimum)	
Open Area (includes public use space)	15%	9,576 SF	35.7%	22,800 SF
Public Use Space	10%	6,384 SF	10.2%	6,486 SF

## LEGEND



OPEN AREA



PUBLIC USE SPACE

**NOTES:**

1. LOCATIONS AND MEASUREMENTS OF AREAS SHOWN ARE APPROXIMATE. FINAL LOCATIONS AND MEASUREMENTS OF OPEN AREA AND PUBLIC USE SPACE WILL BE DETERMINED AT THE TIME OF SITE PLAN APPROVAL AND MAY BE REDUCED TO THE MINIMUM REQUIRED.

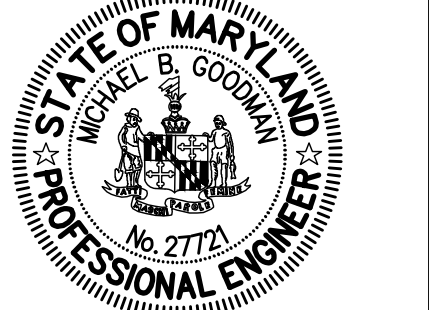
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HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
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OPEN AREA AND  
PUBLIC USE SPACE

PROFESSIONAL SEAL



HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: MICHAEL GOODMAN, P.E.  
LICENSE No.: 27721  
EXPIRATION DATE: JULY 19, 2024

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DRAWN BY: EJS

DESIGNED BY: MBG

DATE ISSUED: 12/01/2023

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VIKA PROJECT VM50639A

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DRAWING

D.

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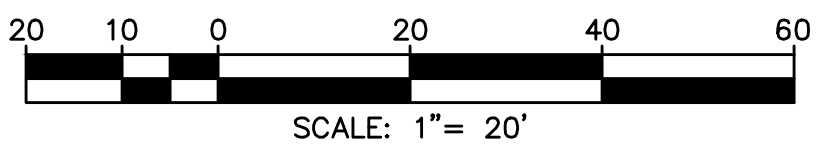
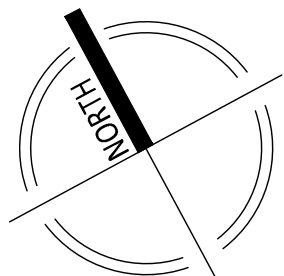
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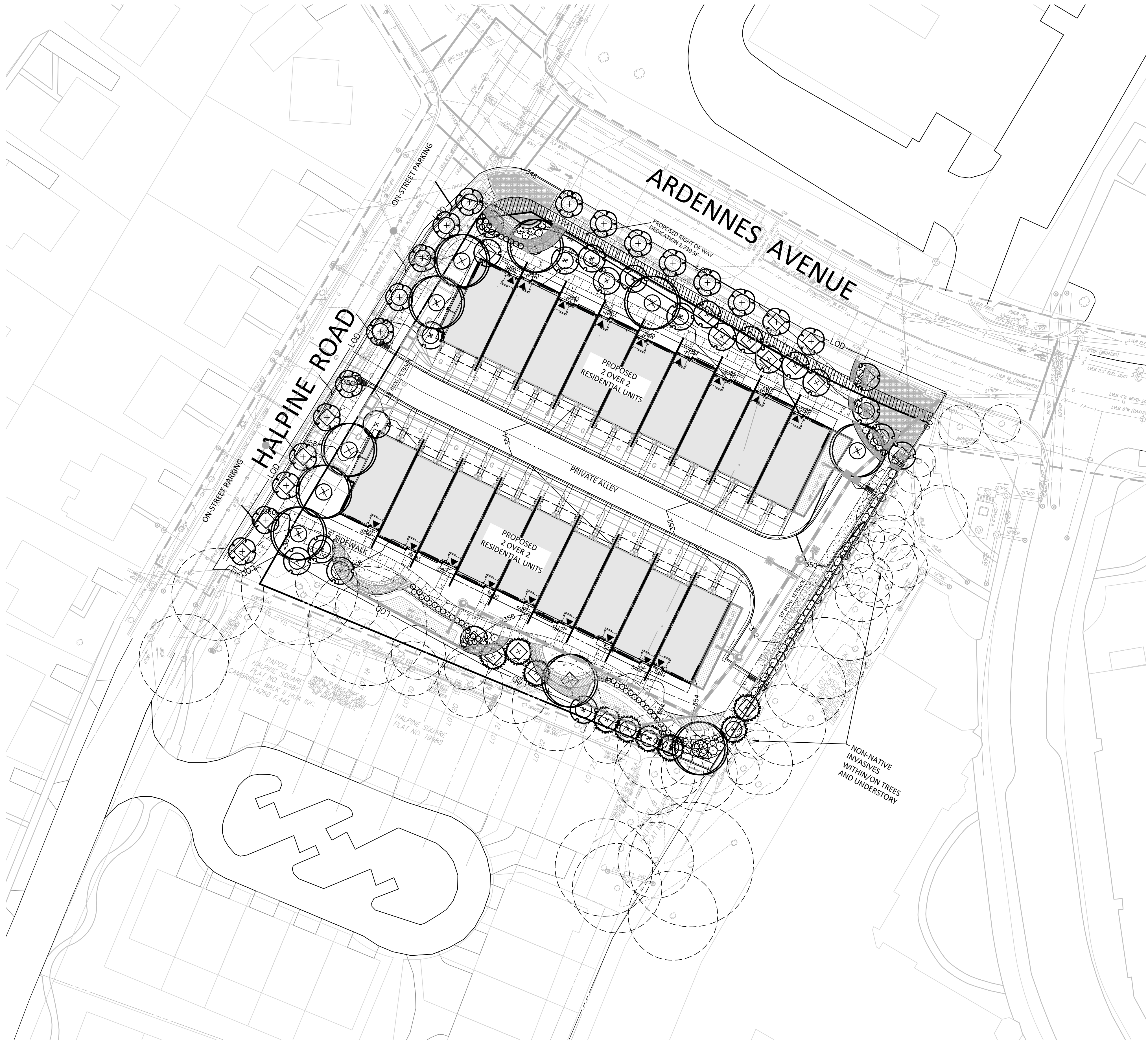


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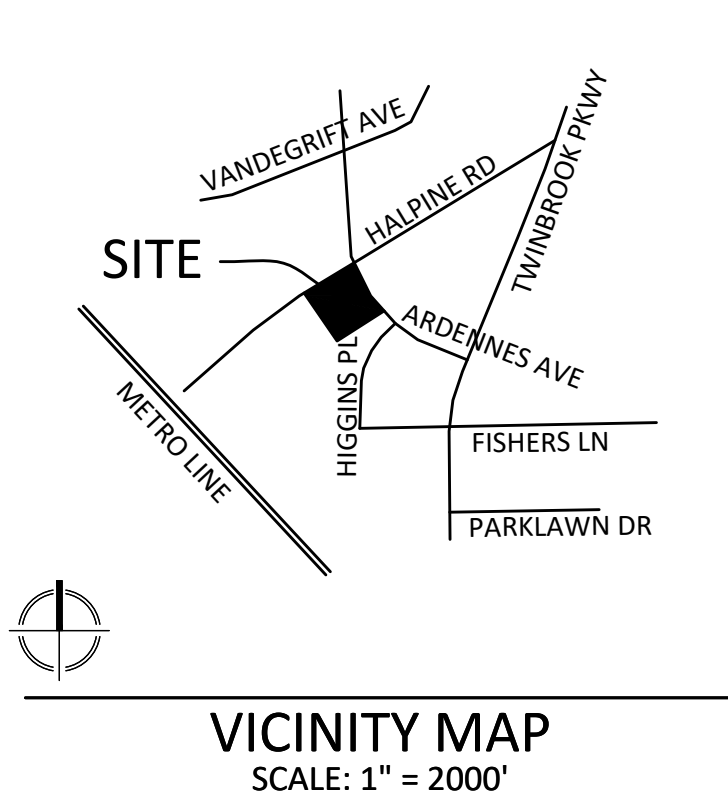
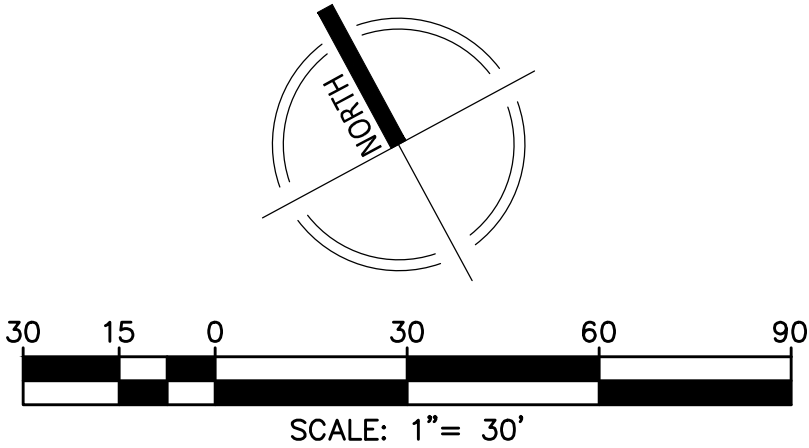
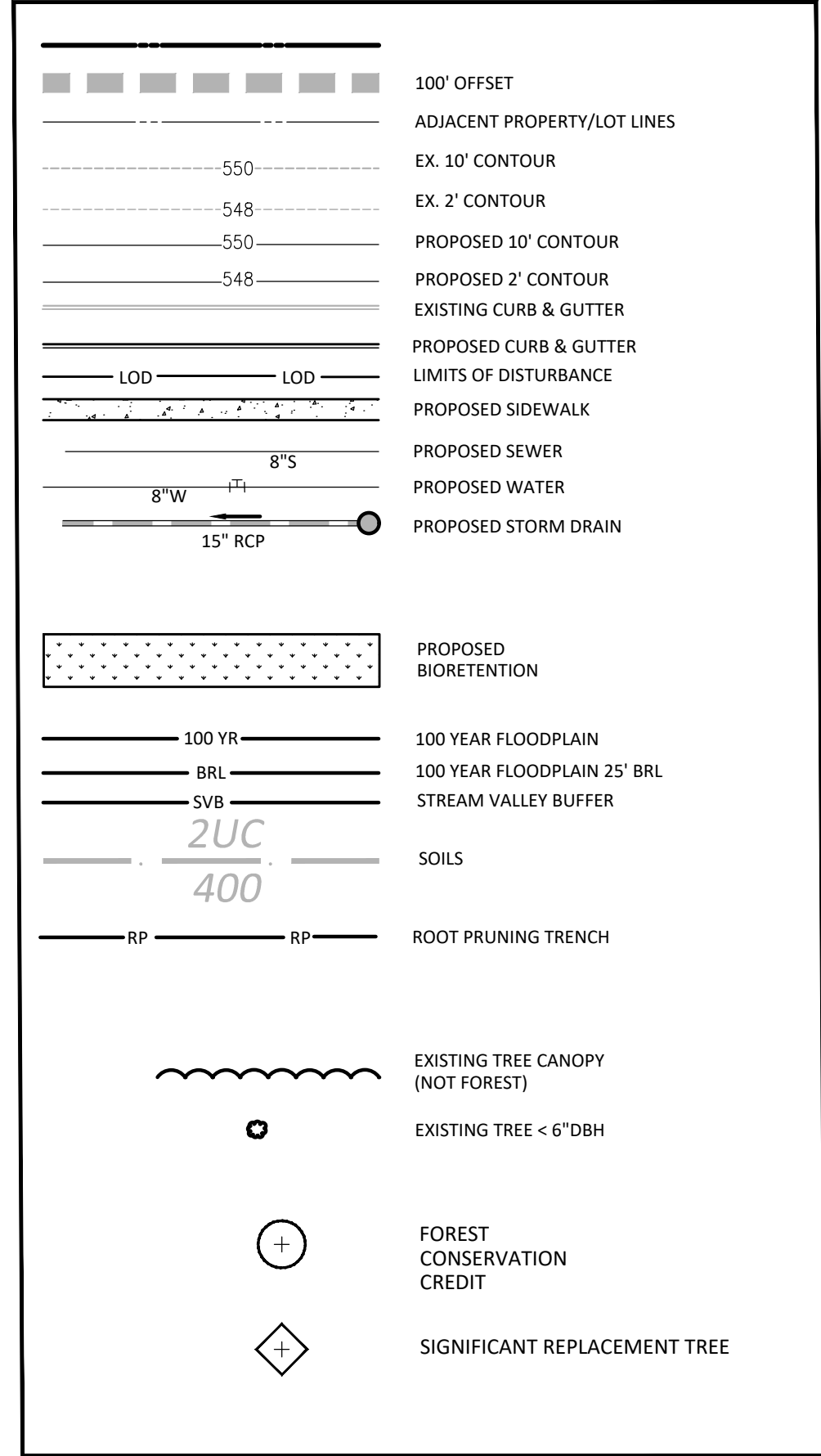
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning & Development Services  
Received  
December 15, 2023

LAYOUT: FFCP-2, Plotted By: shebbins



PLAN LEGEND



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*Our Site Set on the Future.*  
PREPARED FOR:  
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REVISIONS	DATE

**HALPINE ROAD**  
CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

FINAL FOREST  
CONSERVATION  
PLAN

PROFESSIONAL SEAL  
  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE NO.: 3275 EXPIRATION DATE: 11/31/2024

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DRAWN BY: EJS  
DESIGNED BY: MBG  
DATE ISSUED: 12/01/2023  
VIKA PROJECT: VMS0639A  
DRAWING NO.  
SHEET NO. FFCP-2

Y:\50501-51000\50839\CADD\SITE\PILOT SHEETS\50839200 P FCP REMOVAL PLAN.dwg ~ Wednesday, November 15, 2023 11:25:48 AM

SIGNIFICANT & SPECIMEN TREE TABLE

PROPOSED TREE SUMMARY CHART																
PFCP/FFCP																
#	SCIENTIFIC NAME	COMMON NAME	DBH	Area CRZ	CTLA %	COR CTLA %	Remarks	PREVIOUS FTP PLAN #	PREV.CREDIT	DISPOSITION	OWED	REPLACEMENT TREES REQD.	CREDIT TYPE	MAXIMUM CREDIT AMOUNT		
LANDSCAPE SETTING >= 12" DBH (NO EXISTING CREDIT)																
1	<i>Fagus grandifolia</i>	American Beech	30.0 in	6362	94%		On private property/ no permission			Save		0	LG SHADE	0		
8	<i>Ulmus americana</i>	American elm	24.5 in	4243	84%					Remove		2	LG SHADE	0		
9	<i>Quercus rubra</i>	Red Oak	30.5 in	6576	81%					Remove		6	LG SHADE	0		
10	<i>Quercus rubra</i>	Red Oak	23.5 in	3904	66%		On private property/ no permission On private property/ no permission			Remove		2	LG SHADE	0		
11	<i>Quercus rubra</i>	Red Oak	24.0 in	4072	88%					Remove		2	LG SHADE	0		
12	<i>Quercus rubra</i>	Red Oak	24.0 in	4072	78%					Remove		2	LG SHADE	0		
13	<i>Acer rubrum</i>	Red Maple	21.5 in	3267	94%					Save		0	LG SHADE	0		
15	<i>Taxodium districhum</i>	Bald cypress	22.0 in	3421	97%					Save		0	LG SHADE	0		
20	<i>Acer rubrum</i>	Red Maple	16.5 in	1924	94%					Save		0	LG SHADE	0		
24	<i>Ilex opaca</i>	American Holly	14.0 in	1385	97%					Save		0	LG EVG	0		
25	<i>Pinus strobus</i>	White Pine	16.5 in	1924	97%					Save		0	LG EVG	0		
27	<i>Prunus sp.</i>	Cherry	18.0 in	2290	97%					Save		0	ORN	0		
28	<i>Lagerstroemia indica</i>	Crape Myrtle	14.0 in	1385	97%					Save		0	ORN	0		
29	<i>Pinus strobus</i>	White Pine	23.0 in	3739	91%					Save		0	LG EVG	0		
32	<i>Pinus strobus</i>	White Pine	15.0 in	1590	97%					Save		0	LG EVG	0		
35	<i>Pinus strobus</i>	White Pine	14.0 in	1385	91%					Save		0	LG EVG	0		
51	<i>Quercus rubra</i>	Red Oak	27.0 in	5153	78%					Remove		3	LG SHADE	0		
52	<i>Quercus rubra</i>	Red Oak	25.0 in	4418	84%					Remove		3	LG SHADE	0		
53	<i>Quercus rubra</i>	Red Oak	28.0 in	5542	72%					Remove		3	LG SHADE	0		
57	<i>Pinus strobus</i>	White Pine	20.0 in	2827	71%					Save		0	LG EVG	0		
59	<i>Pinus strobus</i>	White Pine	12.0 in	1018	88%					Save		0	LG SHADE	0		
61	<i>Quercus rubra</i>	Northern Red Oak	22.0 in	3421	55%					Save		0	LG SHADE	0		
											8		23		0	
6-11" DBH TREES (NO EXISTING CREDIT)*																
14	<i>Sassafras albidum</i>	Sassafras	8.0 in	452	92%						Save			LG SHADE	400	
17	<i>Cercis canadensis</i>	Red Bud	8.0 in	452	94%						Save			ORN	200	
21	<i>Ilex opaca</i>	American Holly	8.0 in	452	97%						Save			LG EVG	400	
22	<i>Ilex opaca</i>	American Holly	10.0 in	707	97%						Save			LG EVG	400	
31	<i>Juniperus virginiana</i>	Red Cedar	6.0 in	254	97%						Save			LG EVG	400	
41	<i>Pinus strobus</i>	White Pine	10.0 in	707	94%						Save			LG EVG	400	
42	<i>Pinus strobus</i>	White Pine	8.5 in	511	94%						Save			LG EVG	400	
44	<i>Ilex opaca</i>	Holly	10.0 in	707	97%						Save			LG EVG	400	
47	<i>Robinia pseudoacacia</i>	Black locust	10.0 in	707	97%						Save			LG SHADE	400	
54	<i>Sassafras albidum</i>	Sassafras	8.0 in	452	89%					Save			LG SHADE	400		
55	<i>Nyssa sylvatica</i>	Blackgum	10.0 in	707	86%					Save			LG SHADE	400		
														4200		
OFFSITE																
									0	Select One	FALSE	0				
										Select One	FALSE	0				
										Select One	FALSE	0				
										0						
STREET TREES OF ANY SIZE; STREET TREES MAY HAVE PRIOR FC CREDIT (Tree number must include F if previous FC credit was assigned)																
2	<i>Platanus acerifolia</i>	London Plane Tree	21 in	3117	91%					Save	N/A	0		0		
3	<i>Zelkova serrata</i>	Japanese Zelkova	19 in	2552	91%					Save	N/A	0		0		
4	<i>Acer saccharinum</i>	Silver Maple	29 in	5741	88%					Save	N/A	0		0		
5	<i>Acer saccharinum</i>	Silver Maple	36 in	8908	91%					Save	N/A	0		0		
6F	<i>Zelkova serrata</i>	Japanese Zelkova	17 in	1924	88%		PREVIOUS SIG TREE REPLACEMENT CREDIT	FTP95-5	400	Save	N/A	0		400		
7F	<i>Zelkova serrata</i>	Japanese Zelkova	17 in	2043	91%		PREVIOUS SIG TREE REPLACEMENT CREDIT	FTP95-5	400	Save	N/A	0		400		
TOTAL PREVIOUS CREDIT:										800	0	0	0	800		
PREVIOUS FOREST CONSERVATION CREDIT (Tree number must include F)																
16F*	<i>Cornus florida</i>	Dog Wood	10.0 in	707	94%			FTP95-5	400	Save	0	0		400		
19F*	<i>Ilex opaca</i>	American Holly	9.0 in	573	89%			FTP95-5	400	Save	0	0		400		
18F*	<i>Ulmus americana</i>	American Elm	12.0 in	1018	94%			FTP95-5	400	Save	0	0		400		
21F*	<i>Ilex opaca</i>	American Holly	8.0 in	452	97%			FTP95-5	400	Save	0	0		400		
22F*	<i>Ilex opaca</i>	American Holly	10.0 in	707	97%			FTP95-5	400	Save	0	0		400		
23F*	<i>Ilex aquifolium</i>	English Holly	14.0 in	1385	97%			FTP95-5	400	Save	0	0		400		
33F	<i>Pinus strobus</i>	White Pine	15.0 in	1590	91%			FTP2003-00033	400	Save	0	0		400		
34F	<i>Pinus strobus</i>	White Pine	15.0 in	1590	91%			FTP2003-00033	400	Save	0	0		400		
36F	<i>Pinus strobus</i>	White Pine	14.0 in	1385	91%			FTP2003-00033	400	Save	0	0		400		
43F	<i>Lagerstroemia indica</i>	Crape Myrtle	6.0 in	254	97%			FTP2003-00033	400	Save	0	0		400		
49F	<i>Zelkova serrata</i>	Japanese Zelkova	8.0 in	452	91%			FTP2003-00033	400	Save	0	0		400		
50F	<i>Zelkova serrata</i>	Japanese Zelkova	7.0 in	346	91%			FTP2003-00033	400	Save	0	0		400		
56F*	<i>Cladrastis kentukea</i>	American yellowwood	12.0 in	1018	83%			FTP95-5	400	Save	0	0		400		
58F*	<i>Ilex opaca</i>	American holly	15.0 in	1590	94%			FTP95-5	400	Save	0	0		400		
TOTAL PREVIOUS CREDIT:										5600		0	0	5600		
PREVIOUS SIGNIFICANT TREE REPLACEMENT CREDIT (Tree Number must include S) REPLACED AT 1 TO 1																
26S*	<i>Acer rubrum</i>	Red Maple	16.5 in	1924	97%		On private property/ no permission	FTP95-5	1	Save		0				
28S*	<i>Lagerstroemia indica</i>	Crape Myrtle	14.0 in	1385	97%		On private property/ no permission	FTP95-5	1	Save		0				
30S	<i>Cercis canadensis</i>	Red Bud	6.5 in	299	94%			FTP2003-00033	1	Save		0				
37S	<i>Ilex opaca</i>	American Holly	6.0 in	254	94%			FTP2003-00033	1	Save		0				
38S	<i>Ilex opaca</i>	American Holly	6.0 in	254	97%			FTP2003-00033	1	Save		0				
39S	<i>Ilex opaca</i>	American Holly	6.0 in	254	97%			FTP2003-00033	1	Save		0				
40S	<i>Juniperus virginiana</i>	Red Cedar	9.0 in	573	97%			FTP2003-00033	1	Save		0				
45S	<i>Juniperus virginiana</i>	Red Cedar	8.0 in	452	94%			FTP2003-00033	1	Save		0				
46S	<i>Juniperus virginiana</i>	Red Cedar	8.5 in	511	94%			FTP2003-00033	1	Save		0				
48S	<i>Ilex opaca</i>	Holly	6.5 in	299	97%			FTP2003-00034	1	Save		0				
60S	<i>Cercis canadensis</i>	Red bud	8.0 in	452	90%			FTP2003-00033	1	Save		0				
TOTAL PREVIOUS SIG REPL:										11			0			
Previous Individual Tree Credit Provided										6400						
Previous Significant Replacements Provided										11						
Previous Individual Tree Credit Missing/Removed										0						
Off-Site Replacements Owed										0						
Previous Significant Replacements Owed										23						
Existing Previous Individual Tree Credit										6400						
Proposed Existing CRZ Credit										4200						
New Maximum Existing Individual Tree Credit										10600						
*Tree is in general location of what is shown on previously approved plan but species do not match. Species observed on the field during NRI study and COR observation are listed.																

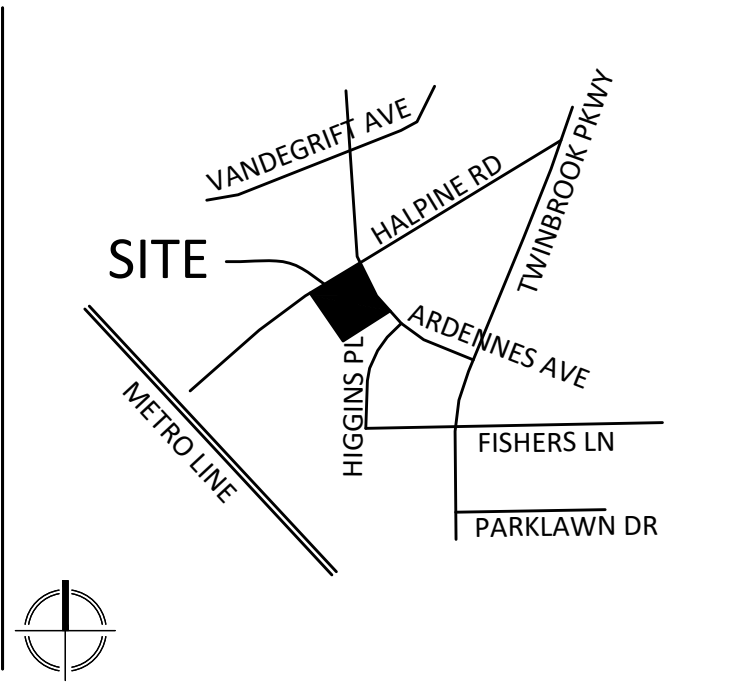
NOT FOR CONSTRUCTION



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www.call811.com or http://www.missutility.net  
48 HOURS IN ADVANCE OF ANY  
WORK IN THIS VICINITY"

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Community Planning & Development Services  
Received  
December 15, 2023



VICINITY MAP  
SCALE: 1" = 2000'

PROPOSED PLANTING TABLE

FTPO TREE CREDIT CHART- NEW PLANTINGS															
QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE (LG SHADE, LG EG, ORN, SM EG)	ROOT BALL TYPE	SIZE- CAL/HT	LANDSCAPING NO CREDIT	LANDSCAPING MTC CREDIT ONLY	SIG. TREE REPLACEMENT CREDIT (OFF-SITE)	SIG. TREE REPLACEMENT CREDIT (ON-SITE)	STREET TREE NO CREDIT	STREET TREE FC CREDIT ONLY*	FC CREDIT	FC CREDIT (200 OR 400 SF X FC QUANTITY)	MTC CREDIT (200 OR 400 SF X MTC QUANTITY)
STREET TREES (NOT TO EXCEED 25% OF TOTAL REQUIREMENT)															
8		<i>Syringa reticulata</i>	Japanese Tree Lilac	ORN	B&B	2.5"	0	0	0	2	0	6	0	1200	1600
Ardennes Avenue															
11		<i>Syringa reticulata</i>	Japanese Tree Lilac	ORN	B&B	2.5"	0	0	0	5	0	6	0	1200	2200
Halpine Road															
10	On-Site Trees	TBD		LG SHADE	B&B	2.5"	0	0	0	1	0	0	9	3600	4000
9		TBD		LG EVG	B&B	2.5"	0	0	0	5	0	0	4	1600	3600
24		TBD		ORN	B&B	2.5"	1	0	0	10	0	0	13	2600	4600
TOTALS							N/A	0	0	23	0	12	26	10200	16000
REQUIREMENTS							N/A		0	23		X	9584	6558	
* Street trees not to exceed 25% of total forest conservation credit requirement.															



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## SEQUENCE OF EVENTS

## PRE-CONSTRUCTION

2. The Permittee must obtain a Forestry Permit (FTP) for the project and secure copies of the approved Forest Conservation Plan (FCP) for distribution to contractors. The Permittee is responsible for obtaining a Maryland Roadside Tree Permit if applicable. Contact State Utility at 1-800-257-7777.
3. The Permittee must coordinate and schedule an onsite preconstruction meeting with the following attendees: Permittee, Construction Superintendent, Maryland LTE/ISA Certified Arborist (if required by Forestry Department), the City Forestry Inspector, City Project Inspector, and City Sediment Control Inspector. The limits of disturbance must be staked and flagged prior to the preconstruction meeting. No land disturbance shall occur prior to this meeting. This includes, but is not limited to, the installation of tree protection fencing, sediment control measures, clearing, grading and tree stress reduction measures. The limits of disturbance will be reviewed, and tree protection and tree care measures will be discussed.
4. No land disturbance shall begin before stress-reduction measures as indicated on the approved FCP, or otherwise directed by the Forestry Inspector have been implemented and approved by Forestry Inspector. Measures not specified on the plan may be required as determined by the Forestry Inspector in consultation with the Permittee's MD LTE/ISA Certified Arborist. Appropriate stress-reduction measures may include, but are not limited to:
  - a. Root pruning
  - b. Crown reduction or pruning
  - c. Watering
  - d. Fertilizing
  - e. Surface mulching
  - f. Vertical mulching
  - g. Root aeration matting
5. Temporary tree protection devices, including signage, shall be installed per the approved Forest Conservation Plan, or as otherwise directed by the Forestry Inspector, and prior to any land disturbance. Tree protection fencing locations must be staked and flagged prior to the pre-construction meeting. The Forestry Inspector, in coordination with the City Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan. The Permittee must contact the Forestry Inspector to schedule a follow up construction inspection after installing all tree protection measures and performing all stress-reduction measures. Upon a satisfactory inspection by the Forestry Inspector and Sediment Control Inspector, a Notice to Proceed will be issued and clearing and grading can commence. Temporary tree protection devices may include:
  - a. Chain link fence (four feet high)
  - b. Super silt fence with wire strung between the support poles (minimum 4 feet high) with high visibility flagging.
  - c. 14 gauge 2 inch x 4 inch welded wire fencing supported by steel T-bar posts (minimum 4 feet high) with high visibility flagging.
6. The Permittee and contractor shall maintain the temporary tree protection devices for the duration of the project and the location must not be altered without prior approval of the Forestry Inspector. No equipment, trucks, materials, debris, or any other items may be stored within the tree protection fence areas during the entire construction project. No access beyond the fenced area will be permitted. Tree Protection fencing shall not be removed without prior approval of the Forestry Inspector.
7. Long term tree protection devices/techniques, as shown on the FCP or as directed by the Forestry Inspector may include but are not limited to:
  - a. Root aeration systems
  - b. Retaining walls
  - c. Raised sidewalks
  - d. Tunneling of utilities
  - e. Pier and panel walls
  - f. Porous pavers

### DURING CONSTRUCTION

2. Periodic inspections at the discretion of the Forestry Inspector will occur during the construction project. Corrections and repairs to all tree protection devices and other protective measures, as determined by the Forestry Inspector, must be made immediately upon discovery of any damage or violation.
3. The Permittee must immediately notify the Forestry Inspector of any damage to trees, forests, understorey, ground cover, and any other undisturbed areas shown on the plan. Remedial actions to the restore these areas will be determined by the Forestry Inspector and the corrective actions must be made within the timeframe established by the Forestry Inspector.
4. The Permittee must immediately notify the Forestry Inspector of any damage to Forest Preserves, Forest Preserves and Tree Preservation Ordinance (FTPO). Pursuant to Section 10-5-34 of the FTPO, a fine in the amount of \$1,000 may be imposed for each violation. Each day a violation continues is a separate violation. In addition, a stop work order may be issued until the violation is corrected. The Permittee must be subject to the provisions of Section 10-5-35 of the FTPO.
5. Additional punitive measures as stated under Section 10-5-34 of the FTPO may be imposed.

## POST CONSTRUCTION

1. After construction is complete, the Permittee must request a final inspection in writing with the Forestry Inspector. At the final inspection, the Forestry Inspector may require additional corrective measures, which may include, but is not limited to:
  - a. Removal and replacement of dead and dying trees
  - b. Pruning of damaged, dead or declining limbs
  - c. Surface mulching
  - d. Soil aeration
  - e. Fertilization
  - f. Watering
  - g. Wound repair
  - h. Clean up of retention areas including trash removal
2. After the final inspection and completion of all corrective measures the Forestry Inspector will request all temporary tree removal protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both the City Sediment Control Inspector and the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.

### INSTALLATION OF PLANT MATERIAL

1. The Permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown on the FCP/Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from a supplier by the project start date.

- A pre-planting meeting is required before installation of landscaping, afforestation, or reforestation. The applicant should schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees include the Permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1).
3. Comply with appropriate City Soil Specification:
- Soil Specification FOR TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED<sup>1</sup>
    - Site preparation
      - Demolish existing impervious surface and remove all existing asphalt, concrete, stone and construction materials to expose subsoil free of debris.
      - Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.
      - Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation.
      - Test to ensure that planting bed drains at a rate of at least 1 inch per hour.
      - Install imported soil to fill excavated planting bed. Imported soil shall have a texture of LOAM, per the USDA soil classification system and a chemical composition compatible with healthy tree growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering (not both) between lifts to minimize potential settling.
    - Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 5.5 and 7 and a nutrient content which corresponds to an adequate rating, per current industry standards. Amend soil, if necessary, to achieve the current industry standard.
    - The Forestry Inspector may require additional soil specifications, based on site conditions.
  - Soil Specification FOR PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.
    - Site Preparation:
      - Remove all construction debris and top four to six inches of existing soil.
      - Test remaining existing soil to verify a pH range between 5.5 and 7, and has a nutrient content which corresponds to an adequate rating, per current industry standards.
      - Apply four (4) inches of mature compost evenly over the entire planting surface. (4" = 12 Cubic Yard/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install
      - Till the compost into the existing soil to a minimum depth of thirty-six (36) inches using the city's soil profile rebuilding specification.
      - If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.
    - The Forestry Inspector may require additional soil specifications, based on site conditions.
  - Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved City of Rockville Detail A-7
    - Test existing soil to verify it has a pH range between 5.5 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil.
      - Option 1 – Till Method: Depth of tilling for planting must be at least twenty-four (24) inches:
        - Apply four (4) inches of mature compost evenly over the entire planting surface (4" = 12 cubic yards/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
        - Till the compost into the existing soil to a minimum depth of twenty-four (24") inches.
      - Option 2 – Aeration and Vertical Mulching
        - Using a 2-3" diameter drill a series of holes in the soil to a depth of twenty-four (24) inches.
        - Begin at the edge of the hole dug for the root ball and continue drilling at one-foot intervals [maximum], in concentric rings around the tree out to ten (10) feet from the tree.
        - Each hole must be refilled with mature compost.
    - The Forestry Inspector may require additional soil specifications, based on site conditions.
- POST INSTALLATION**
- The Permittee shall notify the City Forestry Inspector IN WRITING when the planting is complete and request a post planting inspection. The inspection must include the Permittee, landscape contractor and Forestry Inspector. The maintenance and warranty period will not begin until the City Forestry Inspector has accepted ALL plantings.
  - Trees will be inspected for plant quality and proper planting in accordance with City specifications and nursery standards. Once the maintenance period has begun, the applicant is responsible for maintaining plant health in accordance with the signed Warranty and Maintenance Agreement.
  - Routine inspections will be conducted throughout the warranty period and the applicant will be notified in writing when corrective measures are required. Failure to complete the corrective measures by the given date may result in fines being issued, permits revoked, extension of warranty period or other punitive measures.
  - Such maintenance shall include when appropriate, but not necessarily be limited to:
    - Weekly watering equal to 10 gallons per caliper measure of tree diameter. (ex: 2.5" caliper tree =25 gallons/week.) Documented dendring natural rainfall may substitute for weekly watering.
    - Control of competing vegetation throughout the maintenance period as necessary.
    - Fertilizing, as required by soil analysis.
    - Pruning, mulching, tightening of strapping, resetting of plants to proper grades or upright position.
    - Furnishing and applying pesticides or other items necessary to thwart damage from insects and disease.
    - Providing protection measures such as fencing and interpretive signs as necessary, to prevent destruction or degradation of the planting site.
    - Replacement of dead and dying trees. Survival standards contained in the State Forest Conservation Manual shall
1. Have a organic matter indicated between 4-6%  
2. Have low salinity as indicated by a soluble salt content which is less than 3 dS/m  
3. Be free of debris, stone, gravel, trash, large sticks, heavy metals, and other deleterious contaminants, (if screening is used to remove debris, screen size must be ¼ inch or larger).  
4. Have a nutrient profile such that it has an adequate rating, per current industry standards.  
5. Be free of noxious weed seeds
- a. Compost
- Compost shall be composed of leaves, yard waste, or food waste. Biosolid-based composts shall not be used. A compost sample with analysis shall be submitted for approval to the City Forestry Division before application.
  - Stability refers to the rate of biological breakdown, measured by carbon dioxide release. Maturity refers to completeness of the aerobic composting process and suitability (lack of plant toxicity) as a plant growth media, often measured by ammonia release and by plant growth tests. Compost manufacturers that subscribe to the US Composting Council's testing program may document stability as compost testing 7 or below in accordance with TMECC 05.08-B, "Carbon Dioxide Evolution Rate". Maturity (suitability for plant growth) may be documented as compost testing greater than 80% in accordance with TMECC 05.05-A, "Germination and Vigor". Compost is considered mature and stable if it tests at 6.0 or higher on the Solvita Compost Maturity Index Rating, which is a combination of Carbon Dioxide and Ammonia Maturity Tests (test information and equipment available at [www.solvita.com](http://www.solvita.com)).
- iii. Compost shall also be:
- Free of weed seeds.
  - Free of heavy metals or other deleterious contaminants.
  - Have a soluble salt content which is less than 3 dS/m.
- c. Severely Degraded Soil
- Soil shall be considered severely degraded if grade was lowered or raised more than 14 inches OR soil was compacted in lifts regardless of the final grade OR was used as a staging area for construction materials, equipment or processes.

## POST INSTALLATION

1. The Permittee shall notify the City Forestry Inspector in WRITING when the planting is complete and request a post-planting inspection. The inspection must include the Permittee, landscape contractor and Forestry Inspector. The maintenance and warranty period will not begin until the City Forestry Inspector has accepted ALL plantings.
  2. Trees will be inspected for plant quality and proper planting in accordance with City specifications and nursery standards. Once the maintenance period has begun, the applicant is responsible for maintaining plant health in accordance with the signed Warranty and Maintenance Agreement.
  3. Routine inspections will be conducted throughout the warranty period and the applicant will be notified in writing when corrective measures are required. Failure to complete the corrective measures by the given date may result in fines being issued, permits revoked, extension of warranty period or other punitive measures.
  4. Such maintenance shall include when appropriate, but not necessarily be limited to:
    - a. Weekly watering equal to 10 gallons per caliper measure of tree diameter. (ex: 2.5" caliper tree =25 gallons/week.) Documented drenching natural rainfall may substitute for weekly watering.
    - b. Control of competing vegetation throughout the maintenance period as necessary.
    - c. Fertilizing, as required by soil analysis.
    - d. Pruning, mulching, tightening of strapping, resetting of plants to proper grades or upright position.
    - e. Fertilizing and applying pesticides or other items necessary to thwart damage from insects and disease.
    - f. Providing protection measures such as fencing and interpretive signs as necessary, to prevent destruction or degradation of the planting site.
    - g. Replacement of dead and dying trees. Survival standards contained in the State Forest Conservation Manual shall be followed for the protection and satisfactory establishment of forest where applicable.
- Page 5 of 6

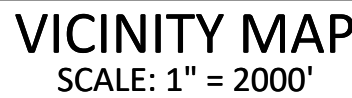
NON-NATIVE INVASIVE PLANT CONTROL:

1. The City of Rockville maintains a list of non-native and invasive plants for certain available on the City's website. The State of Maryland maintains a noxious weed list. The Permittee shall submit a Non-Native and Invasive Management Plan to the City Forestry Inspector for review and approval prior to the pre-planting meeting. Details to be included in the management plan are:
  - a. Narrative and/or plan stating the location, type and amount of non-native and invasive plants present on the site.
  - b. Proposed treatment measures and methods of control by plant type.
  - c. Timing and frequency of treatments by plant type.
  - d. Plan for seeding and/or re-planting following management/eradication treatment.
  - e. Proposed signage type and locations for installing herbicide application notification signs.
  - f. Copies of contractor certifications/pesticide licenses.
2. Contractor is responsible for complying with MDE, EPA and other government agency regulations as well as obtaining proper permits from these agencies as applicable. The Forestry inspector must be notified 48 hours in advance prior to commencing any all treatments.
3. The Forestry Inspector will perform periodic inspections of the non-native and invasive treatments throughout the warranty and maintenance ~~period~~. The applicant may be required to submit proof of treatment.

<sup>1</sup> See definitions section #9

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Page 5 of 6



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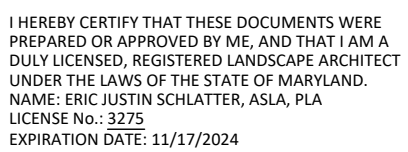
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HALPINE  
ROAD

CITY OF ROCKVILLE  
MONTGOMERY COUNTY,  
MARYLAND  
WSSC GRID: 216NW06  
TAX MAP: GQ63

# FINAL FOREST CONSERVATION NOTES

## PROFESSIONAL SEAL



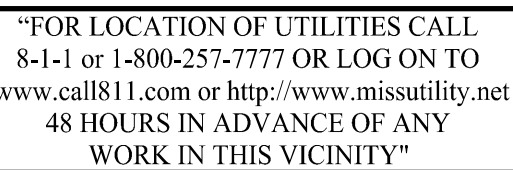
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DESIGNED BY: MBG  
DATE ISSUED: 12/01/2023

VIKA  
PROJECT VM50639A  
DRAWING  
NO.

SHEET NO. **FFCP-5**



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning &amp; Development Services

Received

December 15, 2023

Page 2 of 6

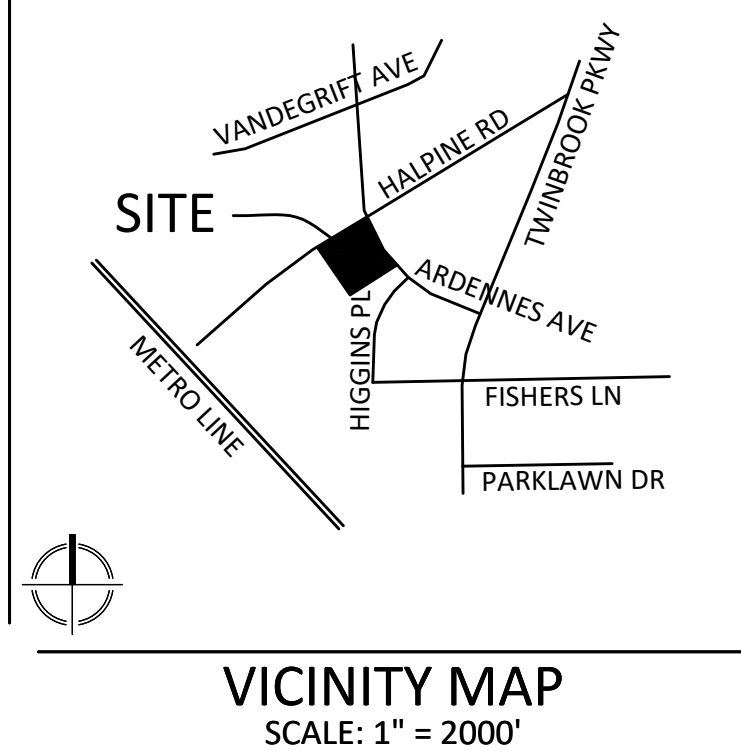
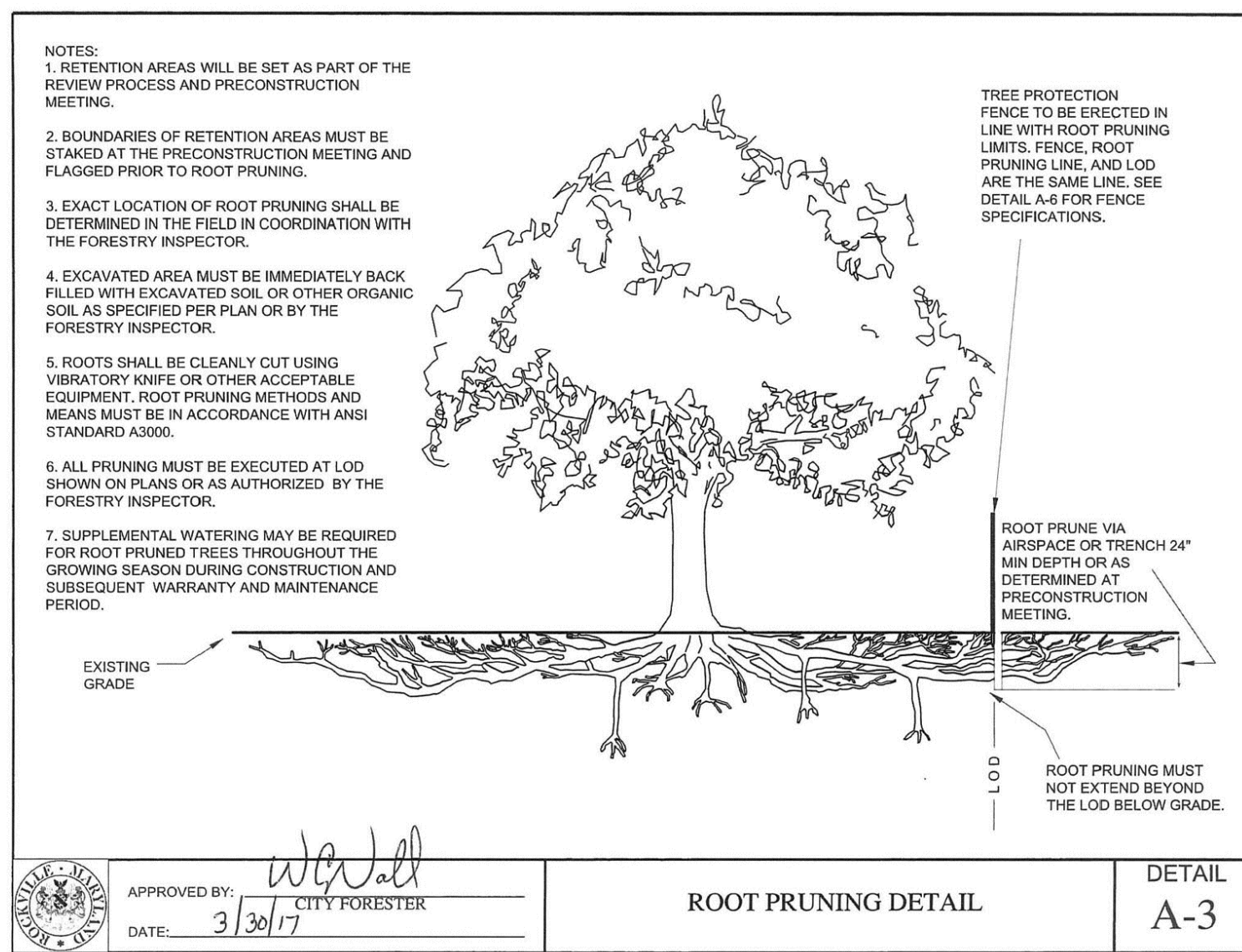
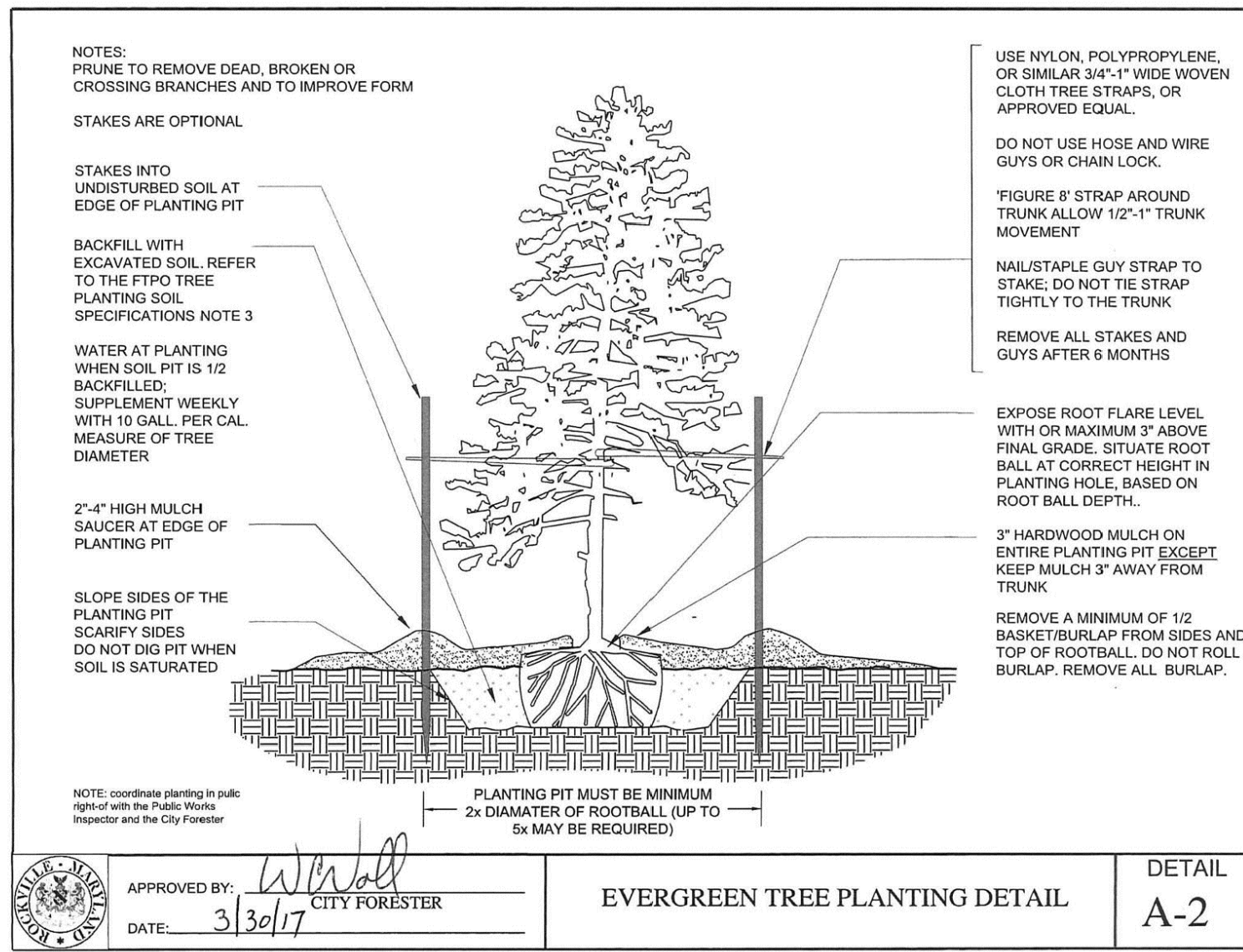
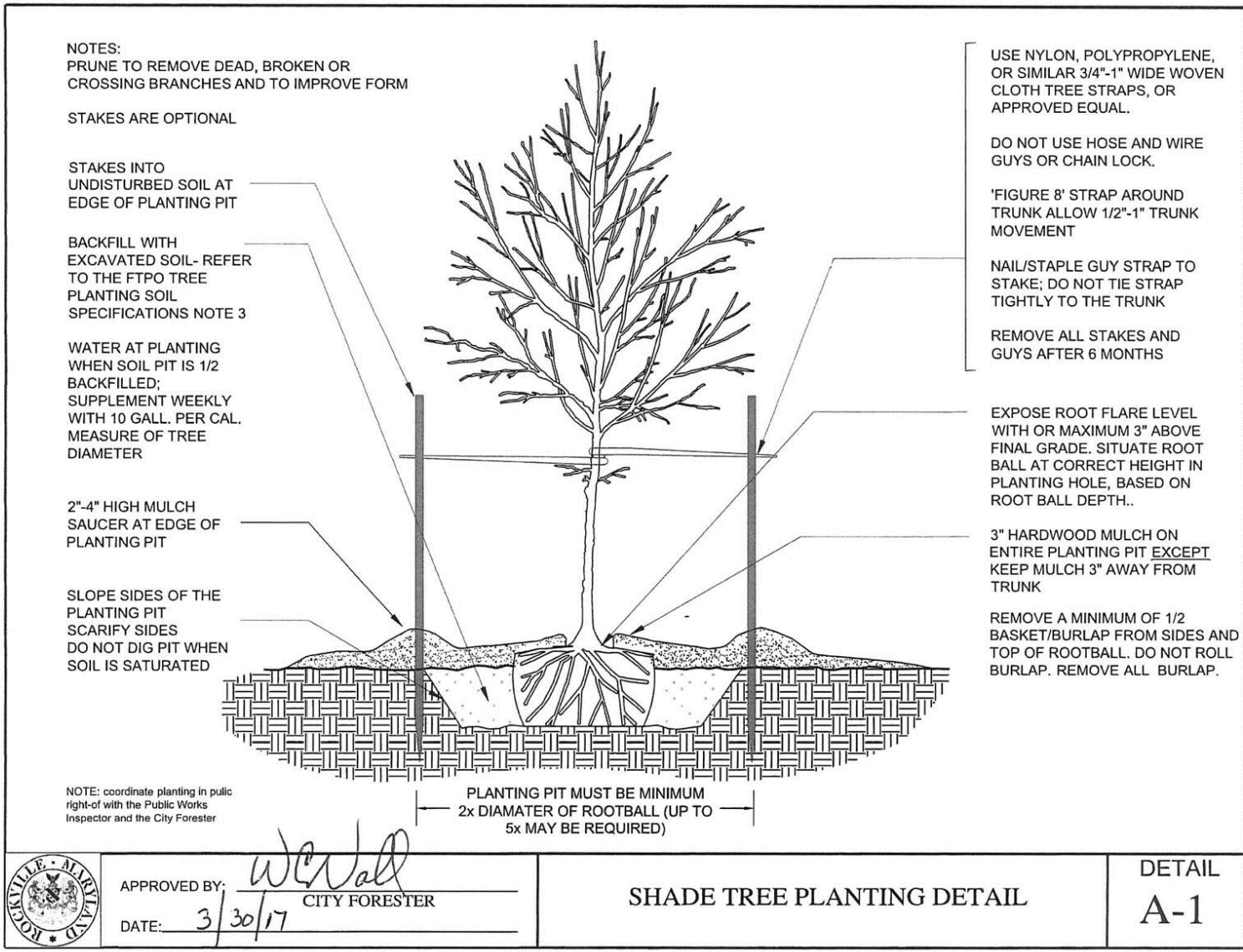
Page 4 of 6

Page 6 of 6

**NOT FOR CONSTRUCTION**

LAYOUT: FFCP-5, Plotted By: stebbins

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Our Site Set on the Future.

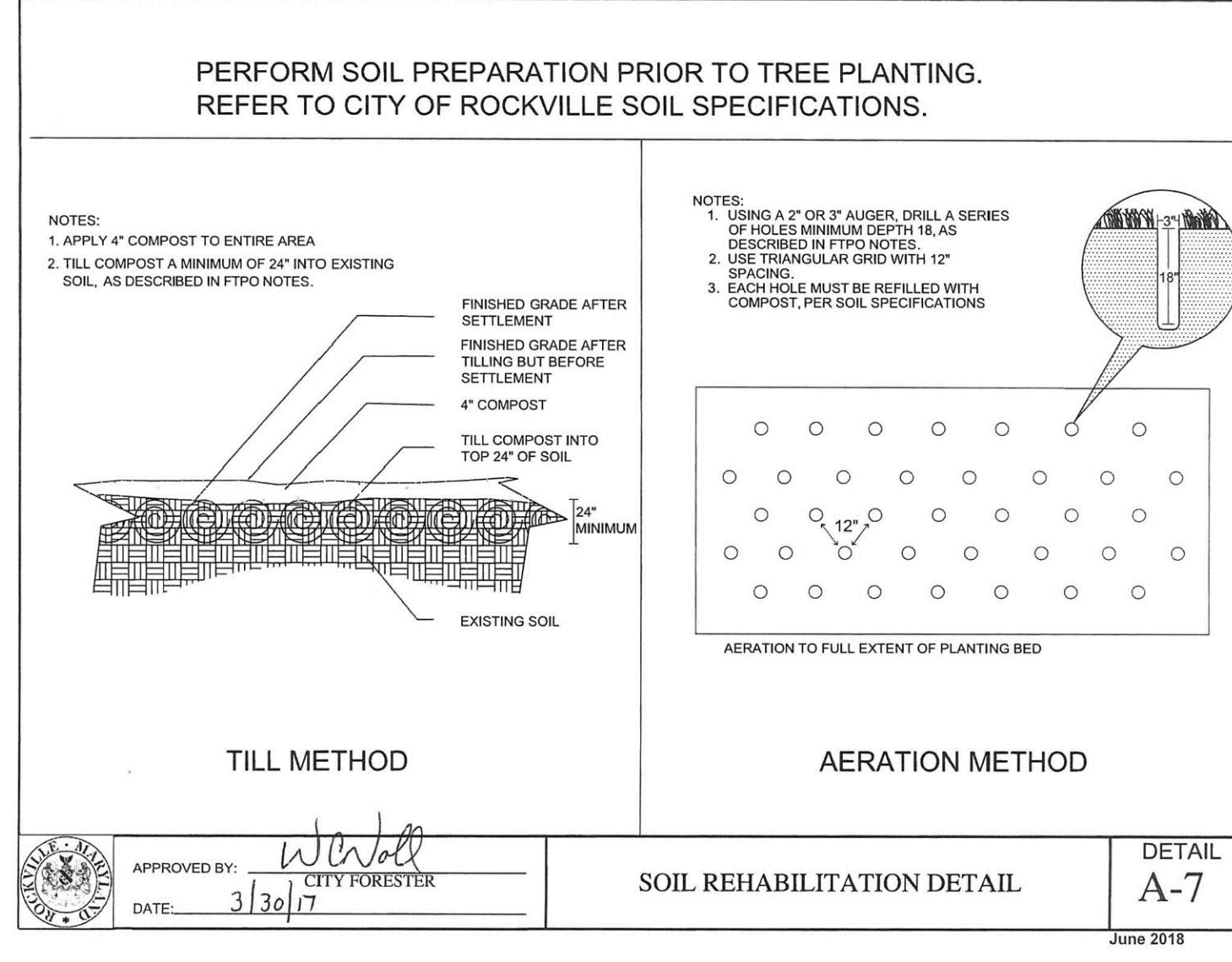
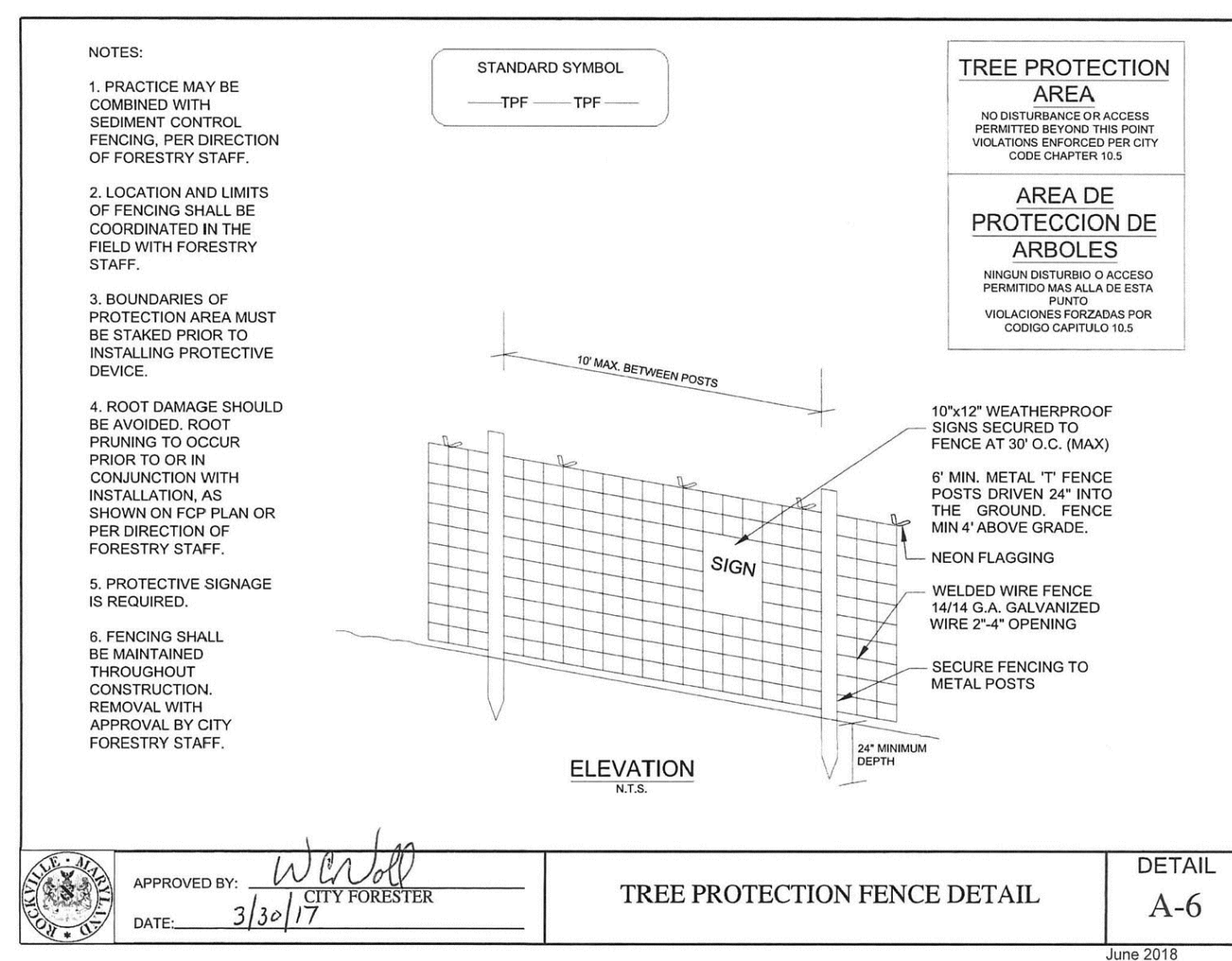
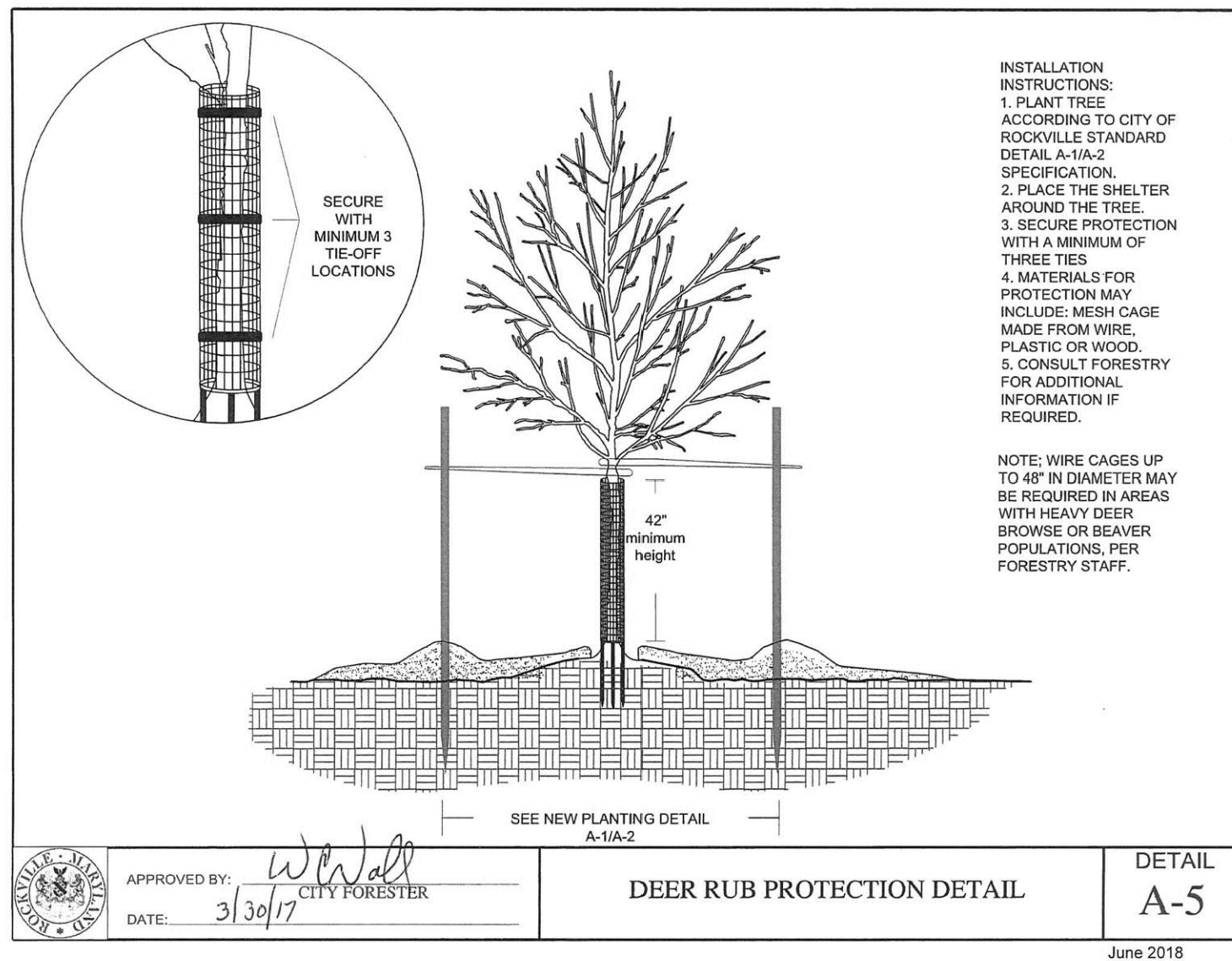
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202.296.8625  
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## 1 CITY OF ROCKVILLE SHADE TREE PLANTING DETAIL NOT TO SCALE

## 2 CITY OF ROCKVILLE EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

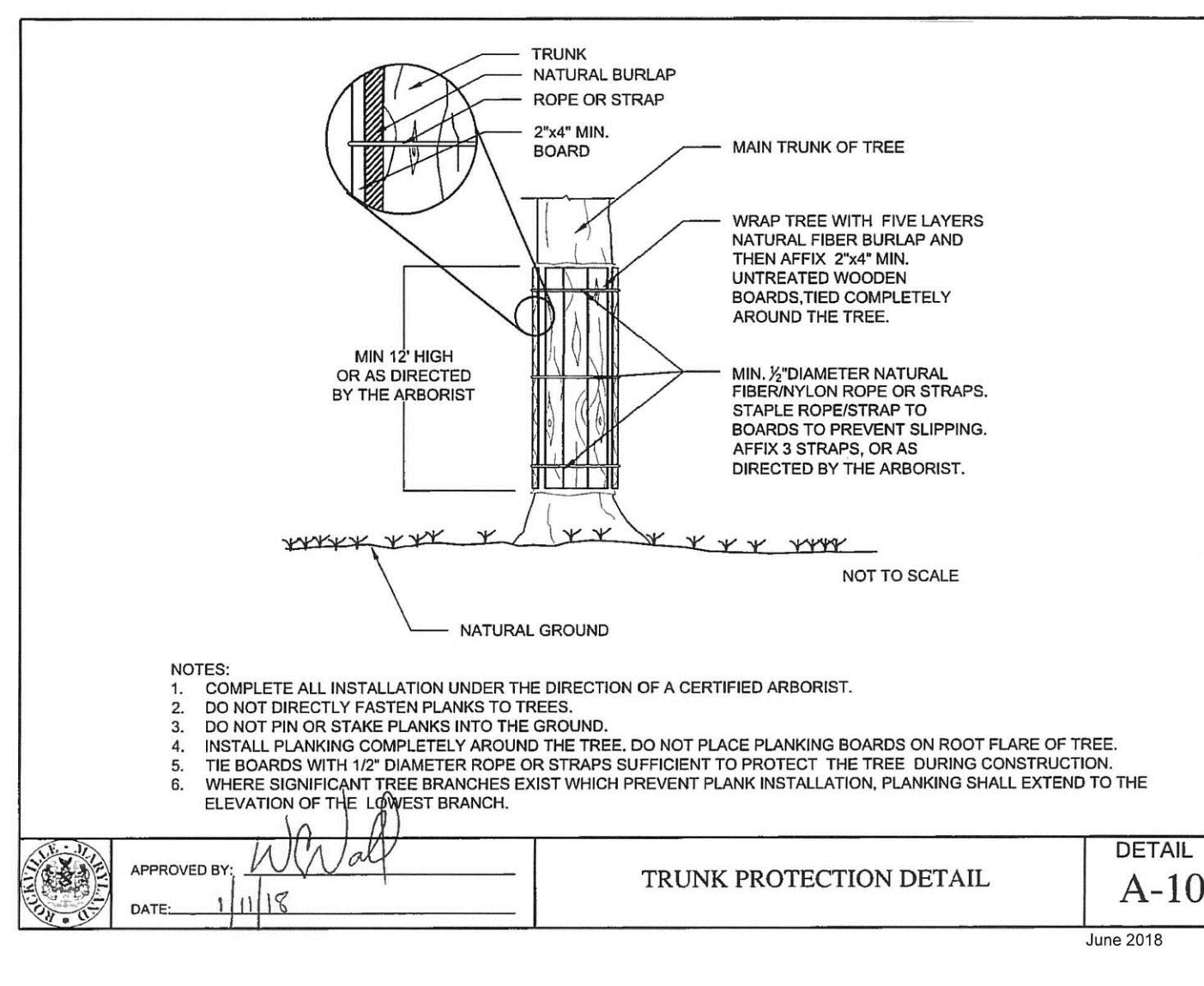
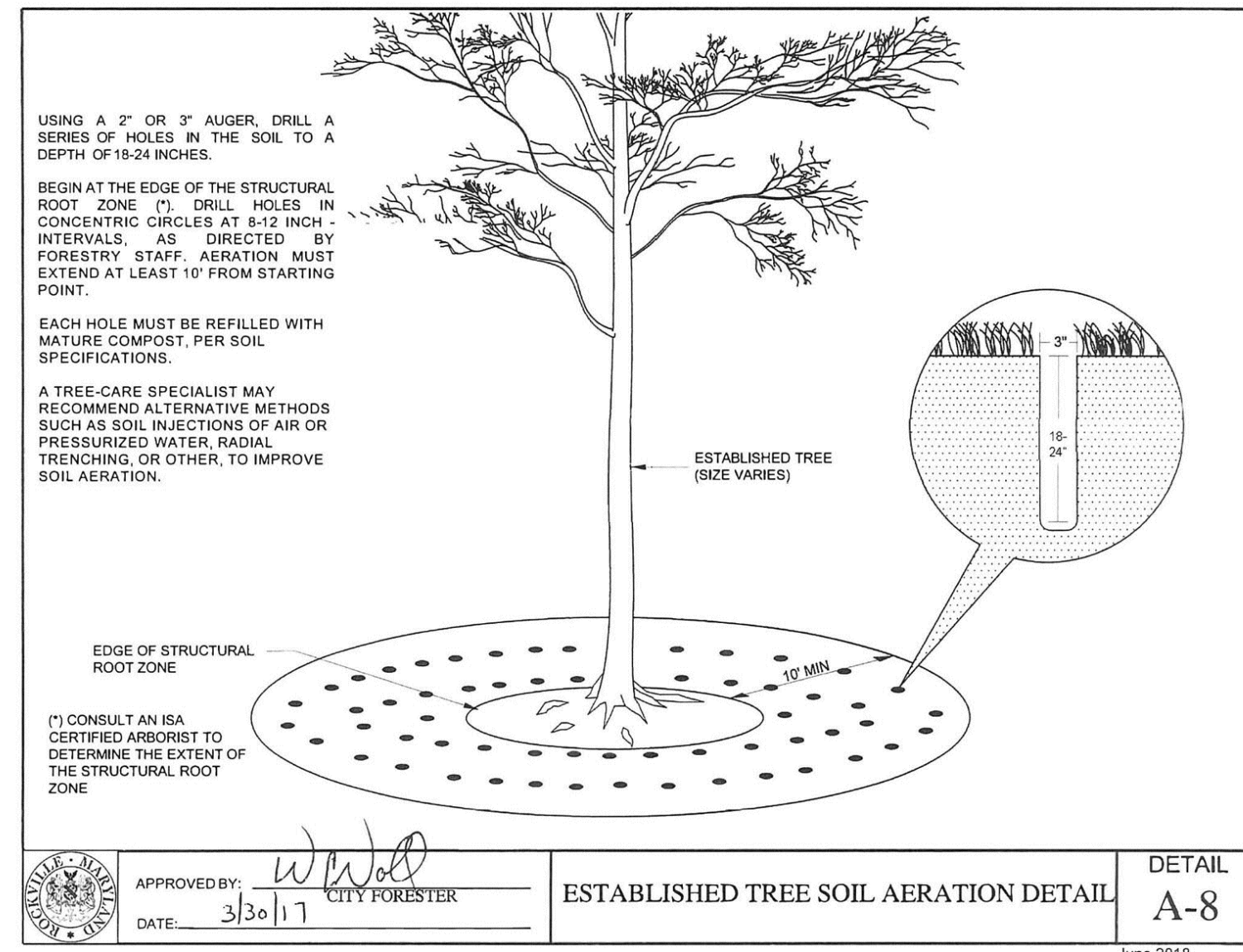
## 3 CITY OF ROCKVILLE ROOT PRUNING DETAIL NOT TO SCALE



## 4 CITY OF ROCKVILLE DEER RUB PROTECTION DETAIL NOT TO SCALE

## 5 CITY OF ROCKVILLE TREE PROTECTION FENCE DETAIL NOT TO SCALE

## 6 CITY OF ROCKVILLE SOIL REHABILITATION DETAIL NOT TO SCALE



**NOT FOR CONSTRUCTION**

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

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December 15, 2023

## 7 CITY OF ROCKVILLE TREE SOIL AERATION DETAIL NOT TO SCALE

## 8 CITY OF ROCKVILLE TREE TRUNK PROTECTION DETAIL NOT TO SCALE

## FINAL FOREST CONSERVATION DETAILS

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE NO.: 3275 EXPIRATION DATE: 11/17/2024

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