HALPINE ROAD

LEVEL 2 SITE PLAN ROCKVILLE (4TH.) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND

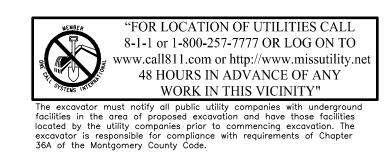
Property Information			
Zoning	F	R-60	
Floating Zone (Residential Flexible)	M	MXNC	
Tract Area	65,577 SF	1.51 AC	
Proposed Ardennes Dedication	1,739 SF	0.04 AC	
Site Area	63,838 SF	1.47 AC	
Development Program			
Residential Units		36	
Front Loaded Townhomes		0	
Rear Loaded MF Residential Units (2 over 2)		36	

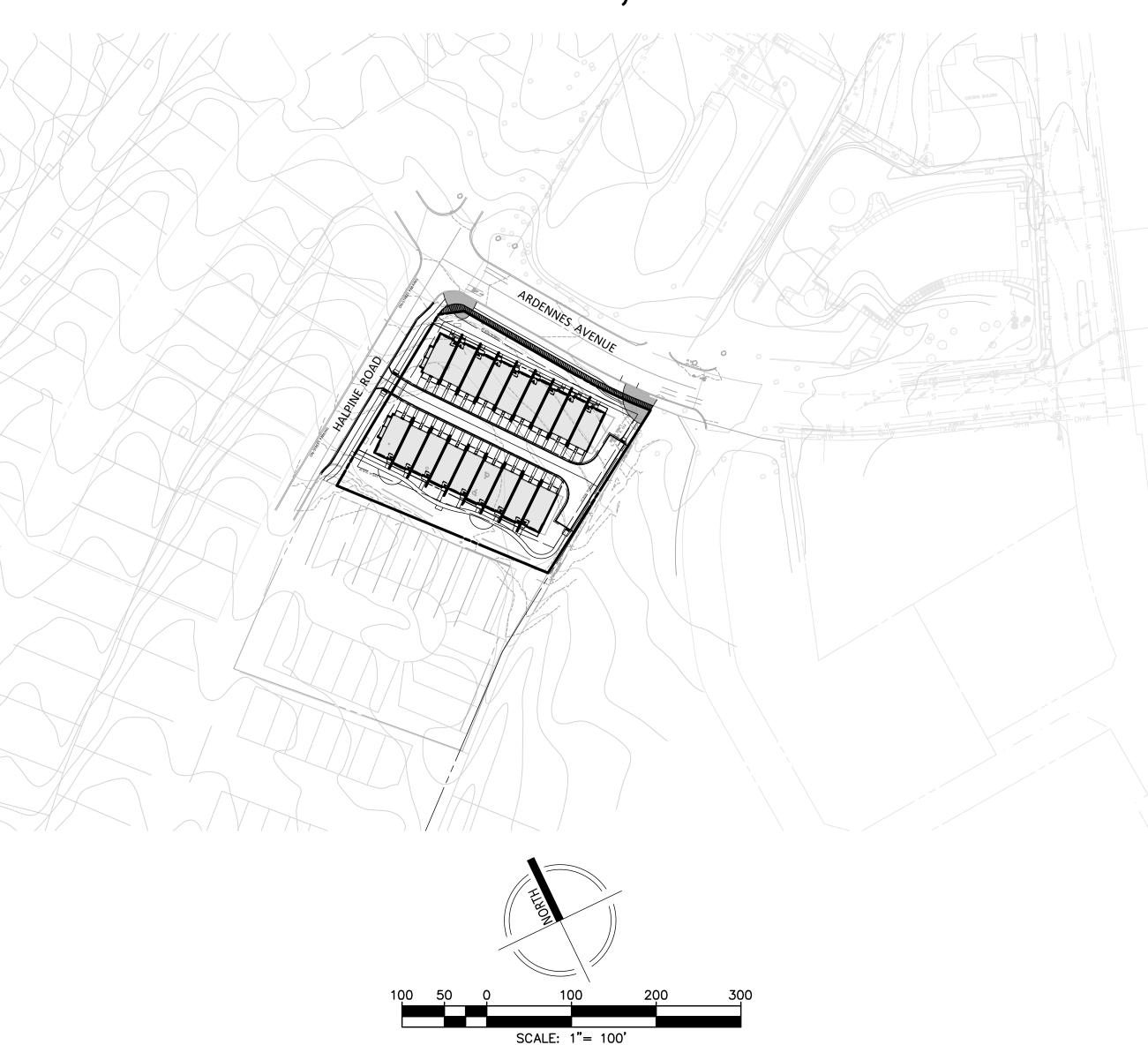
Building Height	Maximum Allowed		Maximum Requested	
Residential Units (2 over 2)	50'		50'	
Open Space	Minimum Required		Proposed (minimum)	
Open Area (includes public use space)	15%	9,576 SF	35.7%	22,800 SF
Public Use Space	10% 6,384 SF		10.2%	6,486 SF
Building Setbacks	Minimum Required Proposed		oposed	
Minimum width at Frontline	10'		256' Halpine, 272' Ardennes	
Setback abutting ROW	0' or 10' if provided		10' Halpine, 10' Ardennes	
Side abutting Non-Residential	0' or 10' if provided		30'	
Side abutting Residential	25' or height of building, whichever is greater		39' (1)	
Rear	0' or 10' if provided		10'	
Parking	Mi	nimum Required	Pr	oposed
Residential Units (2 over 2), 36 rear load (2 per unit)	72 72		72	
			72	
Accessible Parking	Mi	nimum Required	Pro	oposed
Residential Units (2 over 2)	0		0	
Bicycle Parking	Mi	nimum Required	Pro	oposed
Residential Units (2 over 2)	0		0	

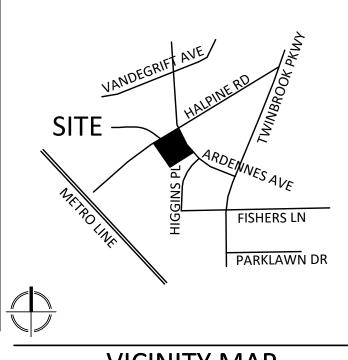
(1) Pursuant to Zoning Ordinance Section 25.14.35.e a 10' waiver from the side yard setback requirement, as well as a corresponding 22' waiver from the layback slope requirement, is proposed.

Community Planning & Development Services Received

December 15, 2023







VICINITY MAP SCALE: 1" = 2000'

GENERAL NOTES

- THE PROPERTY IS 1.51 ACRES.
- THE SUBJECT PROPERTY COMPRISES THE FOLLOWING PROPERTIES:
- PARCEL N091, TAX MAP GQ63, TAX ACCT NO. 04-00146900 (CITY OF ROCKVILLE) PARCEL N091 IS CURRENTLY ZONED R-60; MXNC ZONING IS BEING PURSUED IN
- ACCORDANCE WITH THE FLOATING ZONE PROVISIONS. THE SITE IS LOCATED ON WSSC MAP 216NW06.
- BOUNDARY AND TOPOGRAPHIC DATA PROVIDED BY VIKA 05/2023.
- THERE IS NO 100 YEAR FLOODPLAIN LOCATED ON THE SITE.
- THERE IS NO STREAM VALLEY BUFFER LOCATED ON THE SITE.
- THERE ARE NO WETLANDS LOCATED ON THE SITE.
- 'D' TAPE WAS USED TO MEASURE THE TREES. THERE ARE NO STATE/COUNTY CHAMPION TREES LOCATED ON-SITE.
- THERE ARE NO EXISTING BUILDINGS WITHIN THE INVENTORY AREA IDENTIFIED IN THE CITY OF ROCKVILLE HISTORIC BUILDINGS CATALOGUE MAP. THE CITY OF ROCKVILLE ONLINE GIS DATA WAS ACCESSED ON OCTOBER 28, 2021.
- NRI/FSD FIELD WORK WAS CONDUCTED BY VIKA MARYLAND, LLC STAFF, CHARLES CRISLIP AND ZARIA STEBBINS ON APRIL 4, 2023.
- NRI/FSD FTP2023-00059 WAS APPROVED 10/10/2023.
- EXISTING BUILDINGS ON THE PROPERTY PROPOSED FOR DEMOLITION ARE SUBJECT
- TO ZONING ORDINANCE SEC. 25. 07.02.4, HISTORIC REVIEW.

SHEET INDEX

SP	P-1	COVER SHEET
SP	P-2	APPROVALS
SP	P-3	SITE PLAN OVERALL
SP	P-4	SITE PLAN GRADING
SP	P-5	FIRE PROTECTION PLAI
SP	P-6	GARBAGE TRUCK MOV
SP) ₋ 7	SU-30 MOVEMENT PLA

VEMENT PLAN

SU-30 MOVEMENT PLAN

FIRE TRUCK MOVEMENT PLAN

LANDSCAPE COVER LL-1.00

OVERALL MATERIALS PLAN OVERALL ANDSCAPE PLAN

PLANTING PLAN ENLARGEMENTS

PLANTING PLAN ENLARGEMENT

LL-2.00 PAVER DETAILS

LL-2.01 SITE DETAILS

SITE DETAILS

PLANTING DETAILS AND SCHEDULE

LIGHTING DETAILS

LL-3.00 LIGHTING PLAN

OPEN SPACE PLAN

FINAL FOREST CONSERVATION PLAN COVER SHEET

FINAL FOREST CONSERVATION PLAN

FINAL FOREST CONSERVATION PLAN TREE REMOVAL FINAL FOREST CONSERVATION PLAN TABLES

FINAL FOREST CONSERVATION NOTES

FINAL FOREST CONSERVATION DETAILS

SUPPORTING DOCUMENTS

STORMWATER MANAGEMENT CONCEPT PLAN CONCEPT SEDIMENT EROSION CONTROL PLAN PAVEMENT MARKING AND SIGNAGE PLAN **UTILITY PLAN**

FOREST CONSERVATION/SWM OVERLAY EXHIBIT ARCHITECTURE PLAN CONCEPTS



Germantown, MD 20874 301.916.4100 | vika.com

Our Site Set on the Future

PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PREPARED FOR:

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD GERMANTOWN MD, 20874 301.916.4100

> ATTORNEY LERCH, EARLY & BREWER,

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814

CONTACT: MICHAEL GOODMAN, PE

301.986.1300 CONTACT: PATRICIA HARRIS

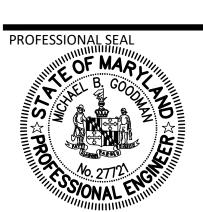
GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LEVEL 2 SITE PLAN **COVER SHEET**



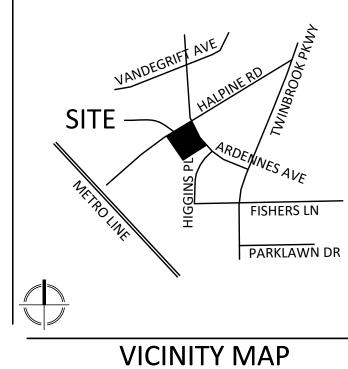
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM UNDER THE LAWS OF THE STATE OF MARYLAND ENGINEER'S NAME: MICHAEL GOODMAN, P.E. LICENSE No.: 27721 EXPIRATION DATE: JULY 19, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>EJS</u> DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

LAYOUT: COVER, Plotted By: schlatter



VICINITY IVIA SCALE: 1" = 2000' VIKA MARYLAND, LLC

VIKA MARYLAND, LLC 20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PREPARED FOR:
PULTE HOME
COMPANY, LLC

9302 LEE HIGHWAY SUITE 1000 FAIRFAX, VA 22031 703.934.9367 DAVID DEMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD
SUITE 400
GERMANTOWN MD, 20874
301.916.4100
CONTACT: MICHAEL GOODMAN, PE

ATTORNEY
LERCH, EARLY & BREWER,

CHTD.
7600 WISCONSIN AVE, SUITE 700
BETHESDA, MD 20814
301.986.1300
CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER
GOROVE SLADE

1140 CONNECTICUT AVE NW, SUITE 1010
WASHINGTON, DC 20036
202.296.8625
CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

LEVEL 2 SITE PLAN APPROVALS



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: MICHAEL GOODMAN, P.E. LICENSE NO.: 27721

EXPIRATION DATE: JULY 19, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LLC

DRAWN BY: EJS
DESIGNED BY: MBG
DATE ISSUED: 12/01/2023

VIKA PROJECT VM50639A

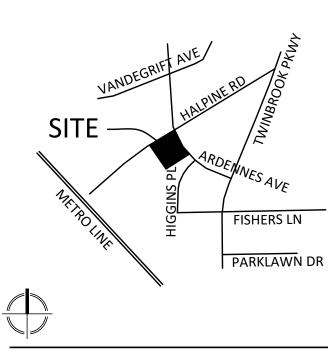
WING

Community Planning & Development Services
Received
December 15, 2023

"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
WWW.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"

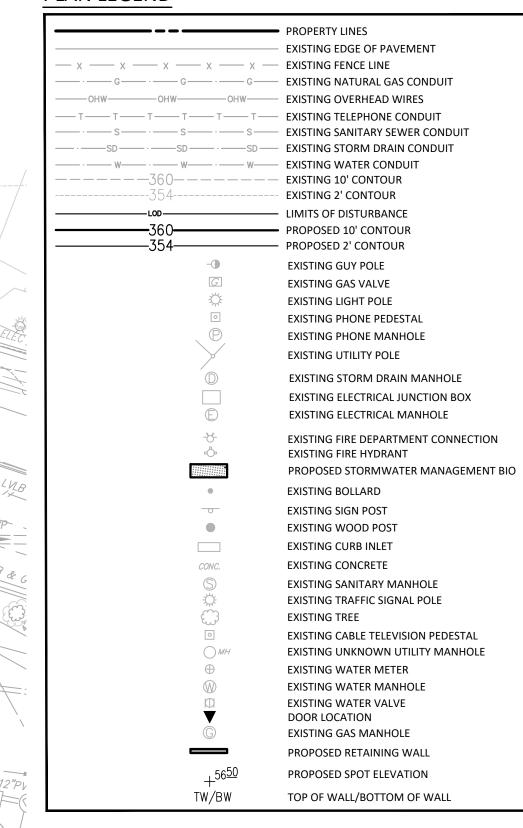
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.





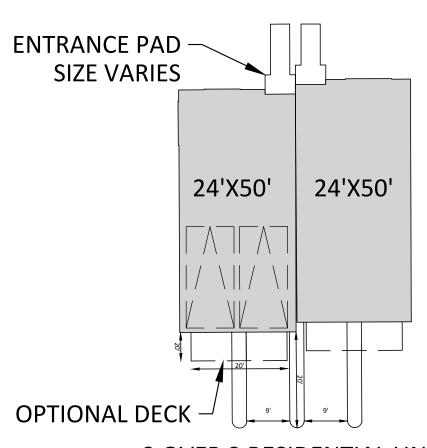
VICINITY MAP SCALE: 1" = 2000'

PLAN LEGEND



UNIT TYPE KEY

2 OVER 2 RESIDENTIAL UNIT FRONT ENTRANCE



2 OVER 2 RESIDENTIAL UNIT REAR LOAD GARAGE

SCALE: 1"= 20'

PROJECT VM50639A

SHEET NO. SP-3

Community Planning & Development Services

December 15, 2023

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net

48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

20251 Century Blvd., Suite 400

Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future. PREPARED FOR:

PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

DAVID DeMARCO

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER, CHTD.

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

DATE
_
_

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LEVEL 2 SITE PLAN



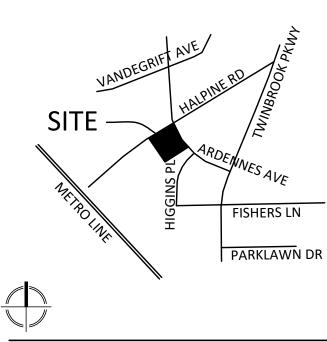
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: MICHAEL GOODMAN, P.E. LICENSE No.: 27721
EXPIRATION DATE: JULY 19, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR

WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

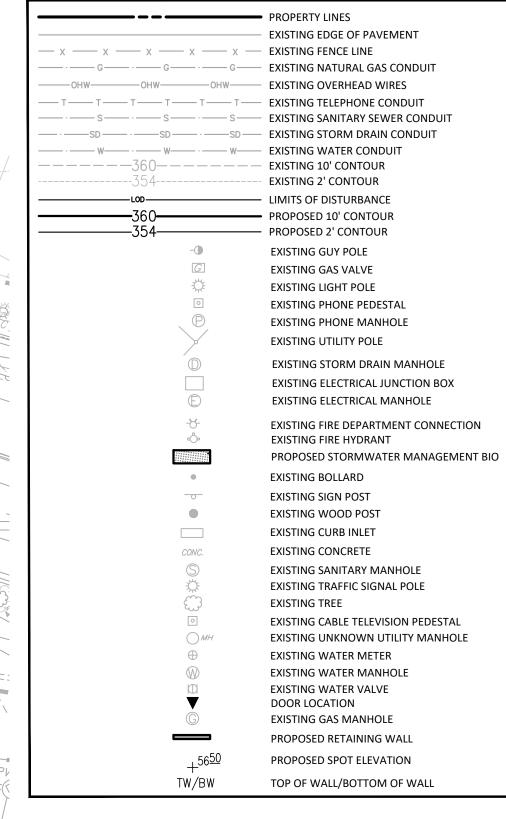
DRAWN BY: <u>EJS</u> DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>





VICINITY MAP SCALE: 1" = 2000'

PLAN LEGEND



VIKA MARYLAND, LLC 20251 Century Blvd., Suite 400

VIKA MARYLAND, LLC
20251 Century Blvd., Suite 400
Germantown, MD 20874
301.916.4100 | vika.com
Our Site Set on the Future.

PREPARED FOR:
PULTE HOME
COMPANY, LLC
9302 LEE HIGHWAY

SUITE 1000

FAIRFAX, VA 22031
703.934.9367
DAVID DEMARCO
David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD
SUITE 400
GERMANTOWN MD, 20874
301.916.4100
CONTACT: MICHAEL GOODMAN, PE

ATTORNEY
LERCH, EARLY & BREWER,
CHTD.

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER
GOROVE SLADE

1140 CONNECTICUT AVE NW, SUITE 1010
WASHINGTON, DC 20036
202.296.8625
CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

SITE PLAN GRADING



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: MICHAEL GOODMAN, P.E. LICENSE No.: 27721

EXPIRATION DATE: JULY 19, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

© 2019 VIKA MARYLAND, LL

DRAWN BY: EJS
DESIGNED BY: MBG
DATE ISSUED: 12/01/2023

VIKA PROJECT VM50639A DRAWING

SHEET NO. SP-4

NOT FOR CONSTRUCTION

Community Planning & Development Services

December 15, 2023

"FOR LOCATION OF UTILITIES CALL
8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or http://www.missutility.net
48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

1 30A of the Montgomery County Co

20 10 0 20 40 60

SCALE: 1"= 20'



20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com

Our Site Set on the Future. PREPARED FOR: PULTE HOME

9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

COMPANY, LLC

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER
GOROVE SLADE

1140 CONNECTICUT AVE NW, SUITE 1010
WASHINGTON, DC 20036
202.296.8625
CONTACT: WILL ZEID

REVISIONS	DATE
-	
	-
	-
	-

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LEVEL 2 SITE PLAN FIRE PROTECTION PLAN



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
ENGINEER'S NAME: MICHAEL GOODMAN, P.E. LICENSE No.: 27721
EXPIRATION DATE: JULY 19, 2024

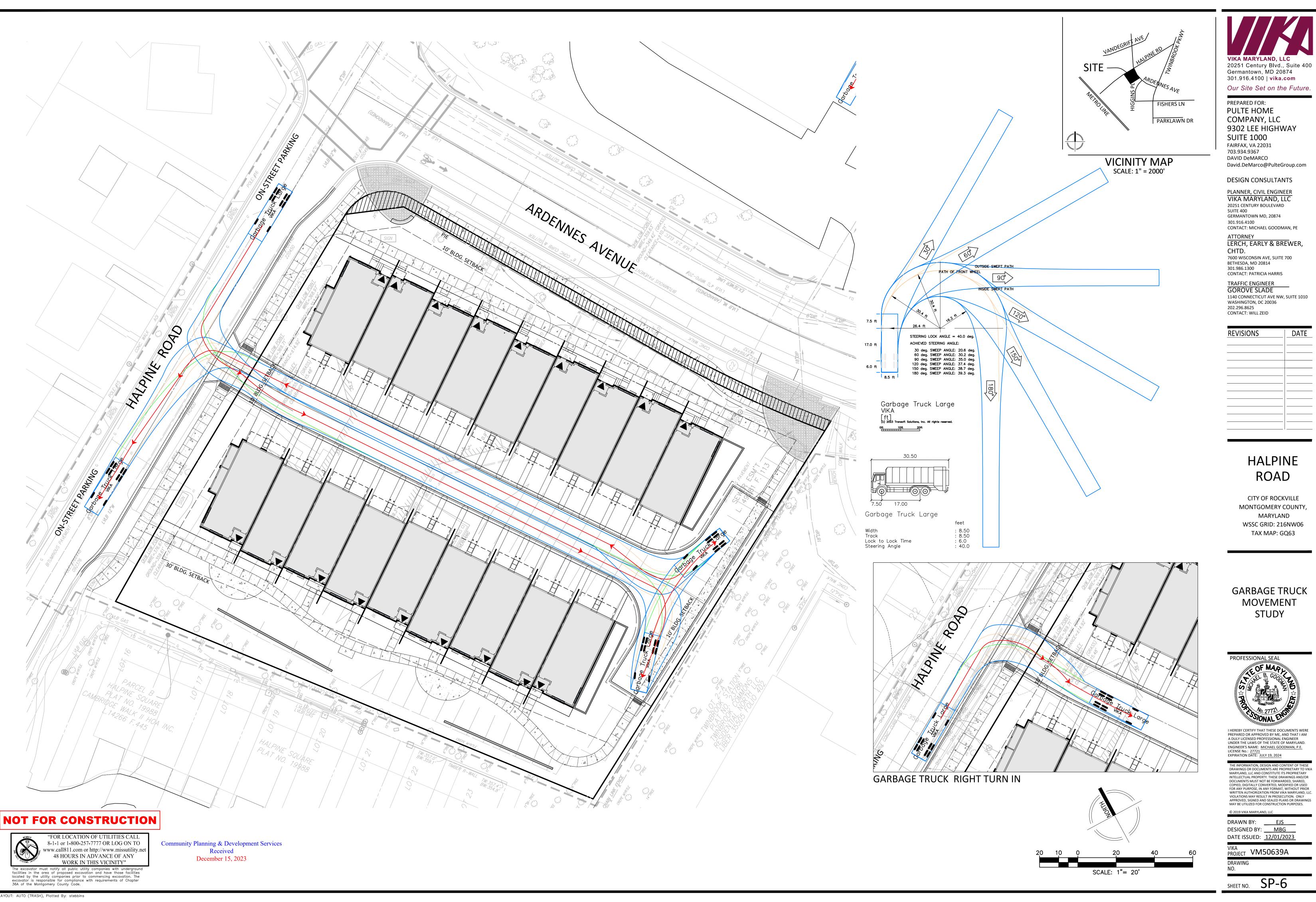
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: EJS DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. SP-5

Received December 15, 2023



301.916.4100 | vika.com

PREPARED FOR:

FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO

301.916.4100

ATTORNEY

202.296.8625 CONTACT: WILL ZEID

CHTD.

Our Site Set on the Future.

David.DeMarco@PulteGroup.com

CONTACT: MICHAEL GOODMAN, PE

HALPINE

ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY,

MARYLAND WSSC GRID: 216NW06

TAX MAP: GQ63

GARBAGE TRUCK

MOVEMENT

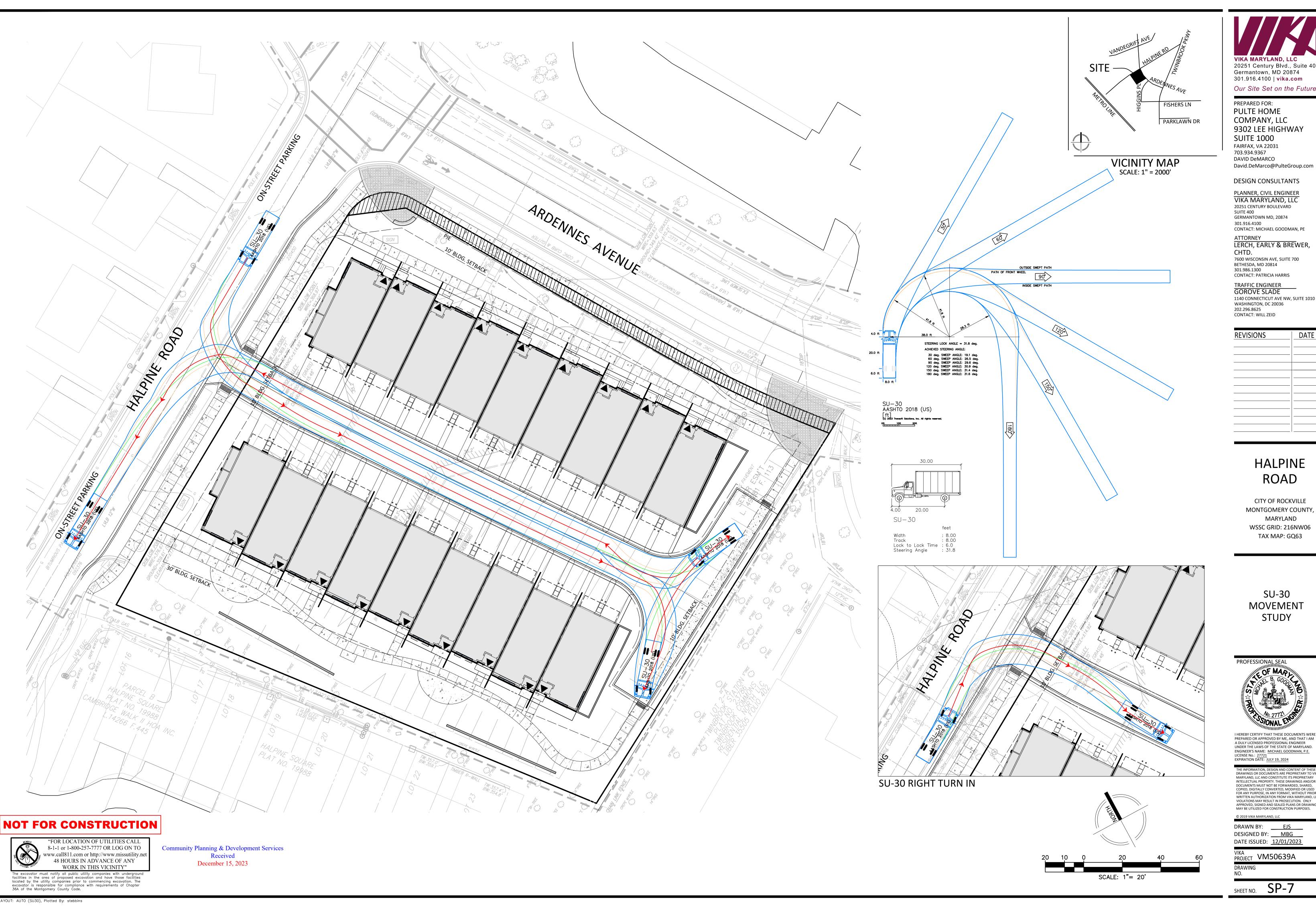
STUDY

PROFESSIONAL SEAL

LICENSE No.: 27721 EXPIRATION DATE: JULY 19, 2024

DESIGNED BY: MBG

LAYOUT: AUTO (TRASH), Plotted By: stebbins



20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com

Our Site Set on the Future. PREPARED FOR:

9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER
GOROVE SLADE

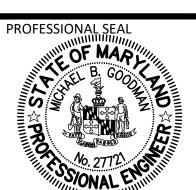
1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

REVISIONS	DATE
	_
	_

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

SU-30 **MOVEMENT** STUDY



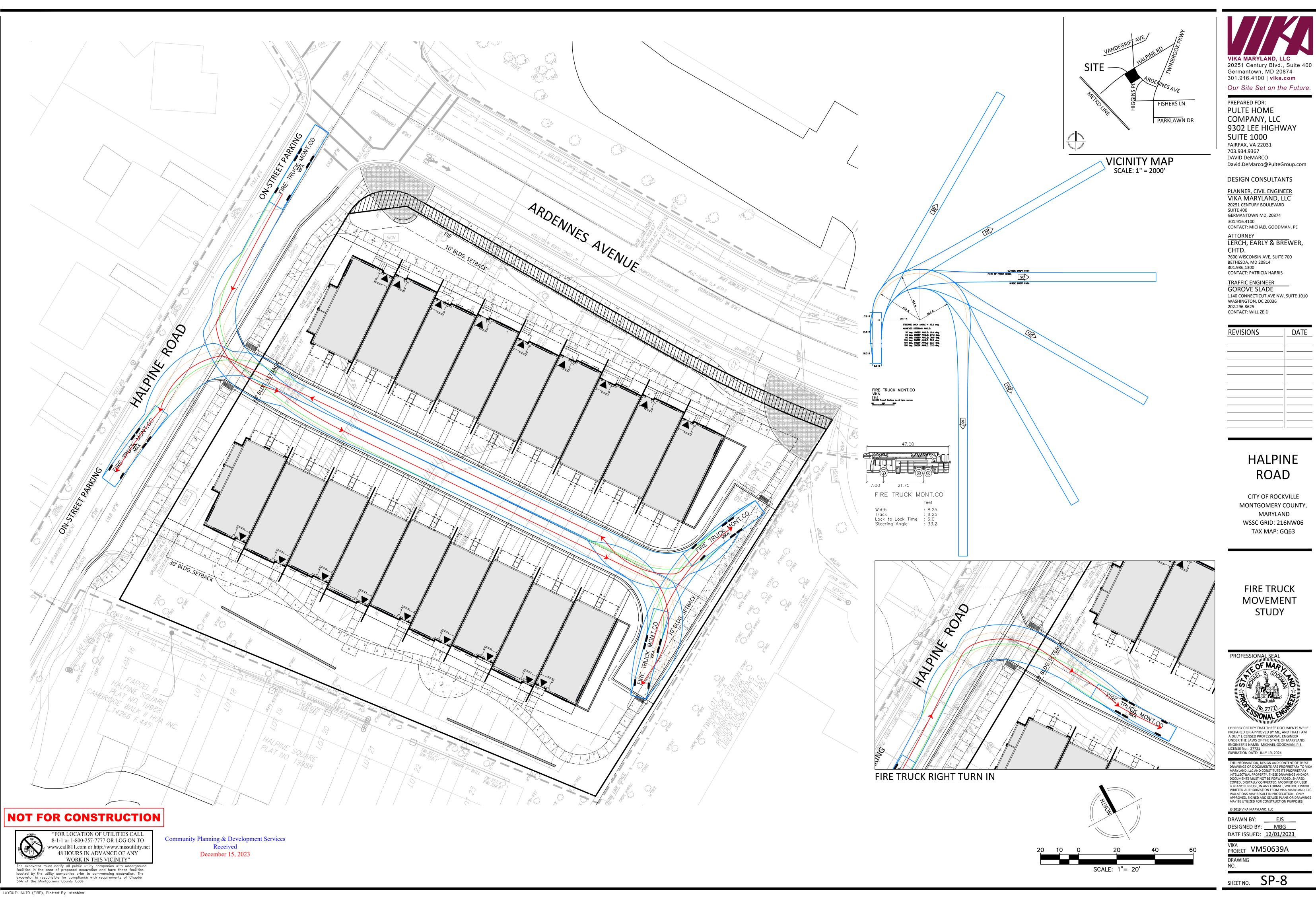
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: MICHAEL GOODMAN, P.E. LICENSE No.: 27721 LICENSE No.: 27721 EXPIRATION DATE: JULY 19, 2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: EJS DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

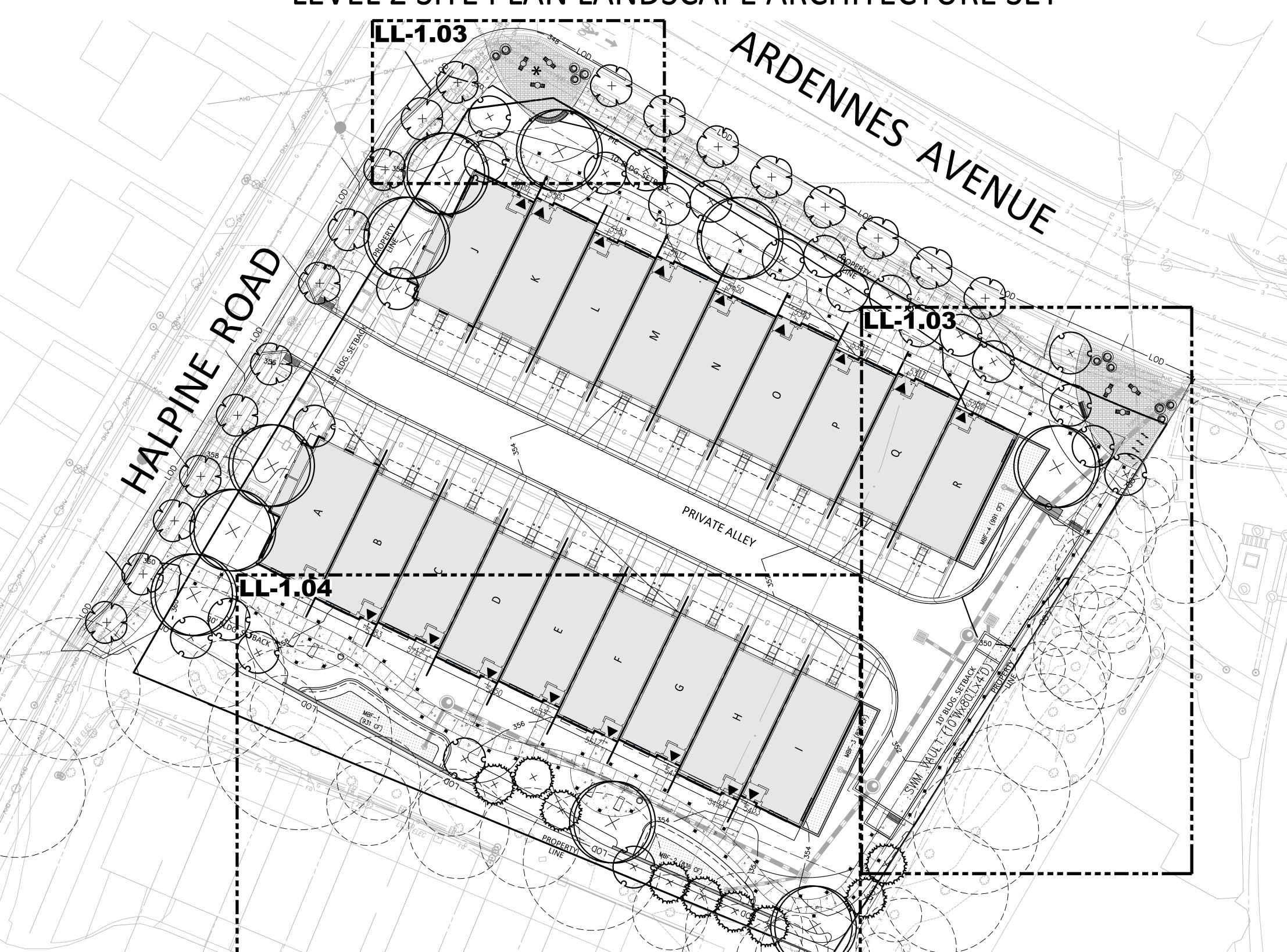
PROJECT VM50639A

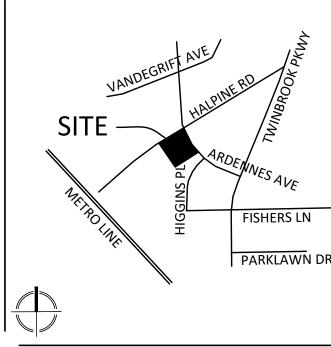
SHEET NO. SP-7



HALPINE ROAD

LEVEL 2 SITE PLAN LANDSCAPE ARCHITECTURE SET





VICINITY MAP SCALE: 1" = 2000'

PREPARED FOR: **PULTE HOME** COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031

703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

301.916.4100 | vika.com

Our Site Set on the Future.

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD

ATTORNEY LERCH, EARLY & BREWER,

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 CONTACT: WILL ZEID

REVISIONS	DATE
-	

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LANDSCAPE COVER

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWING: MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: ZS/JC DESIGNED BY: ____ES DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

LANDSCAPE PLAN INDEX

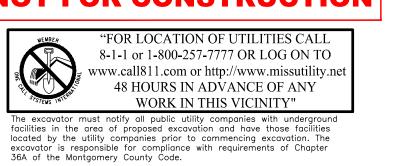
LANDSCAPE COVER OVERALL MATERIALS PLAN OVERALL TREE PLANTING PLAN PLANTING PLAN ENLARGEMENTS PLANTING PLAN ENLARGEMENT PAVER DETAILS SITE DETAILS LL-2.01 SITE DETAILS

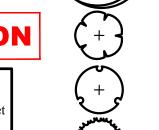
PLANTING DETAILS AND SCHEDULE LL-2.04 LIGHTING DETAILS LIGHTING PLAN LL-3.00 LL-4.00 OPEN SPACE PLAN

NOT FOR CONSTRUCTION

Community Planning & Development Services

December 15, 2023





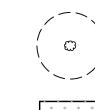
LEGEND

PROPOSED ORNAMENTAL TREE

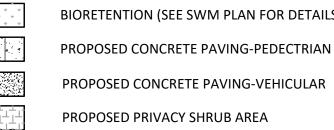
PROPOSED EVERGREEN TREE

PROPOSED CANOPY TREE

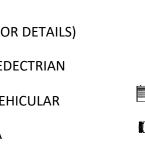
PROPOSED STREET TREE



EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING BIORETENTION (SEE SWM PLAN FOR DETAILS)



PROPOSED CONCRETE PAVERS-PEDESTRIAN

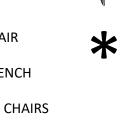


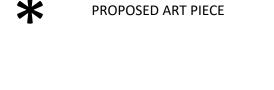
PROPOSED BOLLARD



PROPOSED STORM DRAIN

PROPOSED TRASH RECEPTACLE

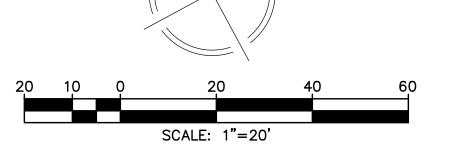


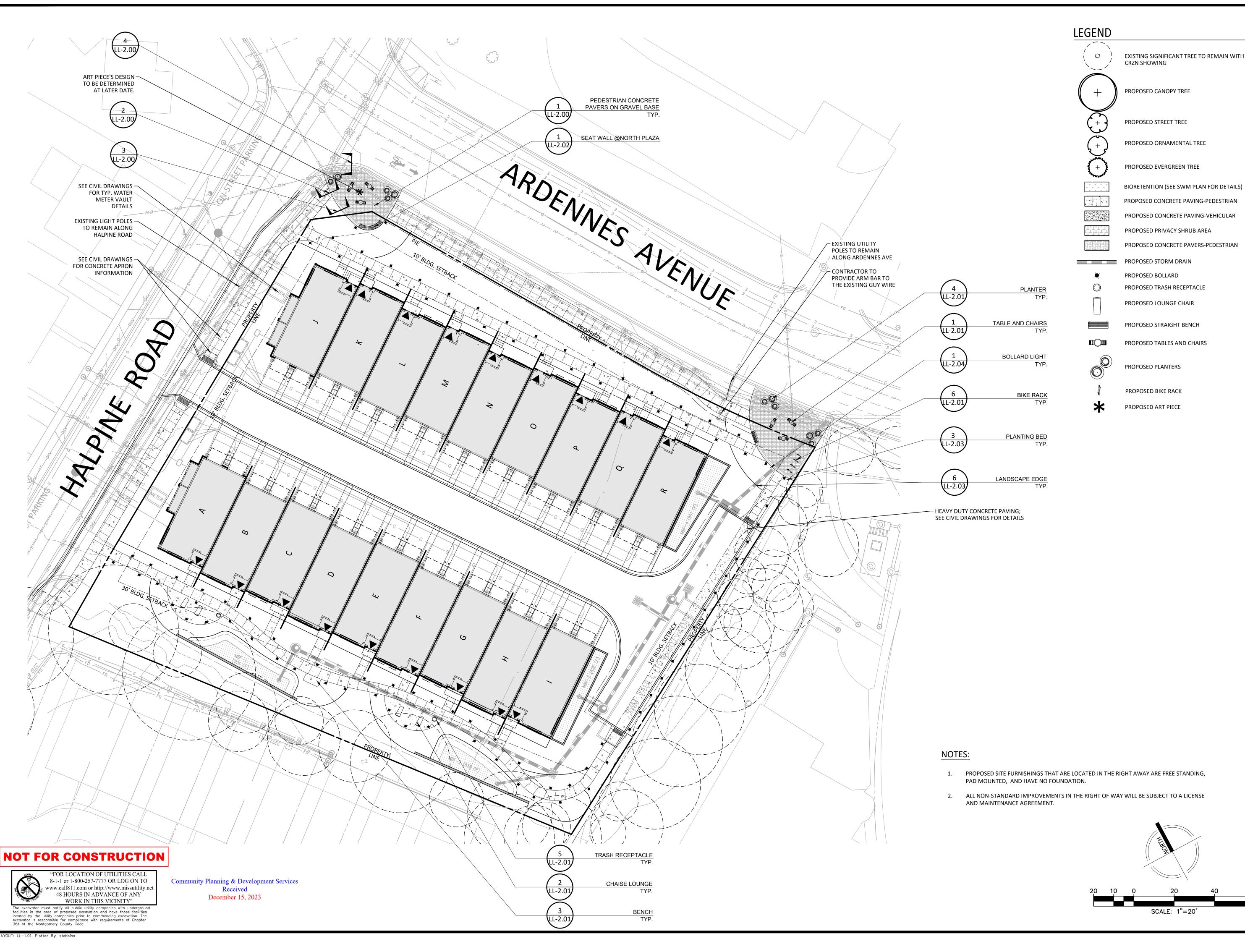


PROPOSED PLANTERS

PROPOSED BIKE RACK







20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PREPARED FOR:

PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000**

FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

PLANNER, CIVIL ENGINEER

VIKA MARYLAND, LLC

CONTACT: MICHAEL GOODMAN, PE

LERCH, EARLY & BREWER,

1140 CONNECTICUT AVE NW, SUITE 1010

7600 WISCONSIN AVE, SUITE 700

BETHESDA, MD 20814

CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER

WASHINGTON, DC 20036

GOROVE SLADE

CONTACT: WILL ZEID

20251 CENTURY BOULEVARD

GERMANTOWN MD, 20874

SUITE 400

301.916.4100

ATTORNEY

301.986.1300

202.296.8625

REVISIONS

CHTD.

DESIGN CONSULTANTS

PROPOSED CONCRETE PAVING-VEHICULAR

PROPOSED CONCRETE PAVERS-PEDESTRIAN

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

OVERALL MATERIALS PLAN

PROFESSIONAL SEAL

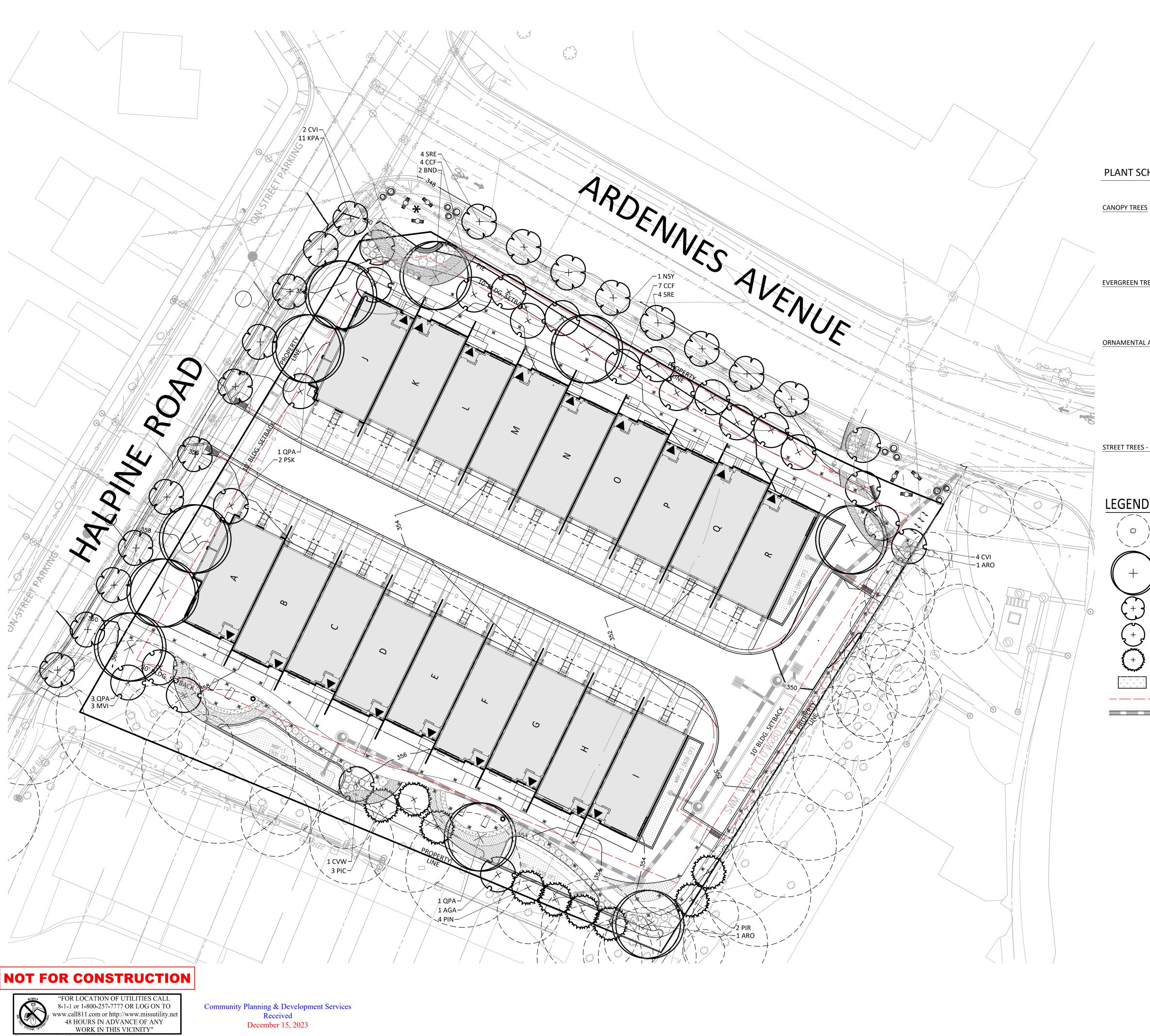
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: ZS/JC DESIGNED BY: ____ES DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. LL-1.01





BOTANICAL / COMMON NAME **CANOPY TREES** ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH NYSSA SYLVATICA / TUPELO QUERCUS PALUSTRIS / PIN OAK **EVERGREEN TREES** PICEA ABIES / NORWAY SPRUCE

PICEA RUBENS / RED SPRUCE PINUS STROBUS / WHITE PINE

AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY

CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD

CHIONANTHUS VIRGINICUS / WHITE FRINGETREE

CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN

MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA

PRUNUS SERRULATA 'KWANZAN' / KWANZAN JAPANESE FLOWERING CHERRY

STREET TREES - ORNAMENTAL

KOELREUTERIA PANICULATA / GOLDEN RAIN TREE SYRINGA RETICULATA / JAPANESE TREE LILAC

EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING

PROPOSED CANOPY TREE

PROPOSED STREET TREE PROPOSED ORNAMENTAL TREE

PROPOSED EVERGREEN TREE

BIORETENTION (SEE SWM PLAN FOR DETAILS)

— — — UTILITY EASEMENT PROPOSED STORM DRAIN

OVERALL TREE PLANTING PLAN

Germantown, MD 20874 301.916.4100 | vika.com

9302 LEE HIGHWAY

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER

VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD

CONTACT: MICHAEL GOODMAN, PE

LERCH, EARLY & BREWER,

1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625

HALPINE

ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY,

MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

7600 WISCONSIN AVE, SUITE 700

BETHESDA, MD 20814 301.986.1300

CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER GOROVE SLADE

CONTACT: WILL ZEID

REVISIONS

GERMANTOWN MD, 20874

301.916.4100

ATTORNEY

CHTD.

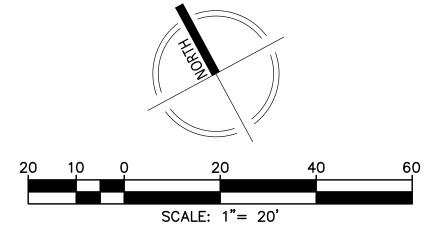
PREPARED FOR: PULTE HOME COMPANY, LLC

SUITE 1000 FAIRFAX, VA 22031 703.934.9367

DAVID DeMARCO

Our Site Set on the Future.

- 1. 9 SYRINGA RETICULATA PLANTED ALONG ARDENNES AVE PER CITY OF ROCKVILLE MASTER STREET TREE PLAN REQUIREMENTS-DATED JUNE
- 2. GOLDEN RAIN TREE IS REQUIRED TO BE PLANTED ALONG HALPINE ROAD PER CITY OF ROCKVILLE MASTER STREET TREE PLAN- DATED JUNE 2023 BUT THIS SECTION OF STREETSCAPE IS RESTRICTED DUE TO OVERHEAD UTILITIES.
- 3. TREES ARE TO BE FIELD LOCATED WITH THE SUPERVISION OF A CERTIFIED ISA ARBORIST TO AVOID ANY IMPACTS TO CRITICAL ROOTS.
- 4. SEE SHEET LL-1.03, LL-1.04 FOR PLANTING PLAN ENLARGEMENTS. SEE SHEET LL-2.03 FOR PLANTING DETAILS AND MASTER SCHEDULE.



PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

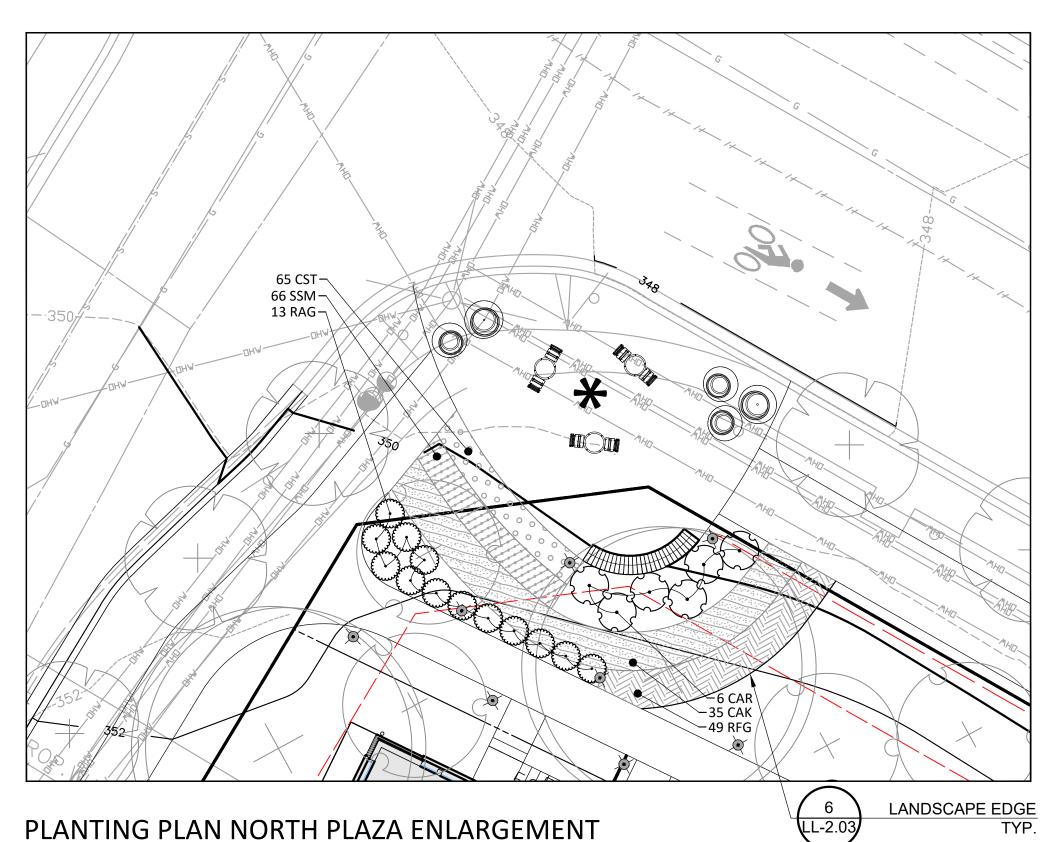
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

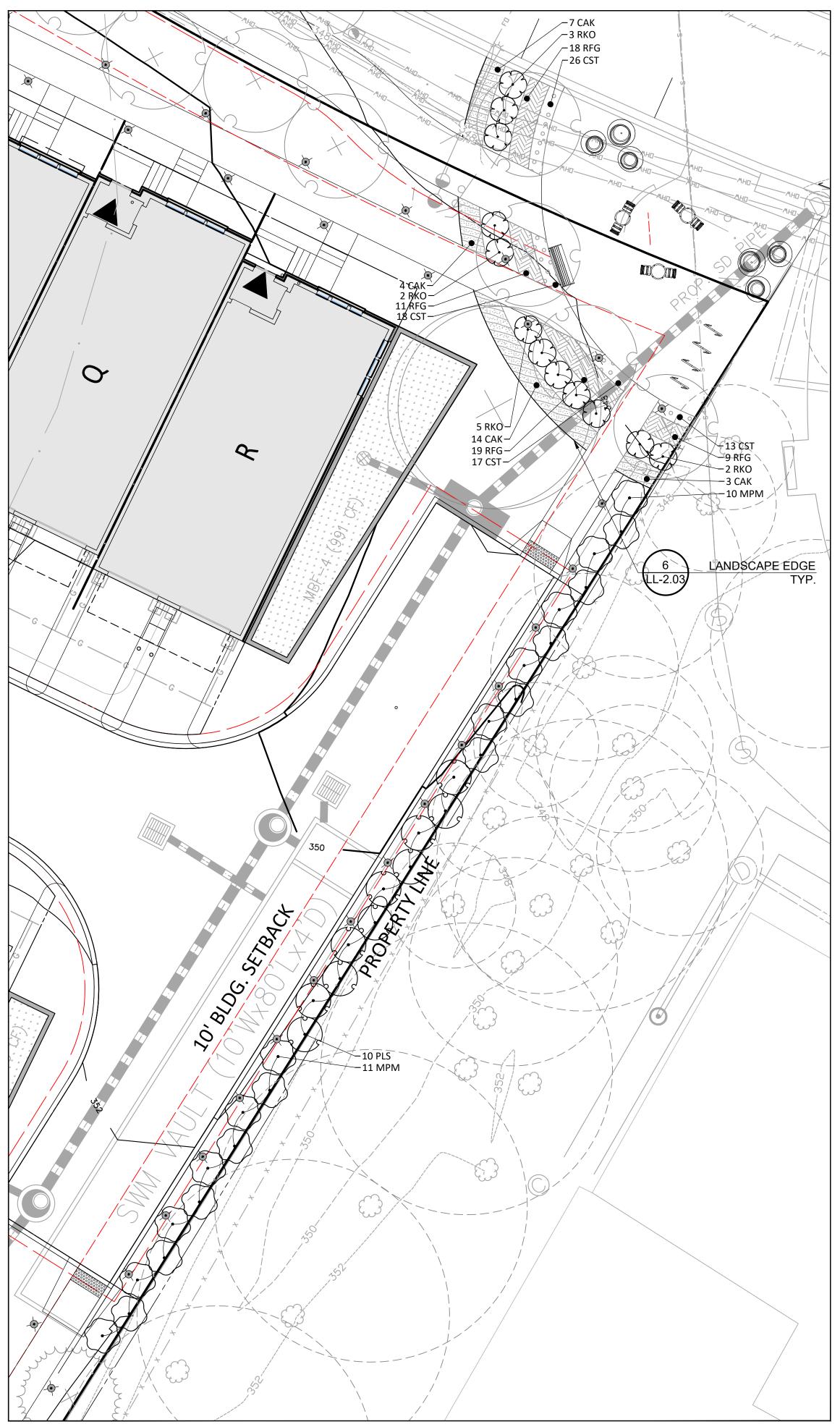
DRAWN BY: <u>ZS/JC</u> DESIGNED BY: ____ES DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

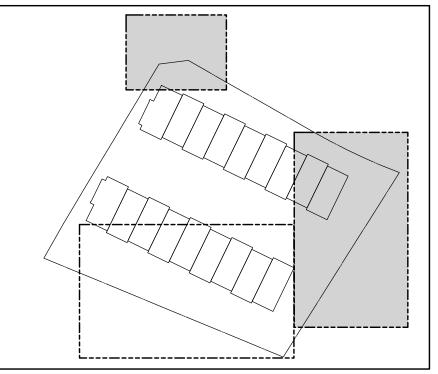
SHEET NO. **LL-1.02**

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.





PLANTING PLAN SOUTH SIDE ENLARGEMENT



KEY MAP SCALE: 1" = 100'

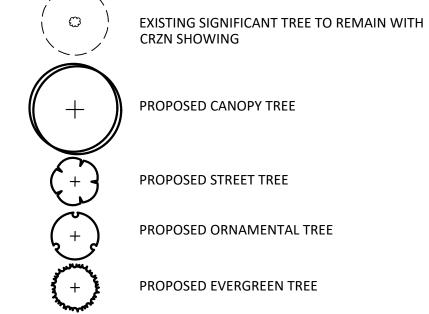
PLANT SCHEDULE

PLAINT 3C	HEDULE	
	CODE	BOTANICAL / COMMON NAME
SHRUBS	CAR	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET
	FGJ	FOTHERGILLA GARDENII 'JANE PLATT' / JANE PLATT DWARF FOTHERGILLA
	HQS	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA
	IVH	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE
	MPM	MYRICA PENSYLVANICA 'MORTON' / SILVER SPRITE BAYBERRY
	PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL
	RAG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
	RKO	ROSA X 'KNOCK-OUT' RED / KNOCK OUT RED ROSE
SYMBOL	CODE	BOTANICAL / COMMON NAME
GROUND COVI	ERS	
	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS
	CST	CAREX STRICTA / TUSSOCK SEDGE
	ССВ	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD
	PVS	PANICUM VIRGATUM 'SQUAW' / SQUAW SWITCH GRASS
	PAL	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS
	PAT	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRE' / BLUE SPIRE RUSSIAN SAGE
	RFG	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER
	SSM	SALVIA X SYLVESTRIS 'MAINACHT' / MAINACHT SAGE
	SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM

ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER

RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

LEGEND



PLANT BED MIX

LIATRIS SPICATA / SPIKE GAYFEATHER

BIORETENTION (SEE SWM PLAN FOR DETAILS) — — — UTILITY EASEMENT

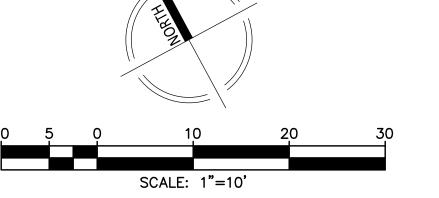
PROPOSED STORM DRAIN

SEE SHEET LL-1.02 FOR OVERALL TREE PLANTING PLAN. SEE SHEET LL-2.00 FOR PLANTING DERAILS AND MASTER SCHEDULE.

NOT FOR CONSTRUCTION



Community Planning & Development Services Received December 15, 2023



20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PREPARED FOR: PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY

SUITE 1000 FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

CONTACT: WILL ZEID

TRAFFIC ENGINEER GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

PLANTING PLAN **ENLARGEMENTS**

PROFESSIONAL SEAL

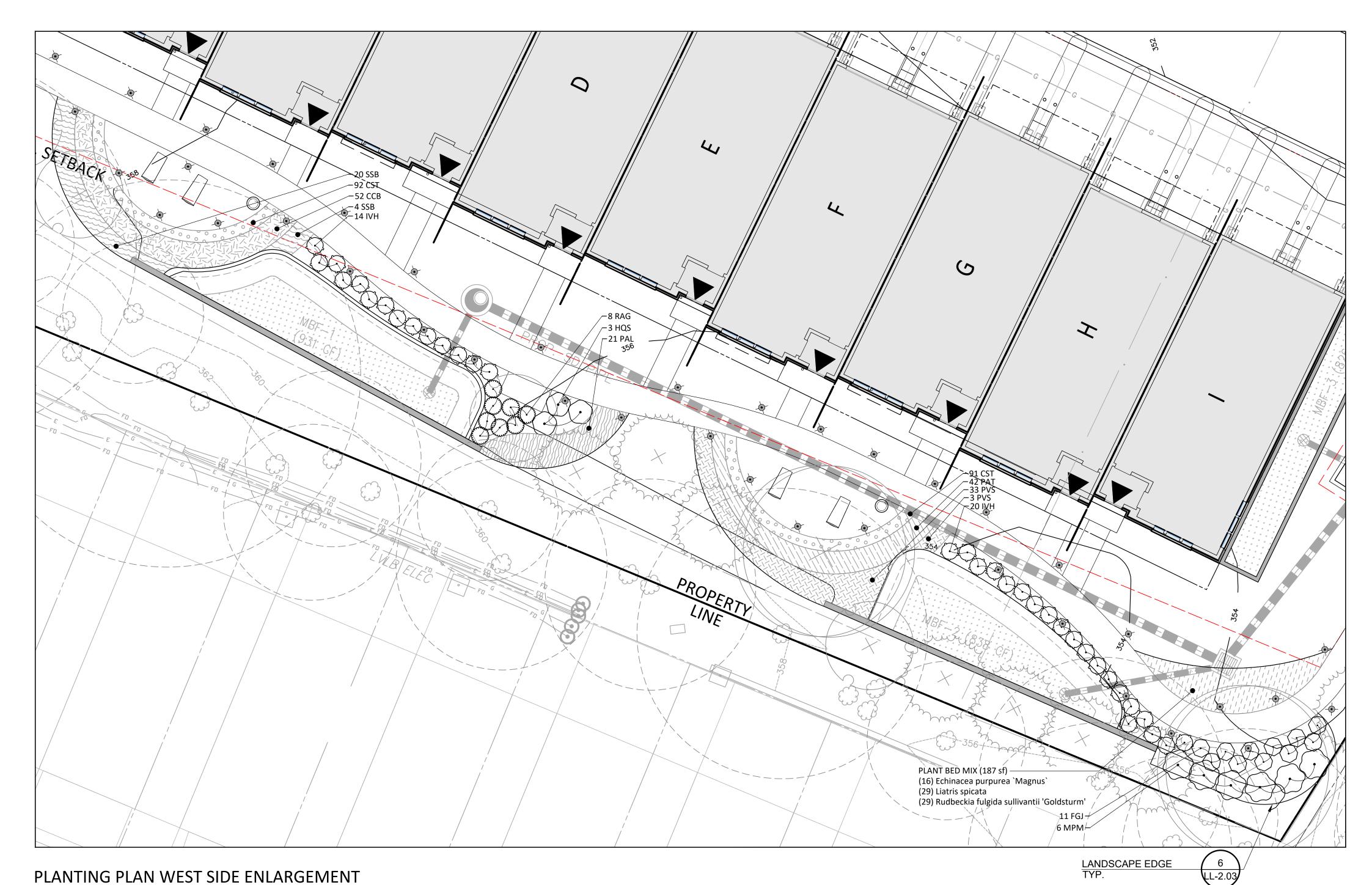
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>ZS/JC</u> DESIGNED BY: ____ES___ DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. LL-1.03





PLANT SCHEDULE

SHRUBS

CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET FOTHERGILLA GARDENII 'JANE PLATT' / JANE PLATT DWARF FOTHERGILLA

HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE

MYRICA PENSYLVANICA 'MORTON' / SILVER SPRITE BAYBERRY PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC

ROSA X 'KNOCK-OUT' RED / KNOCK OUT RED ROSE

BOTANICAL / COMMON NAME

SYMBOL BOTANICAL / COMMON NAME **GROUND COVERS**

CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS

CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD

CAREX STRICTA / TUSSOCK SEDGE

PANICUM VIRGATUM 'SQUAW' / SQUAW SWITCH GRASS

PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS

PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRE' / BLUE SPIRE RUSSIAN SAGE

RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

SALVIA X SYLVESTRIS 'MAINACHT' / MAINACHT SAGE

SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM

PLANT BED MIX

ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER

LIATRIS SPICATA / SPIKE GAYFEATHER

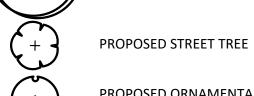
RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

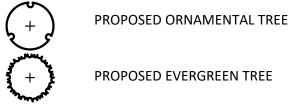
LEGEND

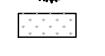
EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING

 \Box

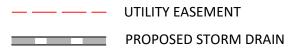
PROPOSED CANOPY TREE



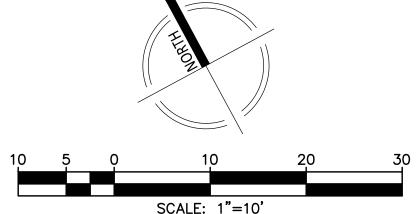




BIORETENTION (SEE SWM PLAN FOR DETAILS)



SEE SHEET LL-1.02 FOR OVERALL TREE PLANTING PLAN. SEE SHEET LL-2.03 FOR PLANTING DERAILS AND MASTER SCHEDULE.



NOT FOR CONSTRUCTION

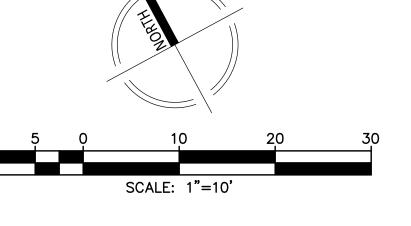
"FOR LOCATION OF UTILITIES CALL



LAYOUT: LL-1.04, Plotted By: stebbins

Community Planning & Development Services Received December 15, 2023

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.



Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PREPARED FOR: **PULTE HOME** COMPANY, LLC 9302 LEE HIGHWAY

SUITE 1000 FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER, CHTD.

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625

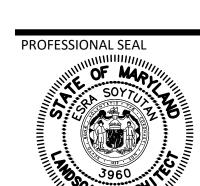
CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

PLANTING PLAN **ENLARGEMENT**



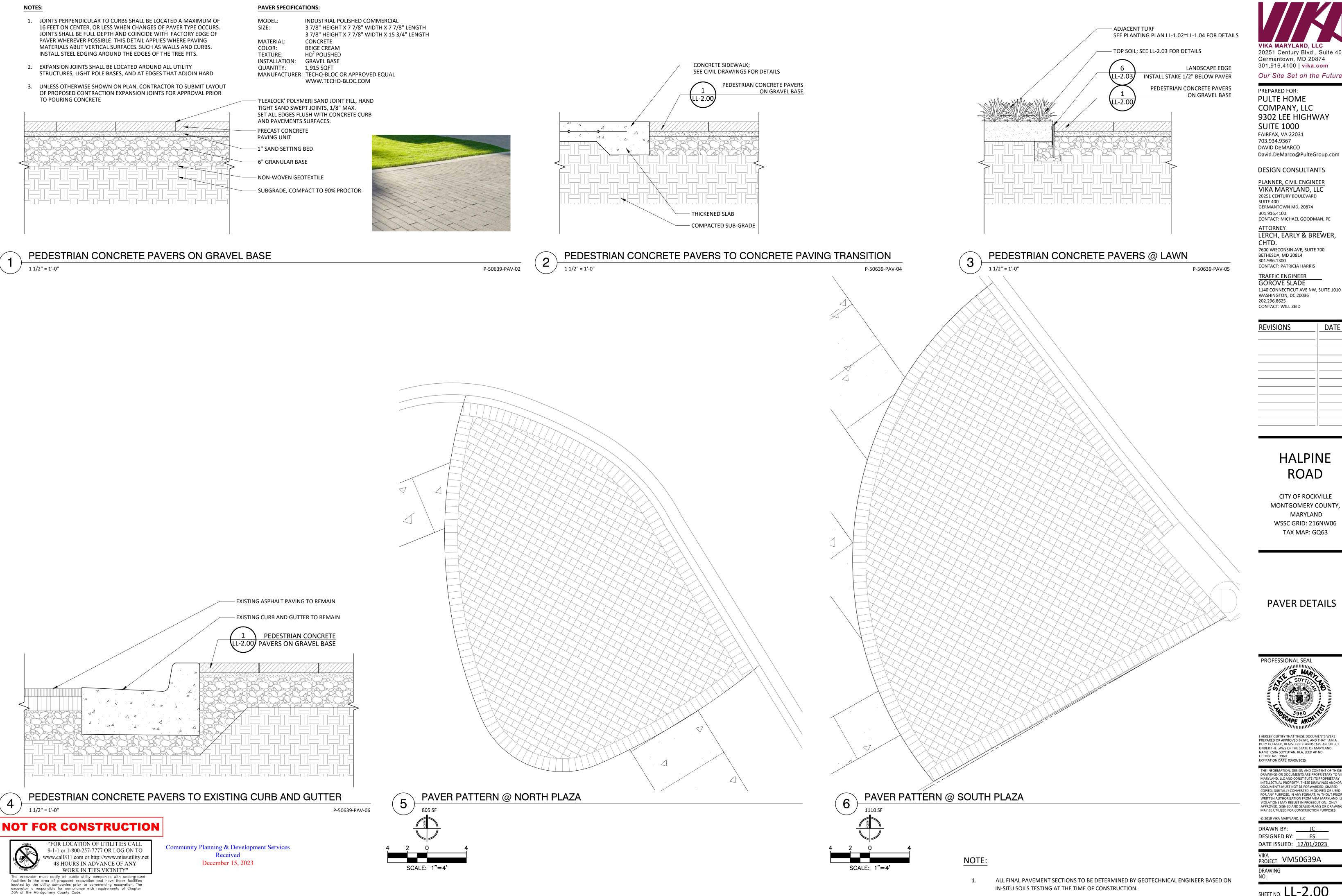
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: ZS/JC DESIGNED BY: _____ES____ DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A DRAWING

SHEET NO. **LL-1.04**



VIKA MARYLAND, LLC 20251 Century Blvd., Suite 400

Germantown, MD 20874 301.916.4100 | vika.com

Our Site Set on the Future.

PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000**

DESIGN CONSULTANTS

VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300

> TRAFFIC ENGINEER GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036

REVISIONS

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

PAVER DETAILS

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: DESIGNED BY: ES DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

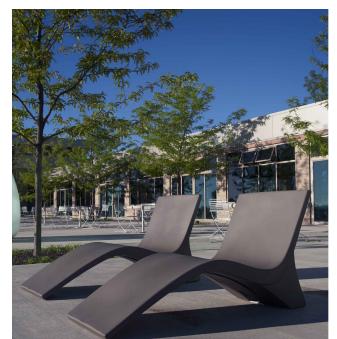
SHEET NO. LL-2.00

LL-2.00, Plotted By: stebbins

TABLE AND CHAIRS SPECIFICATIONS: MODEL: BRAVO BISTRO TABLE AND CHAIRS CHAIR: 16"W X 32.5"H, 17.5" SEAT HEIGHT (SET OF 2) SIZE: TABLE: 27"W X 28"H MATERIAL: STAINLESS STEEL HARDWARE AND CARBON STEEL COMPONENTS COLOR: CADMIUM INSTALLATION: FREE STANDING QUANTITY: MANUFACTURER: LANDSCAPEFORMS OR APPROVED EQUAL WWW.LANDSCAPEFORMS.COM







FINISHED GRADE

P-50639-SIT-02

BENCH SPECIFICATIONS: MODEL: **AUSTIN BENCH**

SIZE: 33"H X 72"L X 24"D COLOR: SUBMIT SAMPLES TO LANDSCAPE ARCHITECT WOOD SEATING WITH ALUMINUM FRAME

MATERIAL: INSTALLATION: SURFACE MOUNTED

QUANTITY: MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL WWW.LANDSCAPEFORMS.COM





PREPARED FOR: **PULTE HOME** COMPANY, LLC 9302 LEE HIGHWAY

SUITE 1000 FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

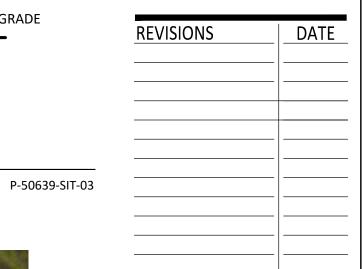
PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814

301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID



HALPINE

ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

TABLE AND CHAIRS 1/2" = 1'-0"

PLANTER SPECIFICATIONS:

MODEL: PASEOS PLANTER

PS-48: 26 1/4" DIA. BASE X 48 1/4"H X 44" DIA. W PS-32: 30 3/4" DIA. BASE X 32"H X 48" DIA. W MATERIAL: CONCRETE SUBMIT SAMPLES TO LANDSCAPE ARCHITECT

ELEVATION

INSTALLATION: FREE STANDING QUANTITY:

COLOR:

PLAN VIEW

MANUFACTURER: KORNEGAY DESIGN OR APPROVED EQUAL

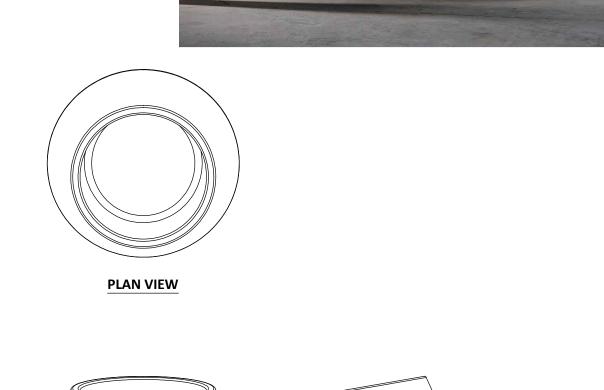
WWW.KORNEGAYDESIGN.COM



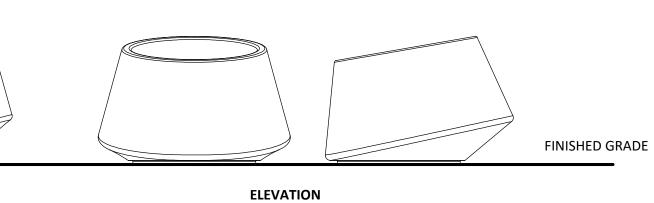


FINISHED GRADE





ELEVATION



PLANTER 1/2" = 1'-0" P-50639-SIT-07

CHAISE LOUNGE P-50639-SIT-06

CHAISE LOUNGE SPECIFICATIONS:

INSTALLATION: FREESTANDING

QUANTITY: 4

CHILL™ CHAISE LOUNGE

MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL

PLAN VIEW

WWW.LANDSCAPEFORMS.COM

SUBMIT SAMPLES TO LANDSCAPE ARCHITECT

33"H X 28"W X 62"D

POLYETHYLENE

MODEL:

COLOR:

MATERIAL:

SIZE:

MODEL: AUSTIN LITTER SIZE: 42"H X 24"DIAMETER

TRASH RECEPTACLE SPECIFICATIONS:

COLOR: SUBMIT SAMPLES TO LANDSCAPE ARCHITECT MATERIAL: CARBON STEEL PANELS, CAST ALUMINUM TOP, CAST IRON BASE

ELEVATION

INSTALLATION: SURFACE MOUNTED QUANTITY:

MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL WWW.LANDSCAPEFORMS.COM









1/2" = 1'-0"

MODEL: LOOP BIKE RACK 31"H X 36"LX 14"D

SIZE: COLOR: SUBMIT SAMPLES TO LANDSCAPE ARCHITECT MATERIAL: POWDERCOATED ALUMINUM

PLAN VIEW

ELEVATION

PLAN VIEW

ELEVATION

INSTALLATION: SURFACE MOUNTED QUANTITY:

MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL WWW.LANDSCAPEFORMS.COM



FINISHED GRADE

FINISHED GRADE

P-50639-SIT-05

SITE DETAILS

PROFESSIONAL SEAL

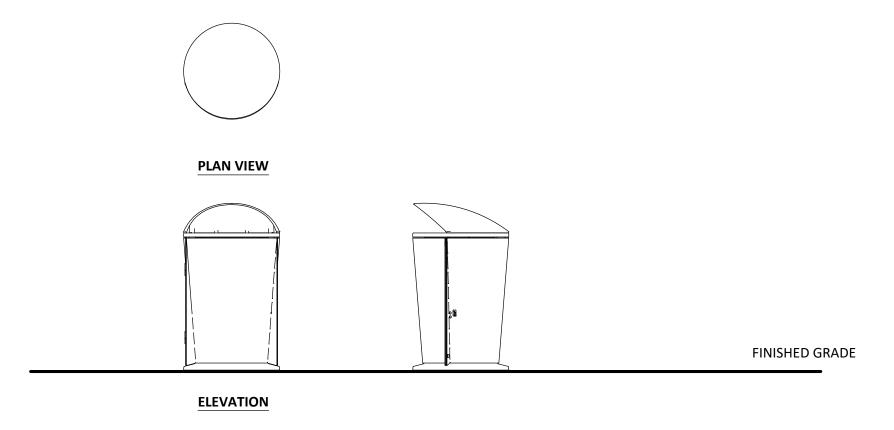
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

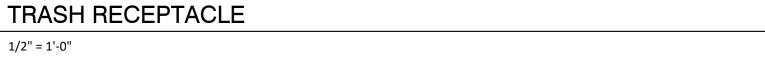
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>EJS/JC</u> DESIGNED BY: MBG/ES DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. LL-2.01





P-50639-SIT-04

1/2" = 1'-0"

BIKE RACK

NOT FOR CONSTRUCTION



Community Planning & Development Services Received December 15, 2023

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

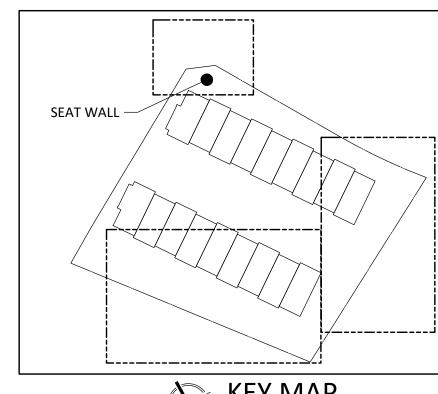
ELEVATION

LAYOUT: LL-2.01, Plotted By: stebbins

NOTES:

PROPOSED SITE FURNISHINGS THAT ARE LOCATED IN THE RIGHT AWAY ARE FREE STANDING AND HAVE NO FOUNDATION.

ALL NON-STANDARD IMPROVEMENTS IN THE RIGHT OF WAY WILL BE SUBJECT TO A LICENSE AND MAINTENANCE AGREEMENT.







David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

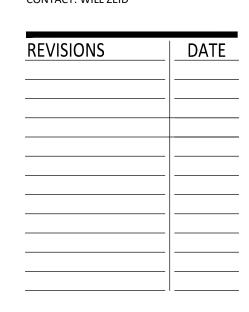
PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300

CONTACT: PATRICIA HARRIS TRAFFIC ENGINEER GOROVE SLADE

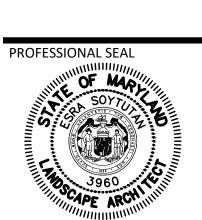
1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID



HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

SITE DETAILS



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960 EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR

WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>EJS/JC</u> DESIGNED BY: MBG/ES

DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

WOOD SEATING SPECIFICATIONS:

LINK 96" RADII PIANO KEY 32"H X 23"W X 74"L SIZE:

SUBMIT SAMPLES TO LANDSCAPE ARCHITECT COLOR: MATERIAL: CARBON STREEL FRAME WITH WOODEN SLATS

INSTALLATION: SURFACE MOUNTED QUANTITY:

MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL WWW.LANDSCAPEFORMS.COM

1. WATER PROOFING TO BE APPLIED TO SURFACE OF MASONRY WALL ADJACENT TO PLANTER SOIL.

2. SEE CIVIL DRAWING FOR GRADING AND WALL LAYOUT.

3. SEE STRUCTURAL DRAWINGS FOR FOOTING AND REINFORCEMENT INFORMATION.

4. CONTRACTOR TO SUBMIT SHOP DRAWINGS.

5. SIDES OF WALL TO BE BOARD FORMED CONCRETE, TOP RUBBED FINISH, AND TOWELED SMOOTH.

6. ALL CON CRETE TO BE INTEGRAL COLOR.

7. CONTRACTOR TO PROVIDE WORK SAMPLE PF COLOR AND FINISH FOR APPROVAL.

8. ALL EXPANSION JOINTS TO BE CAULKED.

ANCHOR WOOD SEATING TO CONCRETE WALL

SEE PLANTING PLAN LL-1.02~LL1.04 FOR DETAILS

PER THE SEAT WALL MANUFACTURER'S

SEE LL-2.03 FOR SPECIFICATIONS

#57 WASHED DRAIN GRAVEL

WRAPPED IN NON-WOVEN

WITH INTEGRAL COLOR

4" DIA. PERFORATED DRAIN;

INSTALLATION GUIDELINE

ADJACENT PLANTING;

- DRAINAGE BOARD

FILTER FABRIC

WOODEN SLATS

ARCHITECTURAL CONCRETE WALL -WITH INTEGRAL COLOR

WOODEN SLATS -

PLAN VIEW WOODEN SLATS —

ELEVATION VIEW

ARCHITECTURAL CONCRETE WALL -WITH INTEGRAL COLOR 2" TYP.

SEE CIVIL DRAWINGS FOR UTILITY CONNECTIONS

- KEYED FOOTING - CONCRETE FOOTING

- ARCHITECTURAL CONCRETE WALL

- COMPACTED SUBGRADE

SECTION VIEW

SEAT WALL @NORTH PLAZA

NOT FOR CONSTRUCTION

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO

www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

- SAWCUT 3/4" DEEP,

 KAY EXPANSION JOINT CAULK JOINT WITH COLOR

- SLIP DOWELS AT JOINT 12"

PEDESTRIAN CONCRETE PAVERS

ON GRAVEL BASE

MATCHED CAULK

WALL CONTROL JOINT

WALL EXPANSION JOINT

USING CLEAN, NEW BLADE (3/16")

WHILE CONCRETE IS GREEN

Community Planning & Development Services Received

LAYOUT: LL-2.02, Plotted By: stebbins

December 15, 2023

P-50639-SIT-01

FINISHED GRADE

| GENERAL PLANTING NOTES

PLANT / MATERIAL NOTES

PLANT IDENTIFICATION:

- ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING AND ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE.
- STATE OR FEDERAL NURSERY INSPECTION CERTIFICATES SHALL BE FURNISHED TO THE OWNER UPON REQUEST.
- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. PLANT QUANTITIES SHOWN ON THE PLAN SHALL GOVERN OVER THOSE SHOWN ON THE PLANT LIST.
- 4. CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS.
- PLANTS WILL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN NURSERY AND
- LANDSCAPE ASSOCIATION AND CONFORM IN GENERAL TO THE REPRESENTATIVE SPECIES. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND MNCPPC. ANY SUBSTITUTIONS MADE WITHOUT THIS APPROVAL MADE BE SUBJECT TO REJECTION AND REMOVAL AT THE CONTRACTOR'S EXPENSE.
- PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY. SIZE AND VARIETY. PLANTS DAMAGED IN HANDLING OR TRANSPORTATION MAY BE REJECTED BY THE OWNER. PLANT QUALITY:
- ALL PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND BE FREE OF PLANT DISEASE, INSECTS, EGGS AND LARVAE AND SHALL HAVE HEALTHY ROOT SYSTEMS, PLANTS SHALL BE OBTAINED FROM SITES WHICH ARE SIMILAR IN SOIL AND CLIMATIC CONDITIONS AS THOSE OF THE PROJECT SITE.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALL OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.N.L.A. SPECIFICATIONS.
- 10. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN THE CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- 11. PRUNING SHALL BE DONE DURING PLANTING OPERATION. 12. ALL PLANT MATERIAL IN TRANSIT SHALL BE COVERED WITH BURLAP OR SIMILAR COVER TO KEEP IT FROM WIND DAMAGE AND DRYING OUT.
- ALL PLANT SIZES SHALL AVERAGE AT LEAST THE MIDDLE OF THE PLANT RANGE GIVEN IN THE PLANT LIST, BUT IN NO CASE SHALL ANY PLANT BE LESS THAN THAT SIZE STATED FOR THAT SPECIES.
- CALIPER MEASUREMENTS SHALL BE TAKEN AT A POINT ON THE TRUNK 6 INCHES ABOVE NATURAL GRADE FOR TREES UP TO 4 INCHES IN DIAMETER; AND AT A POINT 12 INCHES ABOVE NATURAL GRADE FOR TREES OVER 4 INCHES IN DIAMETER. SINGLE TRUNK TREES SHALL NOT INCLUDE THE "V" CROTCHES THAT COULD BE POINTS OF
- WEAK LIMB STRUCTURE OR DISEASE. SHRUBS HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT.SPREAD SHALL BE MEASURED FROM THE END OF THE BRANCHING, EQUALLY AROUND THE PLANT. MEASUREMENTS SHALL NOT INCLUDE
- TERMINAL GROWTH. HEIGHT AND SPREAD DIMENSIONS SPECIFIED SHALL REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP.
- MULCH: MULCH SHALL BE EITHER COMPOSTED HARDWOOD BARK, FINE SHREDDED HARDWOOD
- BARK, PINE BARK OR APPROVED EQUAL, AND FREE OF FOREIGN MATTER. FERTILIZER: FERTILIZER SHALL BE GRANULAR, PACKET OR PELLET, WITH 35% TO 80% OF TOTAL NITROGEN IN ORGANIC FORM. IT SHALL BE A COMPLETE FERTILIZER WITH A MINIMUM ANALYSIS OF 10% NITROGEN, 6% PHOSPHOROUS AND 4% POTASSIUM. GRANULAR FERTILIZER SHALL BE APPLIED TO THE SOIL MIX WITH A 10-6-4 ANALYSIS AT THE FOLLOWING RATES: TREE PITS, 2-3 LBS. PER INCH OF TRUNK DIAMETER; SHRUB BEDS, 2 LBS. PER 100 SQUARE FEET OF BED AREA (OR 1/4 LB. PER FOOT OF HEIGHT OR SPREAD) GROUND COVER, VINE AND HERBACEOUS PLANTS, 2-3 LBS. PER 100 SQUARE FEET. THE OWNER RESERVES THE RIGHT TO DETERMINE THE TIME FERTILIZATION SHOULD OCCUR WITHIN THE ONE YEAR GUARANTEE PERIOD.
- TOPSOIL, IF REQUIRED, SHALL BE FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, CLUMPS, PLANTS, AND THEIR ROOT DEBRIS AND OTHER EXTRANEOUS MATTER OF 1 INCH IN DIAMETER, AND CAPABLE OF PERMITTING VIGOROUS PLANT GROWTH. TOPSOIL SHALL HAVE A pH RANGE OF 6.0 TO 6.5, WITH A pH RANGE OF 5.0 TO 5.5 FOR PLANTS REQUIRING ACID SOILS. CONTRACTOR SHALL PROVIDE SOIL ANALYSIS TO OWNER PRIOR TO IMPORTING TOPSOIL ONTO THE PROJECT SITE.

PLANTING NOTES

LOCATION:

- PLANT LOCATIONS WILL BE STAKED BY THE LANDSCAPE CONTRACTOR AND WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE
- 2. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO PLANT LOCATIONS IN THE FIELD SO AS TO AVOID UTILITIES, SWALES AND OTHER UNFORESEEN CONFLICTS. IF UNUSUALLY LARGE DISCREPANCIES ARISE BETWEEN ACTUAL FIELD LIMITS AND THOSE PLANTING AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO MAKE THIS NOTIFICATION MAY RESULT IN THE CONTRACTOR'S NEED TO RELOCATE THE PLANT MATERIAL AT HIS OWN
- TREES AND SHRUBS THAT ARE TO BE PLANTED IN UNIFORM MASSES AND/OR ROWS SHALL BE OF UNIFORM SIZE, SHAPE, AND VIGOR.

MAINTENANCE / WARRANTY NOTES: CONTRACTOR RESPONSIBILITIES

MAINTENANCE:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND UP TO THE TIME OF FINAL ACCEPTANCE FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, RE-STAKING AND CLEANING UP AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT TIME OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- 2. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE ALL DEBRIS, TRASH, AND UNNECESSARY MATERIALS FROM THE AREA OF WORK AND/OR THE PROPERTY ON A
- DAILY BASIS. 3. THE CONTRACTOR SHALL REMOVE ALL DEAD PLANT MATERIAL FROM THE JOB SITE ON A WEEKLY BASIS. CONTRACTOR SHALL ALSO BE REQUIRED TO RETAIN A LOG OF ALL PLANT MATERIALS REMOVED DUE TO DEATH OR INJURY SO AS TO PROPERLY IDENTIFY THOSE PLANTS FOR REPLACEMENT. WARRANTY AND REPLACEMENT:
- 4. ALL PLANT MATERIAL, INCLUDING TREES AND ALL WOODY AND HERBACEOUS PLANTS SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. THE CONTRACTOR IS NOT RESPONSIBLE FOR LOSSES OR DAMAGE CAUSED BY OTHER TRADES, MECHANICAL INJURY OR VANDALISM.
- 5. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND SHALL BE REPLACED AT NO COST TO THE OWNER.

PLANTING SOIL

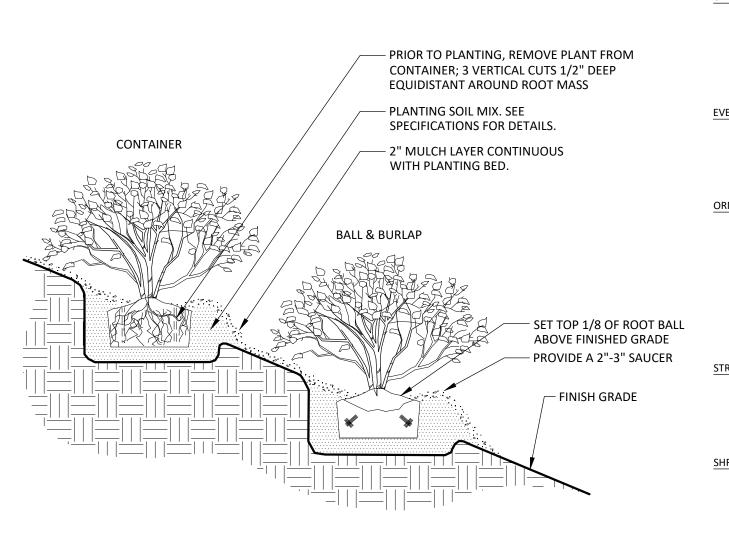
- 1. EXAMINE AREAS TO RECEIVE EXTERIOR PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. 2. VERIFY THAT FINAL GRADES HAVE BEEN ESTABLISHED, AND THAT FORESEEABLE PLANT
- GROWTH WILL NOT INTERFERE WITH PREVIOUSLY COMPLETED WORK. 3. VERIFY THAT SOILS IN THE AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED CONTAIN NO TOXIC MATERIALS OR CONSTRUCTION WASTE, TRASH, DEBRIS AND STONES LARGER THAN 1" IN DIAMETER OR LENGTH, AND OF ALL ROOTS, BRUSH, WEEDS, GRASS, WIRE, GRADE STAKES, AND OTHER OBJECTS THAT WOULD INTERFERE WITH SOIL PREPARATION.
- 4. PROTECT STRUCTURES, UTILITIES, PAVEMENTS, DECKING, AND OTHER FACILITIES, AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- 5. FINISH GRADING: GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, ENSURING THAT ALL DEBRIS IS REMOVED AS SPECIFIED AND THAT THE SURFACE IS SMOOTH, FREE DRAINING, CONTAINS NO LOW OR HIGH SPOTS, AND MEETS SPECIFIED FINISH GRADES. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- SPREAD PLANTING SOIL MIX TO A DEPTH OF 4 INCHES MINIMUM AND 5 INCHES MAXIMUM, PLUS 10 PERCENT, AFTER MODERATE COMPACTION.
- 7. GUY TREES USING GUYING SYSTEM AS INDICATED PER DRAWINGS AND AS SPECIFIED.

NOT FOR CONSTRUCTION



. STAKING SHOWN ON THIS DETAIL IS FOR **DECIDUOUS AND EVERGREEN TREES UNDER 4"** CALIPER AND 6' OR MORE IN HEIGHT. STAKE TREES ONLY IN AREAS OF HIGH WIND. REMOVE STAKES AFTER FIRST GROWING SEASON. NO STAKING REQUIRED FOR STREET TREES. CONTRACTOR RESPONSIBLE FOR KEEPING STREET REES STRAIGHT. DOUBLE STRAND 12-GA. GALV. WIRE TWISTED IN RUBBER HOSE 6" FROM TOP OF STAKE - 2"X2" STAKE 2 PER TREE SEE NOTE #1 - 2" MULCH, DO NOT COVER ROOT FLARE TOP HALF OF BURLAP TURNED BACK PLANTING SOIL MIX, SEE SPECIFICATION FOR DETAILS. 50% EXISTING SOIL AND ROOT FLARE TO BE -50% PLANTING SOIL MIX. AT GRADE UPON SCARIFY SUBSOIL COMPACTED. PLANTING. DO TO A DEPTH OF 4" NOT BURY THE ROOT FLARE TREE PLANTING

NOT TO SCALE



SHRUB PLANTING ON SLOPE

329343-01

LAYER OF MULCH 3" TYP. SEE SPEC

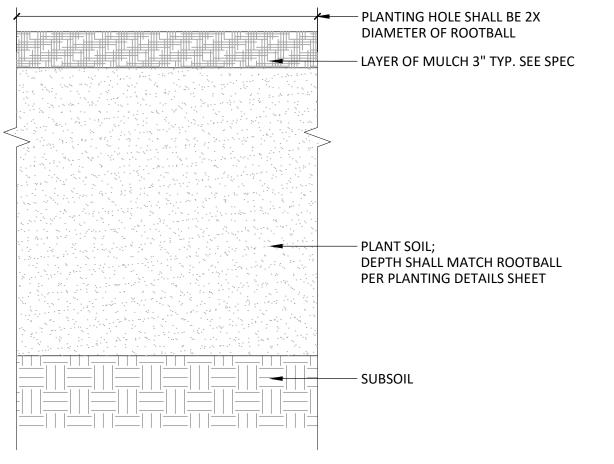
- PLANT SOIL; DEPTH SHALL MATCH **ROOTBALL/CONTAINER OR 12" MIN**

- SUBSOIL

4" PLANTING SOIL,

- SUBSOIL

SEE SPECIFICATIONS FOR DETAILS



NOTE:

PLANTING BED P-50239-77

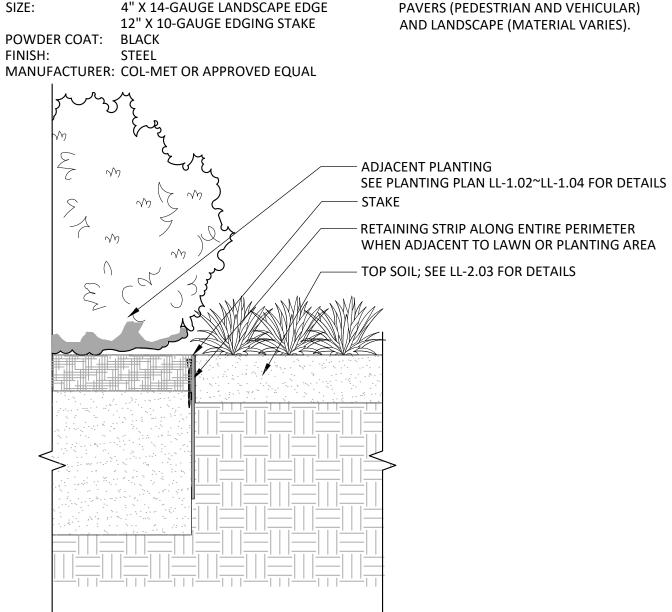


EDGE & STAKE SPECIFICATIONS:

COL-MET

MODEL:

SIZE:



4" X 14-GAUGE LANDSCAPE EDGE

PLANT SCHEDITIE

329333.13-13

P-50239-78

1. INSTALL EDGING CONTINUOUSLY BETWEEN

PLANT SC	HEDULE						
	CODE	BOTANICAL / COMMON NAME	QTY	SIZE		REMARKS	'
CANOPY TREES	S ARO	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	2	3-3.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	VIKA
	BND	BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH	2	3-3.5" CAL.		MULTISTEMMED SPECIMEN, 3 STEM MINIMUM	20251 Germa
	NSY	NYSSA SYLVATICA / TUPELO	1	3-3.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	301.91
	QPA	QUERCUS PALUSTRIS / PIN OAK	5	3-3.5" CAL.		STRONG SINGLE LEADER/SPECIMEN	Our S
VERGREEN TF	REFS						PREPA
	PIC	PICEA ABIES / NORWAY SPRUCE	3	12-14` HEAVY		STRONG SINGLE LEADER/SPECIMEN	PULT
	PIR	PICEA RUBENS / RED SPRUCE	2	12-14` HEAVY		STRONG SINGLE LEADER/SPECIMEN	COM
	PIN	PINUS STROBUS / WHITE PINE	4	12-14` HEAVY		STRONG SINGLE LEADER/SPECIMEN	9302
RNAMENTAL	. AND UNDERS	STORY TREES					SUIT
	AGA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	1	12-14` HEAVY		MULTISTEMMED SPECIMEN, 3 STEM MINIMUM	FAIRFAX
	CCF	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	11	12-14` HEAVY		STRONG SINGLE LEADER/SPECIMEN	703.934 DAVID I
	CVI	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	6	12-14` HEAVY		MULTISTEMMED SPECIMEN, 3 STEM MINIMUM	David.D
	CVW	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN	1	12-14` HEAVY		STRONG SINGLE LEADER/SPECIMEN	
	MVI	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA	3	12-14` HEAVY		MULTISTEMMED SPECIMEN, 3 STEM MINIMUM	DESIG
	PSK	PRUNUS SERRULATA 'KWANZAN' / KWANZAN JAPANESE FLOWERING CHERRY	2	12-14` HEAVY		CONSISTENT HT. & FORM, FULL CROWN	PLANN
TREET TREES	- ORNAMENT	ÄL					VIKA I 20251 CI
	KPA	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	11	12-14` HEAVY			SUITE 40
	SRE	SYRINGA RETICULATA / JAPANESE TREE LILAC	8	12-14` HEAVY			GERMAN 301.916.
	CODE	BOTANICAL / COMMON NAME	QTY	SIZE	SPACING	REMARKS	CONTAC
HRUBS			_				ATTOR LERCH
	CAR	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE SUMMERSWEET	6	30-36" HT.	48" o.c.	FULLY BRANCHED, 5 CANE MINIMUM	CHTD
	FGJ	FOTHERGILLA GARDENII 'JANE PLATT' / JANE PLATT DWARF FOTHERGILLA	11	30-36" HT.	36" o.c.	FULLY BRANCHED; 5 CANE MINIMUM	7600 WI
	HQS	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA	3	24-36" HT.	48" o.c.	FULLY BRANCHED; 5 CANE MINIMUM	BETHESE 301.986.
	IVH	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	34	24-30" HT.	36" o.c.	FULLY BRANCHED, 5 CANE MINIMUM	CONTAC
	MPM	MYRICA PENSYLVANICA 'MORTON' / SILVER SPRITE BAYBERRY	27	24-36" HT.	60" o.c.	FULLY BRANCHED, 5 CANE MINIMUM	TRAFFI
	PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA ENGLISH LAUREL	10	30-36" HT.	60" o.c.	FULLY BRANCHED, 5 CANE MINIMUM	1140 CO
	RAG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	21	24-30" HT.	36" o.c.	FULLY BRANCHED, 5 CANE MINIMUM	WASHIN 202.296.
	RKO	ROSA X 'KNOCK-OUT' RED / KNOCK OUT RED ROSE	12	24-36" HT.	48" o.c.	FULLY BRANCHED, 5 CANE MINIMUM	CONTAC
YMBOL	CODE	BOTANICAL / COMMON NAME	QTY	CONT	SPACING	REMARKS	DEVIC
ROUND COV							REVIS
	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	63	1 GAL	30" o.c.	FULLY ROOTED CONTAINER	
	CST	CAREX STRICTA / TUSSOCK SEDGE	322	1 GAL	12" o.c.	FULLY ROOTED CONTAINER	
	ССВ	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD	52	1 GAL	24" o.c.	FULLY ROOTED CONTAINER	
	PVS	PANICUM VIRGATUM 'SQUAW' / SQUAW SWITCH GRASS	36	1 GAL	30" o.c.	FULLY ROOTED CONTAINER	
	PAL	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS	21	1 GAL	30" o.c.	FULLY ROOTED CONTAINER	

PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRE' / BLUE SPIRE RUSSIAN SAGE

SALVIA X SYLVESTRIS 'MAINACHT' / MAINACHT SAGE

LIATRIS SPICATA / SPIKE GAYFEATHER

RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM

ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER

RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER

51 Century Blvd., Suite 400 nantown, MD 20874 .916.4100 | vika.com Site Set on the Future. ARED FOR: TE HOME MPANY, LLC 2 LEE HIGHWAY ITE 1000 FAX, VA 22031 934.9367 D DeMARCO l.DeMarco@PulteGroup.com **IGN CONSULTANTS** INER, CIVIL ENGINEER A MARYLAND. LLC CENTURY BOULEVARD ANTOWN MD, 20874 TACT: MICHAEL GOODMAN, PE CH, EARLY & BREWER, WISCONSIN AVE, SUITE 700 SDA, MD 20814 ACT: PATRICIA HARRIS FIC ENGINEER ROVE SLADE CONNECTICUT AVE NW, SUITE 1010 IINGTON, DC 20036 96.8625 TACT: WILL ZEID

FULLY ROOTED CONTAINER

FULLY ROOTED CONTAINER

FULLY ROOTED CONTAINER

FULLY ROOTED CONTAINER

33% @ 24" o.c. FULLY ROOTED CONTAINER

33% @ 18" o.c. FULLY ROOTED CONTAINER

33% @ 18" o.c. FULLY ROOTED CONTAINER

Community Planning & Development Services

Received

December 15, 2023

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LANDSCAPE PLAN PLANTING PLAN DETAILS

PROFESSIONAL SEAL

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: <u>3960</u> EXPIRATION DATE: 03/09/2025

DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>EJS/JC</u> DESIGNED BY: MBG/ES DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A DRAWING

1 1/2" = 1'-0"

TOPSOIL DETAIL FOR SOD



P-50639-01

ANDSCAPE EDGE 1 1/2" = 1'-0"

P-50639-PLA-01

PLAN VIEW

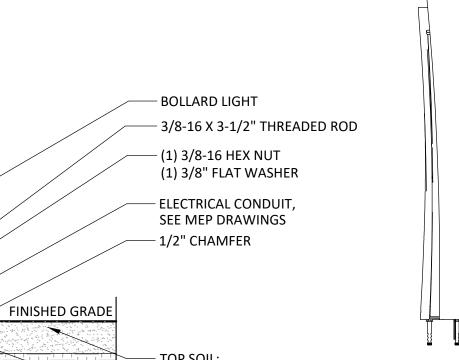
MODEL: GUIDE W/ LED LIGHTING DIMENSIONS: 8 3/4" X 8 1/2" X 43 3/4" MATERIAL: CAST ALUMINUM INSTALLATION: SURFACE MOUNTED QUANTITY: 94 MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL

BOLLARD SPECIFICATIONS:

1. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

2. CONTRACTOR TO COORDINATE WITH MEP ON CONDUIT LOCATIONS.

WWW.LANDSCAPEFORMS.COM



- TOP SOIL; SEE LL-2.03 FOR DETAILS

(2) 3/8" FLAT WASHER (2) 3/8-16 HEX NUT - 3/8-16 INTERNAL THREAD CONCRETE GRIP ANCHOR

ELEVATION

— CONCRETE PAD



BOLLARD LIGHT

NOT FOR CONSTRUCTION



48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning & Development Services Received December 15, 2023

P-50639-LIG-01

20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com

Our Site Set on the Future. PREPARED FOR:

COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

PULTE HOME

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE ATTORNEY

LERCH, EARLY & BREWER, CHTD.

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

REVISIONS	DATE
	_

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LIGHTING **DETAILS**

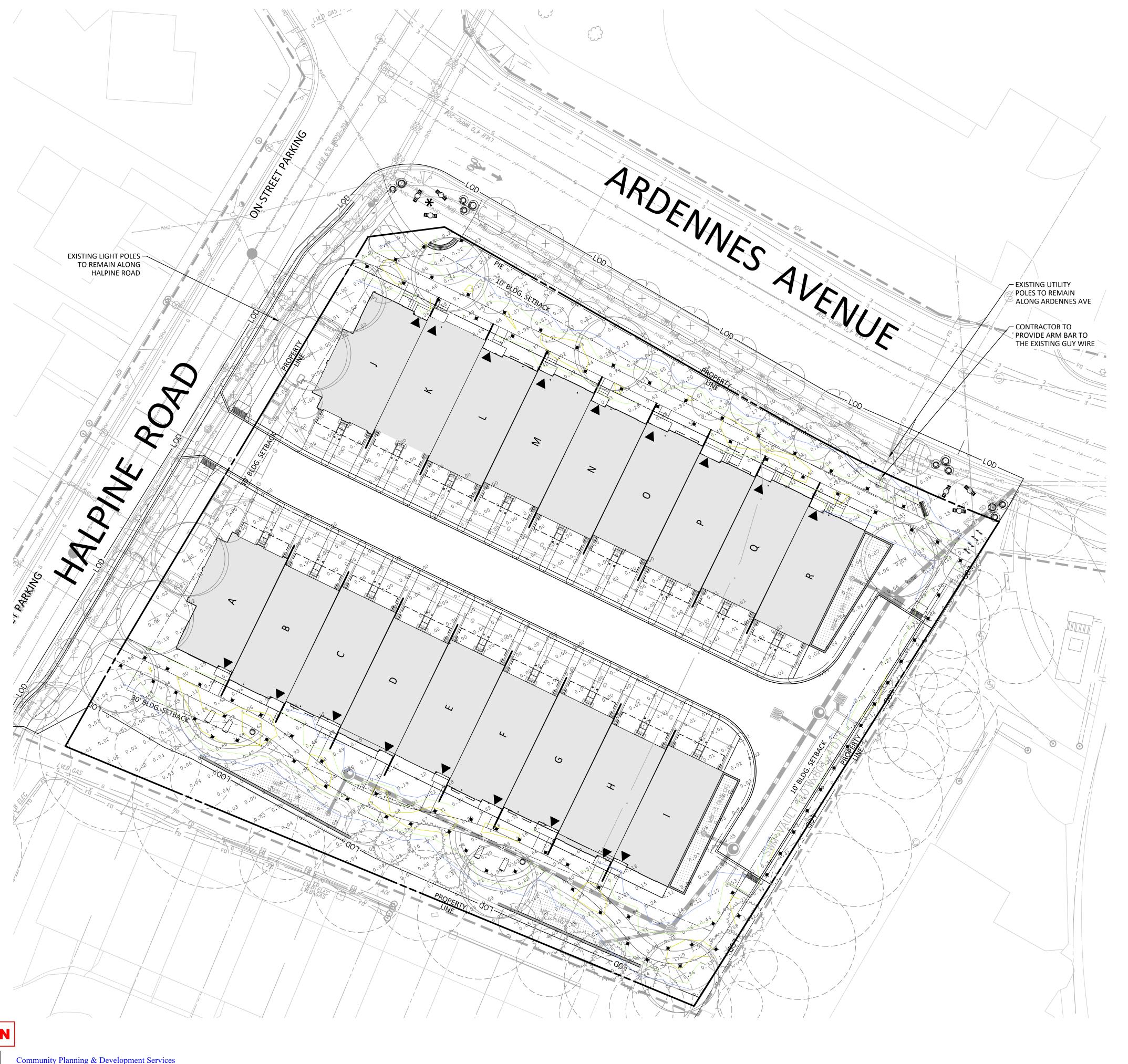


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960
EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: JC DESIGNED BY: _____ES____ DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A





PROPOSED BOLLARD LIGHTS, SEE LL-2.04

EXISTING UTILITY POLE

EXISTING UTILITY POLE WITH LIGHT FIXTURE

FOOT-CANDLE LEVELS

ATTORNEY LERCH, EARLY & BREWER,

CHTD.
7600 WISCONSIN AVE, SUITE 700
BETHESDA, MD 20814
301.986.1300
CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER
GOROVE SLADE

20251 Century Blvd., Suite 400 Germantown, MD 20874

Our Site Set on the Future.

301.916.4100 | vika.com

9302 LEE HIGHWAY

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD

CONTACT: MICHAEL GOODMAN, PE

SUITE 400 GERMANTOWN MD, 20874

301.916.4100

PREPARED FOR: **PULTE HOME** COMPANY, LLC

SUITE 1000 FAIRFAX, VA 22031

703.934.9367 DAVID DeMARCO

1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

LIGHTING PLAN

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960
EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

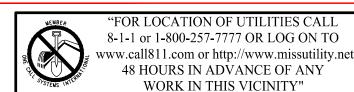
DRAWN BY: <u>EJS/JC</u> DESIGNED BY: MBG

DATE ISSUED: <u>12/01/2023</u> PROJECT VM50639A

SHEET NO. LL-3.00

SCALE: 1"= 20'

NOT FOR CONSTRUCTION



Received December 15, 2023

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.







OPEN AREA

SCALE: 1"= 20'



PUBLIC USE SPACE

P T	Open Space		inimum Required	Proposed (minimum)	
ELEC	Open Area (includes public use space)	15%	9,576 SF	35.7%	22,800 SF
7	Public Use Space	10%	6,384 SF	10.2%	6,486 SF

LOCATIONS AND MEASUREMENTS OF AREAS SHOWN ARE APPROXIMATE. FINAL LOCATIONS AND MEASUREMENTS OF OPEN AREA AND PUBLIC USE SPACE WILL BE DETERMINED AT THE TIME OF SITE PLAN APPROVAL AND MAY BE REDUCED TO THE MINIMUM REQUIRED.

20251 Century Blvd., Suite 400 Germantown, MD 20874 301 916 4100 | vika.com Our Site Set on the Future.

PREPARED FOR: PULTE HOME COMPANY, LLC

9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD.
7600 WISCONSIN AVE, SUITE 700
BETHESDA, MD 20814
301.986.1300
CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER
GOROVE SLADE
1140 CONNECTICUT AVE NW, SUITE 1010
WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

OPEN AREA AND PUBLIC USE SPACE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: MICHAEL GOODMAN, P.E.

DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR INTELLECTUAL PROPERTY. THESE DRAWTINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWTINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>EJS</u> DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. LL-4.00

NOT FOR CONSTRUCTION

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY

WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code. Community Planning & Development Services Received

December 15, 2023

FINAL FOREST CONSERVATION PLAN HALPINE ROAD

LOCAL VICINITY MAP

VICINITY MAP SCALE: 1" = 2000'

FCP WORKSHEET

	С	CITY OF ROCK		EST CONSERVATION V ne Road (50639)	WORKSHEET		
NET TRACT AF	REA:						
	(land dedication			is plan, other deductions	5 5 5		1.51 0.04 1.47
LAND USE CATZONING: Place a "1" under the column corresponding to the correct zone of the site	R-400, R-200	R-90, R-75, R-60, R-150	RMD10, RMD15, RMD25	I-L, I-H, RPR, RPC, MXT, MXC, MXNC , MXB, MXE, MXCD, MXTD, PD	Park		
Zone: (choose only or	0	0	0	1	0		
D. Afforestation E. Conservation EXISTING FOR	n Threshold				15% 15%	x C = x C =	0.22 0.22
F. Existing fore G. Area of fore			_	nent)= =			0.00 0.00
BREAK EVEN	POINT:						
H. Breakeven Fig. Clearing perr				o mitigation is required)	=		0.00 0.00
PROPOSED F	OREST CLEAR	ING:					
J. Total area of K. Total area of							0.00 0.00
PLANTING REG	QUIREMENTS:						
M. Reforestation	tention above co station required	elow conservation th	ition thresho reshold	ld= = =			0.00 0.00 0.00 0.00 0.22

MINIMUM TREE COVER						
TRACT AREA SF ZONING MTC REQUIRED % MTC SF REQU						
65,577	MXNC	10%	6,558			
TREE COVER PROVIDED SF	NUMBER OF TREES	SF CREDIT PER TREE	TOTAL SF CREDIT			
FORESTED AREA	N/A	N/A				
EXISTING LANDSCAPE TREES		25% OF CRZ				
LARGE SHADE TREES	10	400	4000			
LARGE EVERGREEN	9	400	3600			
SMALL SHADE/ORNAMENTAL	42	200	8400			
SMALL EVERGREEN		200	0			
		TOTAL SF	16000			

Sources: Rockville Code of Ordinances sec. 10.5-22(d)

RESOURCE DATA TARIF

NESCONCE DATA TABLE	
ACREAGE OF TRACT (GROSS AREA)	1.51
ACREAGE OF TRACT REMAINING IN AGRICULTURAL USE	0.00
ACREAGE OF TOTAL EXISTING FOREST	0.00
ACREAGE OF 100-YR FLOODPLAINS	0.00
ACREAGE OF FOREST W/IN 100-YR FLOODPLAINS	0.00
ACREAGE OF WETLANDS	0.00
ACREAGE OF FOREST WITHIN WETLANDS	0.00
ACREAGE OF ENVIRONMENTAL BUFFERS	0.00
ACREAGE OF FOREST WITHIN ENVIRONMENTAL BUFFERS	0.00
LINEAR FEET AND AVERAGE WIDTH OF	Linear Feet: 0'
ENVIRONMENTAL BUFFER PROVIDED	Average Width: 0'

NNI TABLE

NNI CHART- PER CITY LIST					
SCIENTIFIC	COMMON	DISTRIBUTION	ABUNDANCE	NOTES	
Hedera helix	English Ivy	localized	common	vine choking tree trunks, along ground	
Taraxacum officinale	Common dandelion	widespread	common	along lawn areas and spread throught out site	
DATE NNI INVENTORY CO	ONDUCTED			April 18,2023	

NOT FOR CONSTRUCTION

"FOR LOCATION OF UTILITIES CALL



Community Planning & Development Services

December 15, 2023

SHEET INDEX

FINAL FOREST CONSERVATION PLAN COVER FINAL FOREST CONSERVATION PLAN FINAL TREE REMOVAL PLAN FINAL FOREST CONSERVATION TABLES FINAL FOREST CONSERVATION NOTES FINAL FOREST CONSERVATION DETAILS

GENERAL NOTES

THE SUBJECT PROPERTY PARCEL COMPRISING APPROXIMATELY 1.51 ACRES IS LOCATED AT 5906 HALPINE RD, IN ROCKVILLE, MARYLAND. THE PARCEL INFORMATION IS

THE SUBJECT PROPERTY WSSC TAX MAP GRID NUMBER IS 216NW06

- 1. PARCEL N091 IS CURRENTLY ZONED R-60; MXNC ZONING IS BEING PURSUED IN ACCORDANCE WITH THE FLOATING ZONE PROVISIONS.
- 2. THE SUBJECT PROPERTY IS LOCATED IN THE MIDDLE ROCK CREEK WATERSHED, A USE CLASS I/I-P STREAM. THERE IS NO MAPPED FEMA 100 YEAR FLOODPLAIN.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREA OF LESS THAN 0.2% ANNUAL CHANCE OF FLOOD) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 24031C0353D, FOR MONTGOMERY COUNTY, MARYLAND,
- 4. THERE ARE NO PERENNIAL OR INTERMITTENT STREAMS, SEEPS, OR SPRINGS OR THEIR ASSOCIATED BUFFERS LOCATED ON, OR WITHIN 200' OF THE SUBJECT PROPERTY BASED ON OBSERVATIONS ON-SITE ON APRIL 18, 2023.
- 5. PER U.S.FISH & WILDLIFE SERVICES' NATIONAL WETLANDS INVENTORY ON-LINE MAPPER (HTTP://WWW.FWS.GOV/WETLANDS/DATA/ MAPPER.HTML), MARYLAND'S ENVIRONMENTAL RESOURCES AND LAND INFORMATION NETWORK (MERLIN) (HTTP://WWW. MDMERLIN.NET/), AND FIELD VERIFICATION, THERE ARE NO WETLANDS OR THEIR ASSOCIATED BUFFERS LOCATED ON THE SUBJECT PROPERTY OR WITHIN THE REMAINDER OF THE NRI STUDY AREA. ACCESSED ON
- 6. THE WILDLIFE AND HERITAGE DIVISION OF THE MD DNR HAS BEEN CONTACTED TO DETERMINE IF THERE ARE ANY FEDERAL OR STATE RECORDS OF RARE, THREATENED OR ENDANGERED SPECIES WITHIN THE NRI STUDY AREA. NO RARE, THREATENED OR ENDANGERED SPECIES WERE NOTED DURING FIELD WORK.
- 7. THE HORIZONTAL DATUM IS NAD83/2011, VERTICAL DATUM IS BASED ON NGVD29 DATUM. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY VIKA MARYLAND, LLC, APRIL 18, 2023.
- 8. TREES SHOWN WERE EITHER SURVEY LOCATED OR ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON VISUAL OBSERVATIONS. CTLA TREE RATING DATA SUMMARY SHEETS WERE PREPARED AND SUBMITTED WITH THIS PLAN. SEE
- 9. THERE ARE 0 ACRES OF EXISTING FOREST ON THE SUBJECT PROPERTY OR WITHIN THE NRI STUDY AREA.
- 10. NON-NATIVE INVASIVE PLANT MATERIAL ENGLISH IVY AND COMMON DANDELION OBSERVED WITHIN THE INVENTORY AREA. NON-NATIVE MATERIAL WITHIN OUR PROPERTY WILL BE ERADICATED DURING DEVELOPMENT.

SOILS TABLE

SCALE: 1"= 60'

SYMBOL	SOIL*	CHARACTERISTICS								
		PRIME	HIGHLY							
		AGRICULTURE**	ERODIBLE***	SERPENTINIC****	HYDRIC GROUP*	K FACTOR****				
	Glenelg-Urban land									
	complex, 0 to 8 percent		NO	NO						
2UB	slopes	NO			В	0.32				
	Glenelg-Urban land									
	complex, 8 to 15		NO	NO						
2UC	percent slopes	NO			В	0.43				
400	Urban Land	NO	NO	NO	D	0.49				

SOURCES: *USDA NRCS WEB SOIL SURVEY (http://websoilsurvey.sc.egov.usda.gov)

**PAGE 140 TABLE 5 MONTGOMERY COUNTY, MARYLAND SOIL SURVEY

**URBAN OR BUILT-UP AREAS OF THE PRIME AGRICULTURAL SOILS ARE NOT CONSIDERED PRIME FARMLAND PER THE

THE MONTGOMERY COUNTY, MARYLAND SOIL SURVEY PAGE 140 TABLE 5 *** PAGE 67 APPENDIX C ERODIBLE SOILS LIST M-NCPPC MONTGOMERY COUNTY ENVIRONMENTAL GUIDELINES

****PAGE 120 MONTGOMERY COUNTY, MARYLAND SOIL SURVEY

*****TABLE 16 PAGE 212 MONTGOMERY COUNTY, MARYLAND SOIL SURVEY

Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

PREPARED FOR:

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER

VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE ATTORNEY

LERCH, EARLY & BREWER,

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER **GOROVE SLADE** 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

FINAL FOREST **CONSERVATION** PLAN COVER

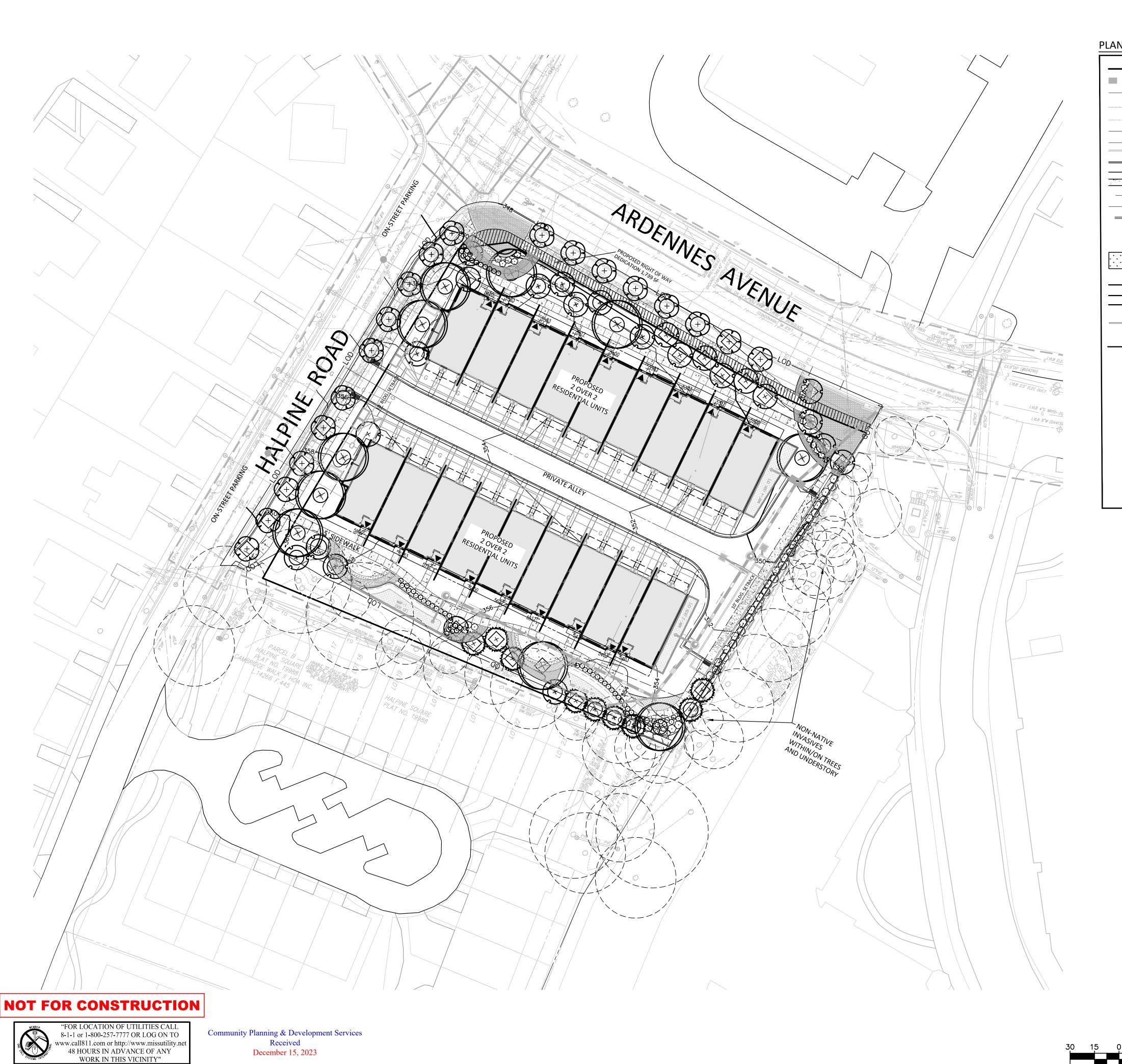


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE No.: <u>3275</u> EXPIRATION DATE: 11/17/2024

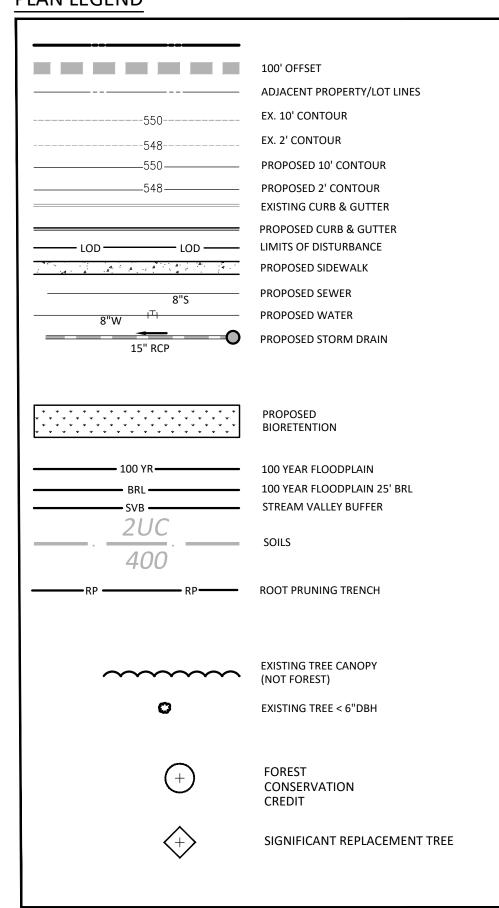
DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

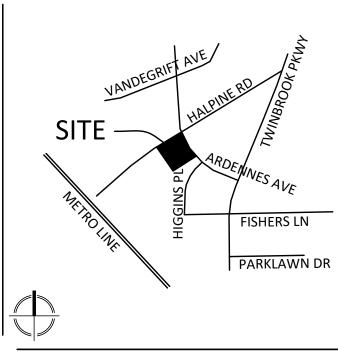
DRAWN BY: <u>EJS</u> DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A









VICINITY MAP SCALE: 1" = 2000'

20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PREPARED FOR: PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY

SUITE 1000 FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER
VIKA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER

GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

FINAL FOREST CONSERVATION PLAN



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE NO.: 3275

EXPIRATION DATE: 11/17/2024

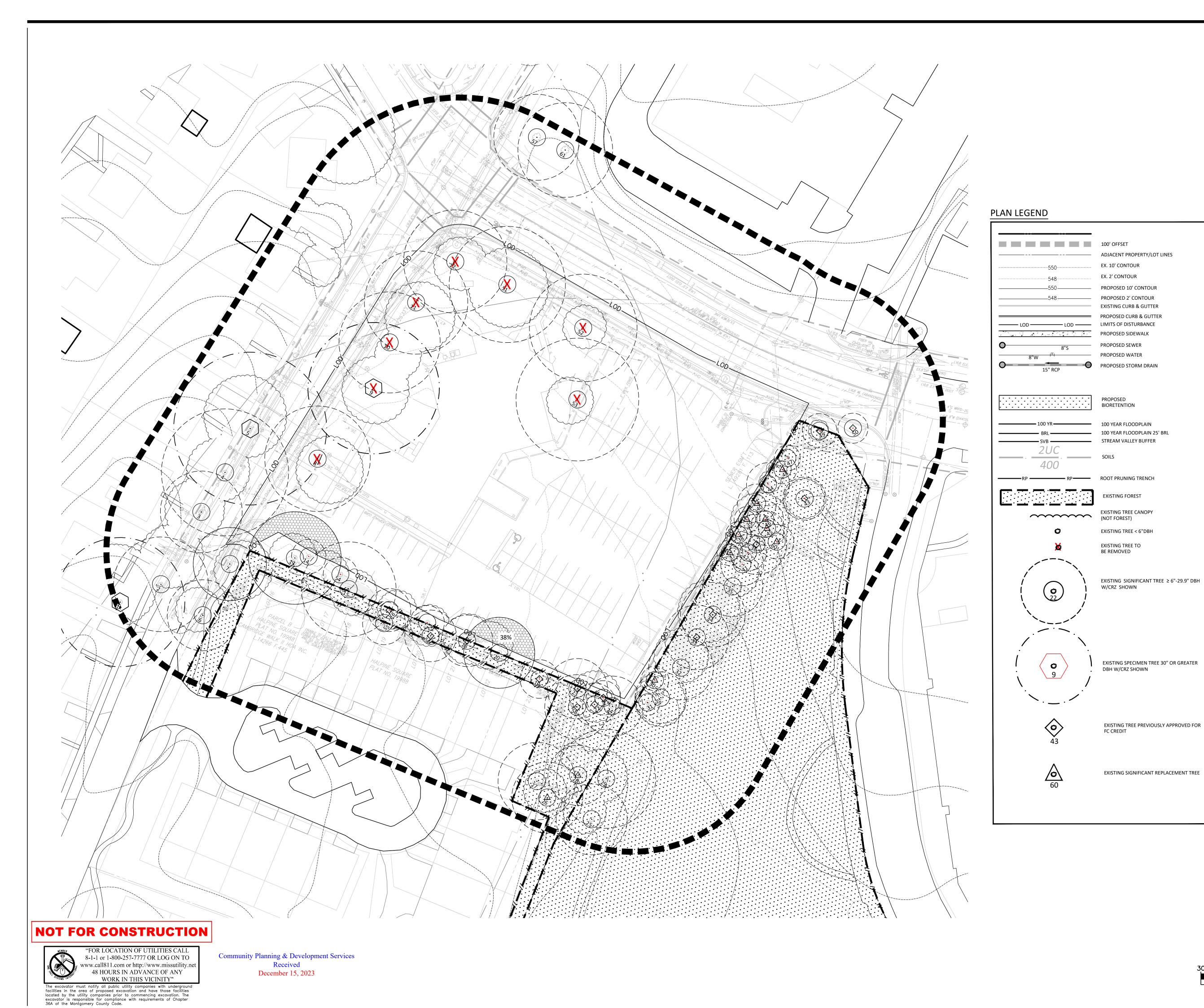
THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

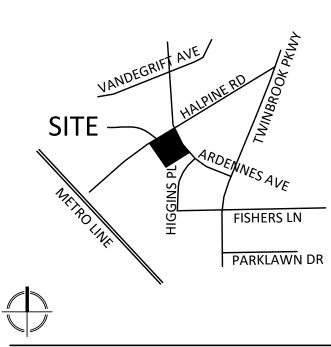
DRAWN BY: EJS DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. FFCP-2

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.





VICINITY MAP SCALE: 1" = 2000'

20251 Century Blvd., Suite 400

Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PREPARED FOR: PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY

SUITE 1000 FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814

301.986.1300 CONTACT: PATRICIA HARRIS TRAFFIC ENGINEER

GOROVE SLADE 1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 202.296.8625 CONTACT: WILL ZEID

REVISIONS	DATE

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

FINAL FOREST CONSERVATION PLAN TREE REMOVAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE No.: 3960
EXPIRATION DATE: 03/09/2025

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC.
VIOLATIONS MAY RESULT IN PROSECUTION. ONLY
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: EJS DESIGNED BY: MBG DATE ISSUED: <u>04/10/2023</u>

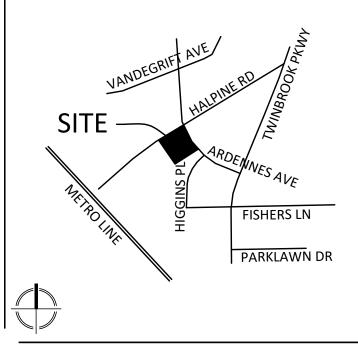
PROJECT VM50639A

SHEET NO. FFCP-3

LAYOUT: FFCP-3, Plotted By: schlatter

SIGNIFICANT & SPECIMEN TREE TABLE

							PROPOSED TREE SUMMARY CHART PFCP/FFCP							
#	SCIENTIFIC NAME	COMMON NAME	DBH	Area CRZ	CTLA %	COR CTLA %	Remarks	PREVIOUS FTP PLAN #	PREV.CREDIT	DISPOSITION	OWED	REPLACEMENT TREES REQD.	CREDIT TYPE	MAXIMUM CREDIT AMOUNT
<u>.ANDS</u> L	CCAPE SETTING >/= 12" DBH Fagus grandifolia	American Beech	30.0 in	6362	94%		On private property/ no permission			Save		0	LG SHADE	0
})	Ulmus americana Quercus rubra	American elm Red Oak	24.5 in 30.5 in	4243 6576	84% 81%					Remove Remove		6	LG SHADE	0
10	Quercus rubra	Red Oak	23.5 in	3904	66%					Remove		2	LG SHADE	0
11 12	Quercus rubra Quercus rubra	Red Oak Red Oak	24.0 in	4072 4072	88% 78%					Remove Remove		2	LG SHADE	0
L3	Acer rubrum	Red Maple	21.5 in	3267	94%					Save		0	LG SHADE	0
15 20	Taxodium districhum Acer rubrum	Bald cypress Red Maple	22.0 in 16.5 in	3421 1924	97%					Save Save		0	LG SHADE	0
24	Ilex opaca	American Holly	14.0 in	1385	97%					Save		0	LG EVG	0
25 27	Pinus strobus Prunus sp.	White Pine Cherry	16.5 in 18.0 in	1924 2290	97%		On private property/ no permission			Save Save		0	LG EVG ORN	0
28	Lagerstroemia indica	Crape Myrtle	14.0 in	1385	97%		On private property/ no permission			Save		0	ORN	0
29 32	Pinus strobus Pinus strobus	White Pine White Pine	23.0 in 15.0 in	3739 1590	91%					Save Save		0	LG EVG	0
35	Pinus strobus	White Pine	14.0 in	1385	91%					Save		0	LG EVG	0
51 52	Quercus rubra Quercus rubra	Red Oak Red Oak	27.0 in 25.0 in	5153 4418	78% 84%					Remove Remove		3	LG SHADE LG SHADE	0
53	Quercus rubra	Red Oak White Pine	28.0 in 20.0 in	5542	72% 71%					Remove		3	LG SHADE LG EVG	0
57 59	Pinus strobus Pinus strobus	White Pine	12.0 in	2827 1018	88%					Save Save		0	LG SHADE	0
61	Quercus rubra	Northern Red Oak	22.0 in	3421	55%					Save 8		0 23	LG SHADE	0
	DBH TREES (NO EXISTING CF		00:	452	0221								10011455	400
14 17	Sassafras albidum Cercis canadensis	Sassafras Red Bud	8.0 in 8.0 in	452 452	92% 94%					Save Save			LG SHADE ORN	400 200
21	Ilex opaca	American Holly	8.0 in	452	97%					Save			LG EVG	400
22 31	Ilex opaca Juniperus virginiana	American Holly Red Cedar	10.0 in 6.0 in	707 254	97% 97%					Save Save			LG EVG LG EVG	400
41	Pinus strobus	White Pine	10.0 in	707	94%					Save			LG EVG LG EVG	400
42 44	Pinus strobus Ilex opaca	White Pine Holly	8.5 in 10.0 in	511 707	94%					Save Save			LG EVG LG EVG	400
47 5 <i>1</i>	Robinia pseudoacacia	Black locust Sassafras	10.0 in	707	97% 89%					Save			LG SHADE LG SHADE	400 400
54 55	Sassafras albidum Nyssa sylvatica	Blackgum	8.0 in 10.0 in	452 707	89%					Save Save			LG SHADE	400
OFFSIT	TE													4200
									0	Select One Select One	FALSE FALSE	0		
										Select One	FALSE	0		
STREE	T TREES OF ANY SIZE; STREE	T TREES MAY HAVE PRIOR F	FC CREDIT (Tree numbe	r must ir	nclude F if	previous FC credit was assigned)			0		0		
2	Platanus acerifolia Zelkova serrata	London Plane Tree	21 in	3117	91% 91%					Save	N/A N/A	0	-	0
4	Zelkova serrata Acer saccharinum	Japanese Zelkova Silver Maple	19 in 29 in	2552 5741	91%					Save Save	N/A N/A	0		0
5	Acer saccharinum Zelkova serrata	Silver Maple	36 in	8908	91%		DDEVIOUS SIG TREE BEDLACEMENT CREDIT	FTP95-5	400	Save	N/A N/A	0	•	0
7F	Zelkova serrata Zelkova serrata	Japanes e Zel kova Japanes e Zel kova	17 in 17 in	1924 2043	88% 91%		PREVIOUS SIG TREE REPLACEMENT CREDIT PREVIOUS SIG TREE REPLACEMENT CREDIT	FTP95-5	400	Save Save	N/A N/A	0	-	400 400
PREV	OUS FOREST CONSERVATION	N CREDIT (Tree number m	ust include	F)			TO	OTAL PREVIOUS CREDIT:	800	0	0	0		800
16F*	Cornus florida		ust illeliant		0.40/								***************************************	400
19F*	11014 0 0 0 0 0	Dog Wood	10.0 in	707	94%			FTP95-5	400	Save	0	0		
	Ilex opaca Ulmus americana			707 573 1018	89% 94%			FTP95-5 FTP95-5 FTP95-5	400 400 400	Save Save Save	0 0	0 0 0		400 400
18F* 21F*	Ulmus americana Ilex opaca	Dog Wood American Holly American Elm American Holly	10.0 in 9.0 in 12.0 in 8.0 in	573 1018 452	89% 94% 97%			FTP95-5 FTP95-5 FTP95-5	400 400 400	Save Save Save	0 0 0	0 0		400 400 400
18F*	Ulmus americana	Dog Wood American Holly American Elm	10.0 in 9.0 in 12.0 in	573 1018	89% 94%			FTP95-5 FTP95-5	400 400	Save Save	0	0		400 400
18F* 21F* 22F* 23F* 33F	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus	Dog Wood American Holly American Elm American Holly American Holly English Holly White Pine	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in	573 1018 452 707 1385 1590	89% 94% 97% 97% 97% 91%			FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033	400 400 400 400 400 400	Save Save Save Save Save	0 0 0 0 0	0 0 0 0 0 0 0		400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium	Dog Wood American Holly American Elm American Holly American Holly English Holly	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in	573 1018 452 707 1385	89% 94% 97% 97% 97%			FTP95-5 FTP95-5 FTP95-5 FTP95-5	400 400 400 400 400	Save Save Save Save	0 0 0 0	0 0 0 0 0		400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica	Dog Wood American Holly American Elm American Holly American Holly English Holly White Pine White Pine White Pine Crape Myrtle	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 14.0 in 6.0 in	573 1018 452 707 1385 1590 1590 1385 254	89% 94% 97% 97% 97% 91% 91% 91%			FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033	400 400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0	0 0 0 0 0 0 0		400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus	Dog Wood American Holly American Elm American Holly American Holly English Holly White Pine White Pine White Pine	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in	573 1018 452 707 1385 1590 1590	89% 94% 97% 97% 97% 91% 91%			FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0	0 0 0 0 0 0 0		400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 50F	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Cladrastis kentukea	Dog Wood American Holly American Elm American Holly American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 83%			FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0		400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 56F* 58F*	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in 12.0 in 15.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94%			FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033	400 400 400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0	-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 50F 56F*	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca	Dog Wood American Holly American Elm American Holly American Holly English Holly White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in 12.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94%	ACED AT 1	TO 1	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00035 FTP2003-00035 FTP2003-00035	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0	-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 56F* 58F*	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica	Dog Wood American Holly American Elm American Holly American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in 12.0 in 15.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385	89% 94% 97% 97% 91% 91% 91% 91% 94% REPLA 97% 97%	CED AT 1		FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP25-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0 0 0	-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 56F* 58F* PREVIO	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 4.0 in 6.5 in 14.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94% REPLA	CED AT 1	TO 1 On private property/ no permission	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP25-5 FTP95-5 FTP95-5 CTAL PREVIOUS CREDIT:	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0	-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 49F 56F* 58F* PREVIO	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 6.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include \$ 1924 1385 299 254 254	89% 94% 97% 97% 91% 91% 91% 91% 94% 94% 94% 97%	CED AT 1	TO 1 On private property/ no permission	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP903-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0 0 0 0 0	-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 50F 56F* 58F* PREVIO 26S* 28S* 30S 37S 38S 39S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 14.0 in 6.5 in 6.5 in 6.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254	89% 94% 97% 97% 91% 91% 91% 91% 91% 97% 91% 94% 94%	CED AT 1	TO 1 On private property/ no permission	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP903-00033 FTP2003-00033 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 56F* 58F* PREVIO 26S* 28S* 37S 38S 39S 40S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly American Holly Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 8.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 6.0 in 6.0 in 9.0 in 8.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452	89% 94% 97% 97% 91% 91% 91% 91% 94% 94% 97% 94% 97% 94% 97% 94% 97% 94%	CED AT 1	TO 1 On private property/ no permission	FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 56F* 58F* 28S* 39S 40S 45S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 6.0 in 9.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573	89% 94% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 97% 97% 97%	CED AT 1	TO 1 On private property/ no permission	FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 34F 34F 49F 56F* 58F* 26S* 28S* 30S 37S 38S 39S 40S 45S 46S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly Red Cedar Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 6.0 in 6.0 in 8.0 in 7.0 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452 511	89% 94% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 94% 97% 94% 94% 94%	CED AT 1	On private property/ no permission On private property/ no permission	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP25-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 49F 50F 56F* 58F* PREVIO 26S* 28S* 30S 37S 38S 39S 40S 45S 46S 48S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana Juniperus virginiana Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly American Holly Red Cedar Red Cedar Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 9.0 in 8.0 in 9.0 in 8.5 in 6.5 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452 511 299	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 97% 94% 94% 97%	CED AT 1	On private property/ no permission On private property/ no permission Tot	FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 36F 43F 49F 50F 56F*	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana Juniperus virginiana Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly American Holly Red Cedar Red Cedar Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 9.0 in 8.0 in 9.0 in 8.5 in 6.5 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452 511 299	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 97% 94% 94% 97%	CED AT 1	On private property/ no permission On private property/ no permission Tot	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00034	400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
18F* 21F* 22F* 23F* 33F 34F 34F 36F 49F 50F 56F* 58F* 26S* 28S* 30S 37S 38S 39S 40S 45S 46S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana Juniperus virginiana Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly American Holly Red Cedar Red Cedar Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 9.0 in 8.0 in 9.0 in 8.5 in 6.5 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452 511 299	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 97% 94% 94% 97%	CED AT 1	On private property/ no permission On private property/ no permission Tot	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00034	400 400 400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0 0 0 0		-	400 400 400 400 400 400 400 400 400 400
21F* 22F* 23F* 33F 34F 34F 36F 36F 49F 66F* 68F* 28S* 30S 37S 38S 39S 40S 45S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana Juniperus virginiana Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly American Holly Red Cedar Red Cedar Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 9.0 in 8.0 in 9.0 in 8.5 in 6.5 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452 511 299	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 97% 94% 94% 97%	CED AT 1	On private property/ no permission On private property/ no permission Tot	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00034	400 400 400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	0 0 0 0 0 0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		400 400 400 400 400 400 400 400 400 5600
8F* 1F* 2F* 3F* 3F 4F 6F 3F 9F 0F 6F* 8F* REVIO 6S* 8S 9S 0S 7S 8S 9S 6S	Ulmus americana Ilex opaca Ilex opaca Ilex aquifolium Pinus strobus Pinus strobus Pinus strobus Lagerstroemia indica Zelkova serrata Zelkova serrata Cladrastis kentukea Ilex opaca OUS SIGNIFICANT TREE REPL Acer rubrum Lagerstroemia indica Cercis canadensis Ilex opaca Ilex opaca Ilex opaca Juniperus virginiana Juniperus virginiana Juniperus virginiana Ilex opaca	Dog Wood American Holly American Elm American Holly English Holly White Pine White Pine White Pine Crape Myrtle Japanese Zelkova Japanese Zelkova American yellowwood American holly LACEMENT CREDIT (Tree N Red Maple Crape Myrtle Red Bud American Holly American Holly American Holly Red Cedar Red Cedar Red Cedar Red Cedar	10.0 in 9.0 in 12.0 in 8.0 in 10.0 in 14.0 in 15.0 in 15.0 in 14.0 in 6.0 in 7.0 in 12.0 in 15.0 in 14.0 in 6.5 in 6.5 in 6.0 in 9.0 in 8.0 in 9.0 in 8.5 in 6.5 in	573 1018 452 707 1385 1590 1590 1385 254 452 346 1018 1590 st include S 1924 1385 299 254 254 254 573 452 511 299	89% 94% 97% 97% 97% 91% 91% 91% 91% 91% 94% 94% 97% 94% 97% 94% 94% 97%	CED AT 1	On private property/ no permission On private property/ no permission Tot	FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP2003-00033 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP95-5 FTP2003-00033 FTP2003-00034	400 400 400 400 400 400 400 400 400 400	Save Save Save Save Save Save Save Save	O O O O O O O O O O O O O O O O O O O	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Tree Credit CRZ Credit	400 400 400 400 400 400 400 400 400 5600



VICINITY MAP SCALE: 1" = 2000'

PROPOSED PLANTING TABLE

FTPO	TRFF	CREDIT	CHART-	NFW/	PLANTINGS

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (LG SHADE, LG EG,ORN, SM EG)	ROOT BALL TYPE	SIZE- CAL/HT	LANDSCAPING NO CREDIT	LANDSCAPING MTC CREDIT ONI	SIG. TREE REPLACEMENT CREDIT (OFF-SITI	SIG. TREE REPLACEMENT CREDIT (ON-SITE	STREET TREE NO CREDIT	STREET TREE FC CREDIT ONLY'	FC CREDIT	FC CREDIT (200 OR 400 SF FC QUANTITY)	MTC CREDIT (200 OR 400 SF MTC QUANTITY)
STREET TREES (NOT	TO EXCEED 25% OF TOTAL REQUIREMENT)													
Ardennes Avenue														
8	Syringa reticulata	Japanese Tree Lilac	ORN	B&B	2.5"	0	0	0	2	0	6	0	1200	1600
Halpine Road														
11	Syringa reticulata	Japanese Tree Lilac	ORN	B&B	2.5"	0	0	0	5	0	6	0	1200	2200
On-Site Trees														
10		TBD	LG SHADE	B&B	2.5"	0	0	0	1	0	0	9	3600	4000
9		TBD	LG EVG	B&B	2.5"	0	0	0	5	0	0	4	1600	3600
24		TBD	ORN	B&B	2.5"	1	0	0	10	0	0	13	2600	4600
				TO	TALS	N/A	0	0	23	0	12	26	10200	16000
* Street trees not to ex	ceed 25% of total forest conservation credit requirement	nt.		REQUIR	EMENTS	N/A		2	!3			Χ	9584	6558
						'				•				

20251 Century Blvd., Suite 400

Germantown, MD 20874 301.916.4100 | vika.com Our Site Set on the Future.

PULTE HOME COMPANY, LLC 9302 LEE HIGHWAY **SUITE 1000** FAIRFAX, VA 22031 703.934.9367 DAVID DeMARCO David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PREPARED FOR:

VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

PLANNER, CIVIL ENGINEER

ATTORNEY LERCH, EARLY & BREWER,

CHTD. 7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300

CONTACT: PATRICIA HARRIS TRAFFIC ENGINEER GOROVE SLADE

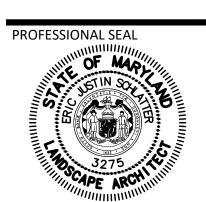
1140 CONNECTICUT AVE NW, SUITE 1010 WASHINGTON, DC 20036 CONTACT: WILL ZEID

REVISIONS	DATE
ILLVISIONS	

HALPINE ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

FINAL FOREST CONSERVATION **TABLES**



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE No.: 3275

EXPIRATION DATE: 11/17/2024

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY:	EJS
DESIGNED BY:	MBG
DATE ISSUED:	12/01/2023

VIKA PROJECT VM50639A

NOT FOR CONSTRUCTION

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Community Planning & Development Services

Received December 15, 2023

SEQUENCE OF EVENTS

The permittee is responsible for strict adherence to the sequence and details as outlined. During each stage of the project, forestry staff may provide additional direction based on site conditions, unforeseen circumstances, or approved revisions.

PRE-CONSTRUCTION

- 1. Permittee shall obtain a Forestry Permit (FTP) for the project and secure copies of the approved Forest Conservation Plan (FCP) for distribution to contractors. The Permittee is responsible for obtaining a Maryland Roadside Tree Permit if applicable. Contact Miss Utility at 1-800 257-7777.
- 2. The Permittee must coordinate and schedule an onsite preconstruction meeting with the following attendees: Permittee, Construction Superintendent, Maryland LTE/ISA Certified Arborist (if required by Forestry Department), the City Forestry Inspector, City Project Inspector, and City Sediment Control Inspector. The limits of disturbance must be staked and flagged prior to the preconstruction meeting. No land disturbance shall occur prior to this meeting. This includes, but is not limited to, the installation of tree protection fencing, sediment control measures, clearing, grading and tree stress reduction measures. The limits of disturbance will be reviewed, and tree protection and tree care measures will be discussed.
- 3. No land disturbance shall begin before stress-reduction measures as indicated on the approved FCP, or otherwise directed by the Forestry Inspector have been implemented and approved by Forestry Inspector. Measures not specified on the plan may be required as determined by the Forestry Inspector in consultation with the Permittee's MD LTE/ISA Certified Arborist. Appropriate stress-reduction measures may include, but are not limited to:
 - a. Root pruning
 - b. Crown reduction or pruning c. Watering
 - d. Fertilizing
 - e. Surface mulching Vertical mulching
 - g. Root aeration matting
- 4. A professional with the dual credentials of Maryland Department of Natural Resources Licensed Tree Expert (LTE) and International Society of Arboriculture Certified Arborist (ISA CA) must perform all stress reduction measures. Documentation of these qualifications may be required. The measures must be done in accordance with ANSI Standards for Tree Care Operations (A300) and other industry best management practices. Implementation of the stress reduction measures must be observed by the Forestry Inspector or written documentation, including photographs must be sent via mail or email to the City Forestry Inspector.
- 5. Temporary tree protection devices, including signage, shall be installed per the approved Forest Conservation Plan, or as otherwise directed by the Forestry Inspector, and prior to any land disturbance. Tree protection fencing locations must be staked and flagged prior to the pre-construction meeting. The Forestry Inspector, in coordination with the City Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan. The Permittee must contact the Forestry Inspector to schedule a follow up construction inspection after installing all tree protection measures and performing all stress reduction measures. Upon a satisfactory inspection by the Forestry Inspector and Sediment Control Inspector, a Notice to Proceed will be issued and clearing and grading can commence. Temporary tree protection devices may include:
- a. Chain link fence (four feet high)
- b. Super silt fence with wire strung between the support poles (minimum 4 feet high) with high visibility flagging. c. 14 gauge 2 inch x 4 inch welded wire fencing supported by steel T-bar posts (minimum 4 feet high) with high visibility
- flagging.
- 6. The Permittee and contractor shall maintain the temporary tree protection devices for the duration of the project and the location must not be altered without prior approval of the Forestry Inspector. No equipment, trucks, materials, debris, or any other items may be stored within the tree protection fence areas during the entire construction project. No access beyond the fenced area will be permitted. Tree Protection fencing shall not be removed without prior approval of the Forestry
- 7. Long term tree protection devices/techniques, as shown on the FCP or as directed by the Forestry Inspector may include but
- are not limited to: a. Root aeration systems
- Retaining walls c. Raised sidewalks
- d. Tunneling of utilities
- e. Pier and panel walls f. Porous pavers
- **DURING CONSTRUCTION**
- 1. Periodic inspections at the discretion of the Forestry Inspector will occur during the construction project. Corrections and repairs to all tree protection devices and other protective measures, as determined by the Forestry Inspector, must be made
- within the timeframe established by the Forestry Inspector. 2. The Permittee must immediately notify the Forestry Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the plan. Remedial actions to the restore these areas will be determined by the Forestry Inspector and the corrective actions must be made within the timeframe established by the Forestry Inspector.
- 3. Failure to comply with the approved FCP or any directive of the City Forester's office is a violation of the Forest and Tree Preservation Ordinance (FTPO). Pursuant to Section 10.5-34 of the FTPO, a fine in the amount of \$1,000 may be imposed for each violation. Each day a violation continues is a separate violation. In addition, a stop work order may be issued until the violation has been abated and the fine has been paid or an appeal has been filed pursuant to Section 10.5-35 of the FTPO. Additional punitive measures as stated under Section 10.5-34 of the FTPO may be imposed.

- 1. After construction is completed, the Permittee must request a final inspection in writing with the Forestry Inspector. At the final inspection, the Forestry Inspector may require additional corrective measures, which may include, but is not limited to: Removal and replacement of dead and dying trees
 - b. Pruning of damaged, dead or declining limbs
 - c. Surface mulching
 - d. Soil aeration e. Fertilization
 - f. Watering
 - g. Wound repair
- n. Clean up of retention areas including trash removal
- After the final inspection and completion of all corrective measures the Forestry Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both the City Sediment Control Inspector and the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.

INSTALLATION OF PLANT MATERIAL

1. The Permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown the FCP/Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from supplier by the project start date.

Page 2 of 6

2. A pre-planting meeting is required before installation of landscaping, afforestation, or reforestation. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees must include the Permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1).

3. Comply with appropriate City Soil Specification:

I. Soil Specification FOR TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED¹

Site preparation

- a. Demolish existing impervious surface and remove all existing asphalt, concrete, stone and construction materials to expose subsoil free of debris.
- b. Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.

c. Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation.

- d. Test to ensure that planting bed drains at a rate of at least 1 inch/per hour. e. Install imported soil to fill excavated planting bed. Imported soil shall have a texture of LOAM, per the USDA soil classification system and a chemical composition compatible with healthy tree growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering
- (not both) between lifts to minimize potential settling. 2. Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 5.5 and 7 and a nutrient content which corresponds to an adequate rating, per current industry

standards. Amend soil, if necessary, to achieve the current industry standard. 3. The Forestry Inspector may require additional soil specifications, based on site conditions.

II. Soil Specification FOR PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.

1. Site Preparation:

- a. Remove all construction debris and top four to six inches of existing soil.
- corresponds to an adequate rating, per current industry standards. c. Apply four (4) inches of mature compost evenly over the entire planting surface. (4" = 12 Cubic Yard/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector

b. Test remaining existing soil to verify a pH range between 5.5 and 7, and has a nutrient content which

- for approval prior to install d. Till the compost into the existing soil to a minimum depth of thirty-six (36) inches using the city's soil
- profile rebuilding specification. e. If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.
- 2. The Forestry Inspector may require additional soil specifications, based on site conditions.
- III. Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved City of
- 1. Test existing soil to verify it has a pH range between 5.5 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil:
 - a. Option 1- Till Method- Depth of tilling for planting must be at least twenty-four (24) inches: i. Apply four (4) inches of mature compost evenly over the entire planting surface (4" = 12 cubic yards/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
 - ii. Till the compost into the existing soil to a minimum depth of twenty-four (24") inches. b. Option 2 – Aeration and Vertical Mulching
 - i. Using a 2-3" Auger, drill a series of holes in the soil to a depth of twenty-four (24) inches.
 - ii. Begin at the edge of the hole dug for the root ball and continue drilling at one-foot intervals (maximum), in concentric rings around the tree out to ten (10) feet from the tree.
 - iii. Each hole must be refilled with mature compost.
- c. The Forestry Inspector may require additional soil specifications, based on site conditions.

¹ See definitions section #9

- IV. Soil testing of the existing soil may be conducted with PRIOR approval from the City's Forestry Inspector to determine the number and location of the samples. The above requirements may be reduced if soil testing
 - 2. The top 24" of existing soil contains a minimum of 4-6% organic matter by weight
- The soil is free of contaminants
- 5. The soil has an infiltration rate not less than 1" per hour
- 6. The soil does not contain debris or stones greater than one inch
- commercial soil testing facilities.
- V. Soil preparation is required for street trees planted within the city's rights-of-way and private street trees, if they are part of the approved plan.
- 4. The depths and grades shown on plan drawings are final grades after settlement and shrinkage of the organic material. The contractor shall install the soil mix at a higher level to anticipate this reduction of volume. All grades are assumed to be 'as measured" to be prior to the addition of any surface compost till layer or mulch or sod.
- 5. All details of the planting plans regarding plant quality and proper planting will be discussed including but not limited to:
 - b. Proper form for species.
 - Proper ratio of caliper size/height to container size/root ball size.
 - d. Proper pruning cuts if applicable in accordance with current ANSI A300 pruning standards (generally there should
- e. No co-dominant stems or multiple trunks (unless approved by FCP or by The Forestry Inspector).
- h. Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage.
- Proper Installation
- - rejection of the plant material.
- e. No hose and wire; staking and strapping per City planting detail.
- f. Planting Hole a minimum of twice the width of the root ball; could be greater. Planting detail assumes soil has been
- prepared per the city's specifications (Planting, #3).
- h. Wildlife protection installed, if required; type approved by the Forestry Inspector.
- 8. Tree planting will generally not be permitted between the dates of June 1 and September 1, or when the ground is frozen.
- - a. Topsoil
 - 6%% organic matter content, and a NRCS textural class similar to pre-development conditions A horizon the City Forestry Division. In addition, topsoil shall: 1. Be friable and well drained
 - 2. Have a pH between 5.5-7.

Page 3 of 6

Have an organic matter content between 4-6%.

- 4. Have low salinity as indicated by a soluble salt content which is less than 3 dS/m
- 5. Be free of debris, stone, gravel, trash, large sticks, heavy metals, and other deleterious contaminants, (if screening is used to remove debris, screen size must be 1/4 inch or larger).
- 6. Have a nutrient profile such that it has an adequate rating, per current industry standards.
- Be free of noxious weed seeds
- i. Compost shall be composed of leaves, yard waste, or food waste. Biosolid-based composts shall not be used. A compost sample with analysis shall be submitted for approval to the City Forestry Division before
- ii. Stability refers to the rate of biological breakdown, measured by carbon dioxide release. Maturity refers to completeness of the aerobic composting process and suitability (lack of plant toxicity) as a plant growth media, often measured by ammonia release and by plant growth tests. Compost manufacturers that subscribe to the US Composting Council's testing program may document stability as compost testing 7 or below in accordance with TMECC 05.08-B, "Carbon Dioxide Evolution Rate". Maturity (suitability for plant growth) may be documented as compost testing greater than 80% in accordance with TMECC 05.05-A, "Germination and Vigor". Compost is considered mature and stable if it tests at 6.0 or higher on the Solvita Compost Maturity Index Rating, which is a combination of Carbon Dioxide and Ammonia Maturity Tests (test information and equipment available at www.solvita.com).
- iii. Compost shall also be: Free of weed seeds
 - 2. Free of heavy metals or other deleterious contaminants. 3. Have a soluble salt content which is less than 3 dS/m.
- c. Severely Degraded Soil
 - i. Soil shall be considered severely degraded if grade was lowered or raised more than 14 inches OR soil was compacted in lifts regardless of the final grade OR was used as a staging area for construction materials, equipment or processes.

POST INSTALLATION

- 1. The Permittee shall notify the City Forestry Inspector IN WRITING when the planting is complete and request a post planting inspection. The inspection must include the Permittee, landscape contractor and Forestry Inspector. The maintenance and warranty period will not begin until the City Forestry Inspector has accepted ALL plantings.
- 2. Trees will be inspected for plant quality and proper planting in accordance with City specifications and nursery standards. Once the maintenance period has begun, the applicant is responsible for maintaining plant health in accordance with the signed Warranty and Maintenance Agreement.
- 3. Routine inspections will be conducted throughout the warranty period and the applicant will be notified in writing when corrective measures are required. Failure to complete the corrective measures by the given date may result in fines being
- 4. Such maintenance shall include when appropriate, but not necessarily be limited to:

issued, permits revoked, extension of warranty period or other punitive measures.

- a. Weekly watering equal to 10 gallons per caliper measure of tree diameter. (ex: 2.5" caliper tree =25
- gallons/week.) Documented drenching natural rainfall may substitute for weekly watering.
- b. Control of competing vegetation throughout the maintenance period as necessary.
- Fertilizing, as required by soil analysis. d. Pruning, mulching, tightening of strapping, resetting of plants to proper grades or upright position.
- e. Furnishing and applying pesticides or other items necessary to thwartdamage from insects and disease. f. Providing protection measures such as fencing and interpretive signs as necessary, to prevent destruction or degradation of the planting site.
- Replacement of dead and dying trees. Survival standards contained in the State Forest Conservation Manual shall be followed for the protection and satisfactory establishment of forest where applicable.

Page 5 of 6

Page 6 of 6

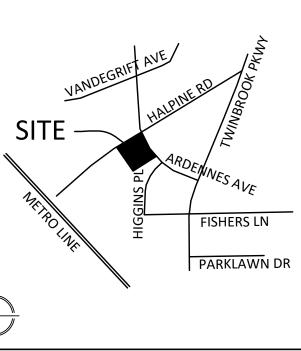
- h. Eradicate, suppress and control non-native and invasive plant species during the maintenance period to the
- satisfaction of the City Forestry Inspector. Installing and maintaining devices to protect against wildlife damage.
- j. Removal of staking and strapping after six months, or as directed by the Forestry Inspector.

NON-NATIVE INVASIVE PLANT CONTROL

- 1. The City of Rockville maintains a list of non-native and invasive plants for certain available on the City's website. The State of Maryland maintains a noxious weed list. The Permittee shall submit a Non-Native and Invasive Management Plan to the City Forestry Inspector for review and approval prior to the pre-planting meeting. Details to be included in the management
 - a. Narrative and/or plan stating the location, type and amount of non-native and invasive plants present on the site.
 - b. Proposed treatment measures and methods of control by plant type.

f. Copies of contractor certifications/pesticide licenses.

- Timing and frequency of treatments by plant type. d. Plan for seeding and/or re-planting following management/eradication treatment.
- e. Proposed signage type and locations for installing herbicide application notification signs.
- 2. Contractor is responsible for complying with MDE, EPA and other government agency regulations as well as obtaining proper permits from these agencies as applicable. The Forestry inspector must be notified 48 hours in advance prior to commencing any and all treatments.
- 3. The Forestry Inspector will perform periodic inspections of the non-native and invasive treatments throughout the warranty and maintenance period. The applicant may be required to submit proof of treatment.



VICINITY MAP SCALE: 1" = 2000'

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS PLANNER, CIVIL ENGINEER

20251 Century Blvd., Suite 400

Our Site Set on the Future.

Germantown, MD 20874

301.916.4100 | vika.com

PREPARED FOR:

SUITE 1000

DAVID DeMARCO

703.934.9367

FAIRFAX, VA 22031

PULTE HOME

COMPANY, LLC

9302 LEE HIGHWAY

VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN MD, 20874 301.916.4100 CONTACT: MICHAEL GOODMAN, PE

ATTORNEY LERCH, EARLY & BREWER, CHTD.

7600 WISCONSIN AVE, SUITE 700 BETHESDA, MD 20814 301.986.1300 CONTACT: PATRICIA HARRIS TRAFFIC ENGINEER **GOROVE SLADE**

WASHINGTON, DC 20036

CONTACT: WILL ZEID

202.296.8625

1140 CONNECTICUT AVE NW, SUITE 1010

REVISIONS

ROAD

CITY OF ROCKVILLE MONTGOMERY COUNTY, MARYLAND WSSC GRID: 216NW06 TAX MAP: GQ63

FINAL FOREST **CONSERVATION**

PROFESSIONAL SEAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITEC NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE No.: 3275 EXPIRATION DATE: 11/17/2024

DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIK MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR VIOLATIONS MAY RESULT IN PROSECUTION. ONLY

DRAWN BY: <u>EJS</u> DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

NOT FOR CONSTRUCTION "FOR LOCATION OF UTILITIES CALL



Community Planning & Development Services Received December 15, 2023

shows the following: Soil pH is between 5.5 and 7

4. The soil texture is sandy loam or loam

7. The soluble salt content is less than 3 dS/m 8. Consult the University of Maryland Extension website: http://extension.umd.edu/ for a listing of

a. Plant quality.

be no recent pruning).

f. Sound graft union. g. Free of girdling roots, or the ability to remove girdling roots without damaging the tree.

a. Root flare no higher than 3 inches from existing grade. b. Exposed root flare (not graft); removing more than several inches of soil to expose the root flare may result in the

c. Wire baskets/twine/burlap removed from at least the top half of root ball, or as directed by Forestry Inspector. d. All burlap or twine removed completely.

g. Mulched properly, per City planting detail.

7. Trees not complying with the above requirements may be rejected at the discretion of the City Forestry Inspector.

9. DEFINITIONS

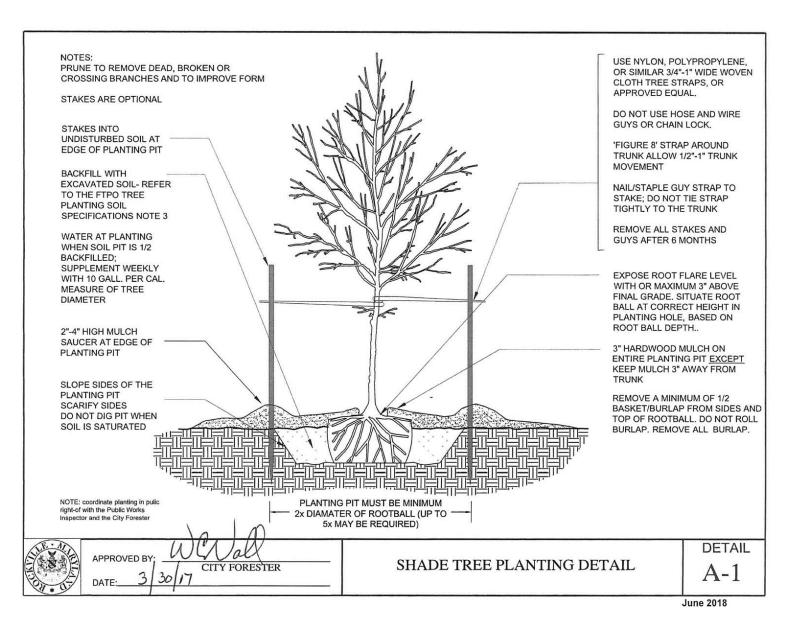
i. Soil can be considered topsoil if it originates from an A horizon of a natural soil or is a mineral soil with 4soils for the site, or as specified by the City Forestry Division. The city Forestry Division will specify a LOAM texture in the absence of native conditions listed above. Blended soils shall not be used unless specified by

Page 4 of 6

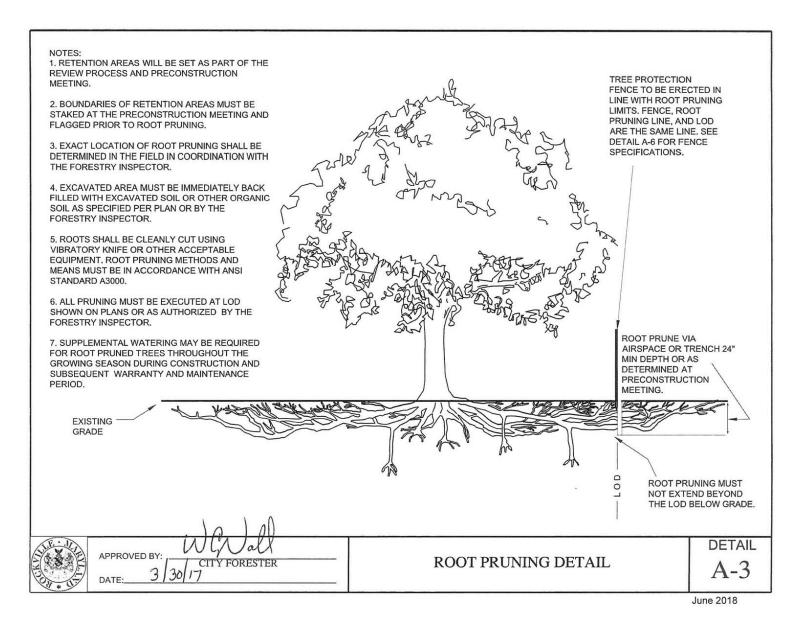
LAYOUT: FFCP-5, Plotted By: stebbins

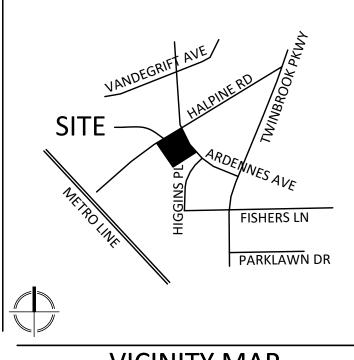
APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

PROJECT VM50639A

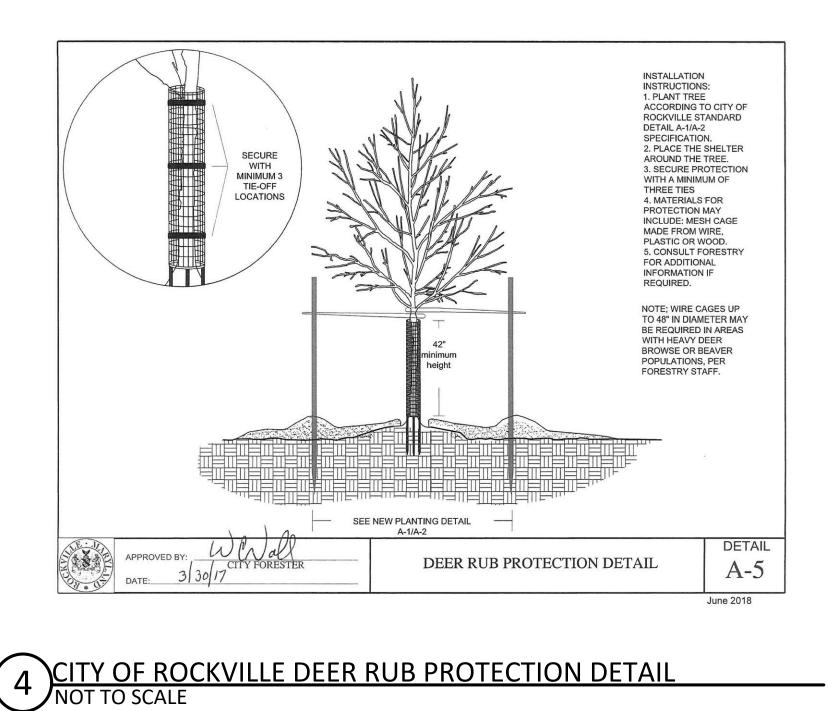


USE NYLON, POLYPROPYLENE PRUNE TO REMOVE DEAD, BROKEN OR OR SIMILAR 3/4"-1" WIDE WOVEN CROSSING BRANCHES AND TO IMPROVE FORM CLOTH TREE STRAPS, OR APPROVED EQUAL. STAKES ARE OPTIONAL DO NOT USE HOSE AND WIRE GUYS OR CHAIN LOCK. STAKES INTO UNDISTURBED SOIL AT 'FIGURE 8' STRAP AROUND EDGE OF PLANTING PIT TRUNK ALLOW 1/2"-1" TRUNK MOVEMENT BACKFILL WITH EXCAVATED SOIL, REFER NAIL/STAPLE GUY STRAP TO TO THE FTPO TREE STAKE: DO NOT TIE STRAF PLANTING SOIL TIGHTLY TO THE TRUNK SPECIFICATIONS NOTE 3 REMOVE ALL STAKES AND WATER AT PLANTING **GUYS AFTER 6 MONTHS** WHEN SOIL PIT IS 1/2 BACKFILLED; SUPPLEMENT WEEKLY EXPOSE ROOT FLARE LEVEL WITH OR MAXIMUM 3" ABOVE MEASURE OF TREE FINAL GRADE. SITUATE ROOT DIAMETER BALL AT CORRECT HEIGHT IN PLANTING HOLE, BASED ON ROOT BALL DEPTH.. 2"-4" HIGH MULCH SAUCER AT EDGE OF 3" HARDWOOD MULCH ON PLANTING PIT ENTIRE PLANTING PIT EXCEPT KEEP MULCH 3" AWAY FROM SLOPE SIDES OF THE REMOVE A MINIMUM OF 1/2 SCARIFY SIDES BASKET/BURLAP FROM SIDES AN DO NOT DIG PIT WHEN TOP OF ROOTBALL, DO NOT ROLL SOIL IS SATURATED BURLAP, REMOVE ALL BURLAP NOTE: coordinate planting in pulic right-of with the Public Works Inspector and the City Forester PLANTING PIT MUST BE MINIMUM 2x DIAMATER OF ROOTBALL (UP TO -EVERGREEN TREE PLANTING DETAIL

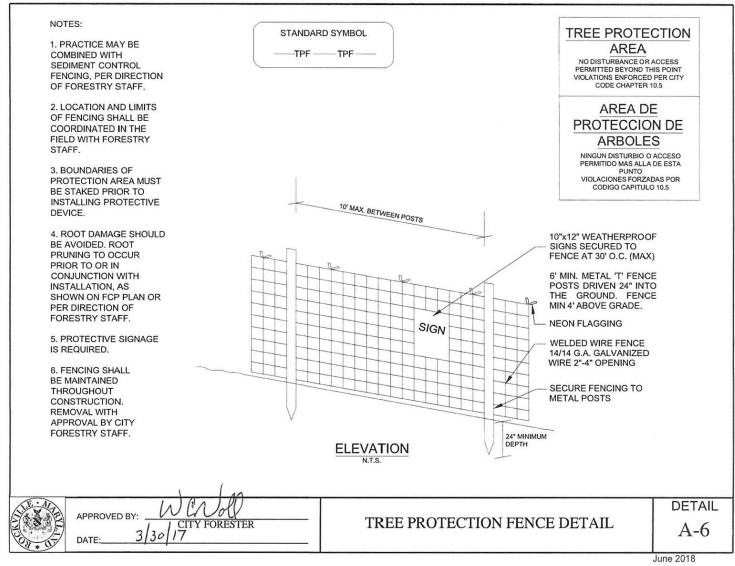




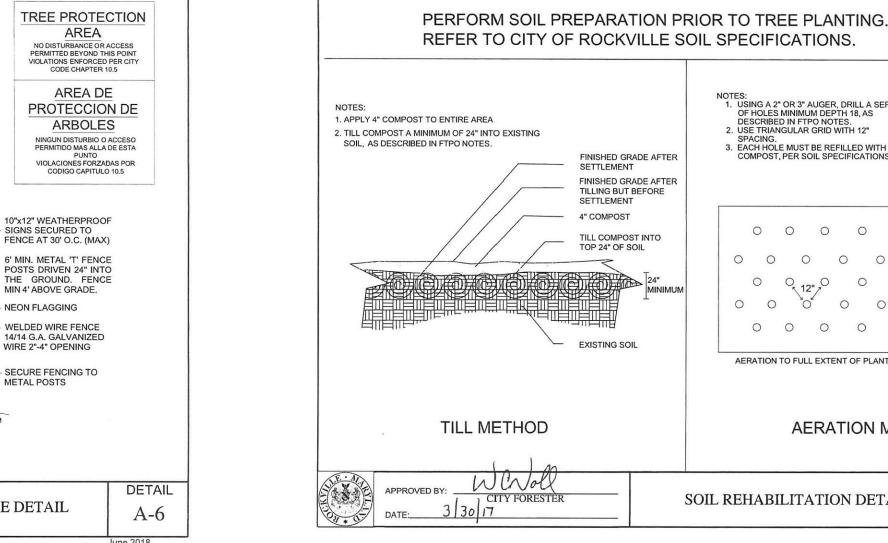
CITY OF ROCKVILLE SHADE TREE PLANTING DETAIL



CITY OF ROCKVILLE EVERGREEN TREE PLANTING DETAIL



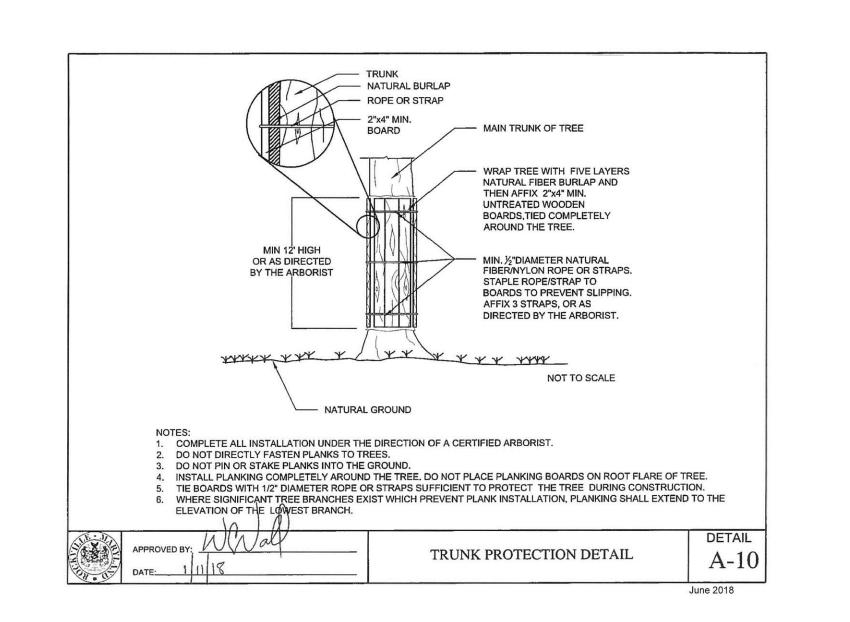
NOTE: SILT FENCE MAY BE USED AS TSF IF IT IS SSF. CITY OF ROCKVILLE TREE PROTECTION FENCE DETAIL



CITY OF ROCKVILLE SOIL REHABILITATION DETAIL

USING A 2" OR 3" AUGER, DRILL A SERIES OF HOLES IN THE SOIL TO A DEPTH OF 18-24 INCHES. BEGIN AT THE EDGE OF THE STRUCTURAL ROOT ZONE (*). DRILL HOLES IN CONCENTRIC CIRCLES AT 8-12 INCH -INTERVALS, AS DIRECTED BY FORESTRY STAFF. AERATION MUST EXTEND AT LEAST 10' FROM STARTING EACH HOLE MUST BE REFILLED WITH MATURE COMPOST, PER SOIL SPECIFICATIONS. A TREE-CARE SPECIALIST MAY RECOMMEND ALTERNATIVE METHODS PRESSURIZED WATER, RADIAL TRENCHING, OR OTHER, TO IMPROVE ESTABLISHED TREE SOIL AERATION. (SIZE VARIES) EDGE OF STRUCTURAL ROOT ZONE (*) CONSULT AN ISA CERTIFIED ARBORIST TO DETERMINE THE EXTENT OF THE STRUCTURAL ROOT ZONE ESTABLISHED TREE SOIL AERATION DETAIL A-8

CITY OF ROCKVILLE TREE SOIL AERATION DETAIL NOT TO SCALE

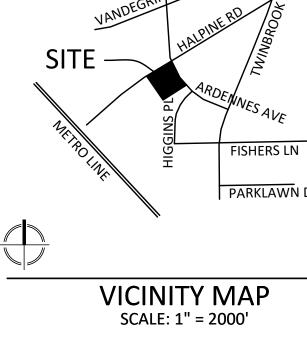


CITY OF ROCKVILLE TREE TRUNK PROTECTION DETAIL

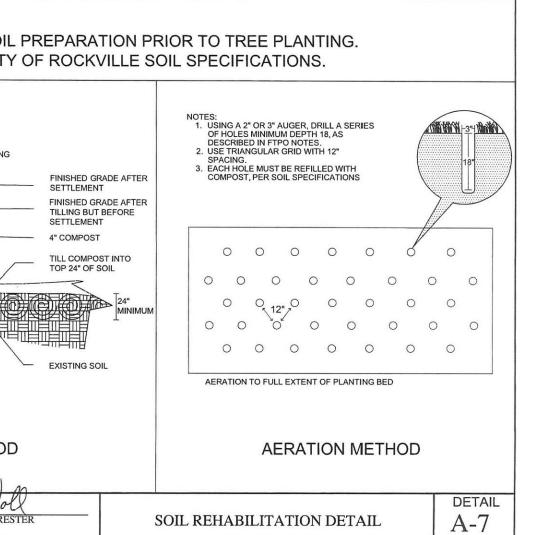
NOT FOR CONSTRUCTION



Community Planning & Development Services Received December 15, 2023



CITY OF ROCKVILLE ROOT PRUNING DETAIL



FINAL FOREST CONSERVATION DETAILS

20251 Century Blvd., Suite 400

Our Site Set on the Future.

Germantown, MD 20874

301.916.4100 | vika.com

PREPARED FOR:

SUITE 1000

DAVID DeMARCO

703.934.9367

SUITE 400

301.916.4100

ATTORNEY

CHTD.

FAIRFAX, VA 22031

PULTE HOME

COMPANY, LLC

9302 LEE HIGHWAY

David.DeMarco@PulteGroup.com

DESIGN CONSULTANTS

PLANNER, CIVIL ENGINEER VIKA MARYLAND, LLC 20251 CENTURY BOULEVARD

CONTACT: MICHAEL GOODMAN, PE

LERCH, EARLY & BREWER,

1140 CONNECTICUT AVE NW, SUITE 1010

HALPINE

ROAD

CITY OF ROCKVILLE

MONTGOMERY COUNTY

MARYLAND

WSSC GRID: 216NW06

TAX MAP: GQ63

7600 WISCONSIN AVE, SUITE 700

BETHESDA, MD 20814 301.986.1300

CONTACT: PATRICIA HARRIS

TRAFFIC ENGINEER GOROVE SLADE

WASHINGTON, DC 20036

202.296.8625 CONTACT: WILL ZEID

REVISIONS

GERMANTOWN MD, 20874



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. NAME: ERIC JUSTIN SCHLATTER, ASLA, PLA LICENSE No.: 3275 EXPIRATION DATE: 11/17/2024

DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS
MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: <u>EJS</u> DESIGNED BY: MBG DATE ISSUED: <u>12/01/2023</u>

PROJECT VM50639A

SHEET NO. FFCP-6

LAYOUT: FFCP-6, Plotted By: stebbins