



111 Maryland Avenue | Rockville, Maryland 20850-2364 | 240-314-5000
www.rockvillemd.gov

Development Review Comments

November 7, 2023

PAM2024-00152

Submission Review Comments

622 Hungerford Drive – Washington Square

The following are Development Review comments from City of Rockville staff related to the project submission.

Reviewing Staff

Community Planning & Development Services (CPDS)

Project Manager:

Chris Davis (CRD), Senior Planner
cdavis@rockvillemd.gov

Comprehensive Planning:

Jane Lyons-Raeder (JL), Principal Planner
jltraeder@rockvillemd.gov

Forestry Reviewer:

Shayda Musavi (SM), Principal Planner,
Landscape Architect
smusavi@rockvillemd.gov

Fire Reviewers:

Shannon Patrick (SP), Fire Protection
Engineer
spatrick@rockvillemd.gov

Charles Biggus (CB), Fire Plans Examiner
cbiggus@rockvillemd.gov

Building Reviewer:

Chris Dempwolf (CD), Buildings Plan
Examiner Supervisor
cdempwolf@rockvillemd.gov

Dept. of Public Works (DPW)

Engineering Reviewer:

Sean Murphy (SM), Principal Civil
Engineer
smurphy@rockvillemd.gov

Traffic and Transportation Reviewers:

Andrew Luetkemeier (AWL), Principal
Transportation Engineer
aluetkemier@rockvillemd.gov

Faramarz Mokhtari (FM), Senior
Transportation Planner
fmokhtari@rockvillemd.gov

**Housing and Community
Development (HCD)**

Housing Reviewer:

Punam Thukral (PT), Housing Specialist
pthukral@rockvillemd.gov

**Dept. of Recreation and Parks
(RPD)**

Parks Reviewer:

Christine Henry (CH), Deputy Director
chenry@rockvillemd.gov

**Publicly Accessible Art in Private
Development (AIPD) Reviewer:**

Karyn Miller (KM), Arts, Culture, and
Historic Program Manager
kmiller@rockvillemd.gov

CPDS Comments

Development & Zoning (CRD)

1. The purpose of a Pre-Application Meeting (PAM) with the Development Review Committee (DRC) is not to approve/disapprove aspects of a development plan. It is a meeting that provides an early opportunity for City Staff to give general advice to an applicant in the preparation of a site plan, project plan, or special exception, to discuss the application process and schedule going forward, and to address any concerns raised by the community. Staff strives to identify major issues but does not perform a full and complete review for compliance with all aspects of the code, which is done at the application phase.
 - a. The subject site is currently designated as Office Commercial Residential Mix land use by the Comprehensive Plan and is zoned MXNC (Mixed-Use Neighborhood Commercial).
 - b. 48 two-over-two condominium units are proposed.
 - c. Per Sec. 25.13.03 (Land use Tables), "Dwelling, multiple unit," is a permitted use in the MXNC zone.
2. Per Sec. 25.07.02, the proposed development appears to have a point valuation of 7, as shown below:
 - a. Tract size of 1.1 to 2.5 acres = 2
 - b. 6 to 50 dwelling units = 2
 - c. No non-residential space = 0
 - d. Residential Impact Area = 2¹
 - e. Traffic Impact of fewer than 30 trips = 1
 - f. Points Total = 7
3. Land Use Planning Process:
 - a. A Level 2 Site Plan application, per Sec. 25.14.07.f (Site Plan Required) and Article 7 (Procedures for Site Plans) is required following finalization of PAM2024-00152. This application requires the following:
 - i. A valid approved Natural Resources Inventory (NRI) and Forest Stand Delineation (FSD) plan as set forth in the City's Environmental Guidelines.
 - b. Following approval of the Level 2 Site Plan application, a "signature set" will be required for final approval.
 - c. Any site which contemplates demolition of an existing building(s) must first file and received approval of an Evaluation of Significance application with Historic District Commission (HDC) prior to any demolition occurring.
4. Land Use Review Timelines:

¹ Estimated using GIS

- a. Level 2 Site Plan: initial submittal review is 6 weeks; subsequent reviews are 3-4 weeks; final submittal due 5 weeks before the initial Planning Commission hearing.
 - b. Level 2 Site Plan Signature Set: initial submittal review is 2 weeks; subsequent reviews are 1-2 weeks.
 - c. Total typical review timeline is highly variable depending on applicant submittal timelines and responsiveness to City comments and requests.
5. The Zoning Ordinance Rewrite (ZOR) project is underway and is anticipated to be adopted and become effective in Fall 2025. This project is expected to revise a number of zoning and use standards across the city.
 6. As established in the mixed-use zone design guidelines (Sec. 25.13.06.c.6, *central features and community spaces*), developments should provide attractive and inviting pedestrian scale features, spaces, and amenities. Special design features such as towers, arcades, porticos, light fixtures, planter walls, seating areas, and other architectural features that define circulation paths and outdoor spaces should anchor pedestrian ways. Examples are outdoor plazas, patios, and courtyards. Each development should have at least two (2) of these areas. It is unclear to staff of how any of these features are being included in the submitted project and should be clarified.

At the time of site plan submittal, please provide a description of the proposed amenities and how the project will address the mixed-use design guidelines, including the noted items above.

7. See plan markups for additional comments.

Comprehensive Planning (JL)

1. This application is compliant with the City's Comprehensive Plan. The application is located within Planning Area 1 (Town Center). Several elements of the project application are compliant with goals, policies, and actions outlined in land use, housing, and Planning Area 1 chapters of the Comprehensive Plan. These compatibilities are:
 - a. "Continue to develop Town Center as a major activity center with areas of new office, residential, arts, culture, civic, and commercial development within an easy walk or bike to the Rockville transit station." page 30
 - b. "Foster sufficient market-rate housing development to provide housing affordable for the wide range of those who live, and wish to live, in Rockville." page 193
 - c. "Allow new housing in locations where amenities and infrastructure already exist, and that are compatible with the existing neighborhood." page 200
 - d. "Accommodate a variety of densities and scales of development that are sensitive to an urban neighborhood environment and the demands of the marketplace." page 255

- e. "Increase the number of residents and housing density in Town Center, to provide additional housing options for residents across the full range of income levels and to provide additional demand for the commercial uses in this mixed-use environment." page 263

Forestry (SM)

1. Please see comments on plans.

Fire (CB)

1. Please see comments on plans.

Building (CD)

1. No comments.

DPW Comments

Engineering (SM)

1. See comments on plans.

Traffic and Transportation (AWL/FM)

1. Please see site plan markups for specific comments.
2. Please update the Scoping Intake Form per the email from city staff to Lenhart Traffic Consulting staff on 9/12/23.
3. Please submit an on site transportation report in accordance with the city's Comprehensive Transportation Review (CTR). Please ensure that it includes thorough discussion of all elements listed in the CTR. In addition, please provide additional analysis for the projected traffic queue along the SB approach of MD 355 at the intersection with N. Washington Street, and provide a U turn analysis for all site generated traffic oriented to points north of the site.
4. Please pay Scoping Intake Fee (\$200) and on site transportation report fee (\$1,000).

HCD Comments

Housing (PT)

1. The applicant is proposing the construction of 48 two over two condominiums units, this project doesn't require to comply with MPDU regulations chapter 13.5.

RPD Comments

Parks (CH)

1. Publicly Accessible Art in Private Development ordinance will apply to this project.

Link to ordinance, manual, and application:

<https://www.rockvillemd.gov/2081/Publicly-Accessible-Art>

Note: At the time of the next submittal, the applicant will need to provide a point-by-point response letter noting how the staff review comments have been addressed. Comments provided in letter format can be addressed in letter format. Comments provided on the plans should be addressed via plan markups rather than letter format. See attached example.

LEGEND (TYPICAL ALL SHEETS)

PROPOSED

- PROPOSED PROPERTY BOUNDARY
PROPOSED BUILDING
PROPOSED CONTOURS
PROPOSED CURB & GUTTER
PROPOSED EDGE OF PAVEMENT
PROPOSED SANITARY SEWER
PROPOSED WATER
PROPOSED CABLE T.V.
PROPOSED GAS LINE
PROPOSED TELEPHONE
PROPOSED FIBER OPTIC
PROPOSED ELECTRIC
PROPOSED LIMIT OF DISTURBANCE
PROPOSED SEWER MANHOLE
PROPOSED WATER VALVE
PROPOSED SIAMESE CONNECTION
PROPOSED FIRE HYDRANT
PROPOSED STREET LIGHTS
PROPOSED LEAN RAIL
PROPOSED WASTE RECEPTACLE
PROPOSED BIKE RACK

EXISTING

- BOUNDARY LINE
R/W DEDICATION
EXISTING CONTOURS
EXISTING TREELINE
EXISTING BUILDING
EXISTING CURB & GUTTER
EXISTING EDGE OF PAVEMENT
EXISTING STORM DRAIN
EXISTING SANITARY SEWER
EXISTING WATER LINE
EXISTING CABLE T.V.
EXISTING GAS
EXISTING TELEPHONE
EXISTING ELECTRIC
EXISTING TRAFFIC SIGNAL
EXISTING OVERHEAD ELECTRIC
EXISTING TRAFFIC SIGNAL
EXISTING UTILITY POLE
EXISTING PEPCO POLE
EXISTING GUY WIRE
EXISTING LAMP POST
EXISTING LIGHT POLE
EXISTING ELECTRIC ACCESS PANEL
EXISTING ELECTRIC MANHOLE
EXISTING TELEPHONE MANHOLE
EXISTING STORM DRAIN MANHOLE
EXISTING SANITARY MANHOLE
EXISTING WATER MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER METER
EXISTING TELEPHONE VAULT
EXISTING ELECTRIC VAULT
EXISTING FIBER OPTIC
EXISTING PLANTING PITS
EXISTING STORM DRAIN STRUCTURE
EXISTING GAS VALVE
EXISTING WATER VALVE

WASHINGTON SQUARE
PRE-APPLICATION SITE PLAN
CITY OF ROCKVILLE, MARYLAND



General Forestry comments:

Staff anticipates that a Forest Conservation Plan (FCP) will be required for this site, including Forest Conservation, Minimum Tree Cover, and Significant Tree Replacement requirements. Please refer to Chapter 10.5 Forest and Tree Preservation Ordinance and the Forest Conservation Manual for details.

As of 11/7/2023, CPDS has not received an FCP submittal. Please note that based on the current proposed layout, staff anticipates that it may be a challenge to meet on-site planting requirements.

Please confirm in response to staff comments that applicant is not proposing any new public right of way. Please also confirm that there are no individual lots of record as part of this project.

Sheet List Table

Sheet Number	Sheet Title
Pre-Application Site Plan	
PSP-00	Cover Sheet
PSP-01	Existing Condition
PSP-02	Concept Plan
PSP-03	Open Area & Public Use Space
Architecture Plans	
A-01	Illustrative Architecture
A-02	Arch Elevation - Front
A-03	Arch Elevation - Typ Side
A-04	Arch Elevation - Side Utility Closet
A-05	Arch Elevation - Rear
A-06	Arch Floor Plans - 1 & 2
A-07	Arch Arch Floor Plans - 3 & 4
A-08	Arch Floor Plan - Roof
Support Exhibits	
EXB-01	Fire Access Plan
EXB-02	Circulation Plan
EXB-03	Garbage Truck Movement
SWM Concept Plans	
SWM-01	SWM Cover Sheet
SWM-02	SWM Concept Plan
SWM-03	Existing DA Map
SWM-04	Proposed DA Map
SWM-05	SWM Details
EXB-01	Forestry-SWM Overlay
NRI - FSD	
NRI-01	NRI_FSD

Single proposed record lot will not be subject to Chapter 21 and no public/private roads are required.

Staff will add a condition of approval requiring a signing and marking plan be submitted for approval with the signature set.

Signing and marking plans shall be in accordance with MUTCD.

Extinguishment of existing easements must be evidenced by recordation of a deed of termination or abandonment in the Montgomery County Land Records. Extinguishment of any easement granted to the City must be approved by the Mayor and Council of Rockville, and prior to recordation, any deed of abandonment or termination of an easement granted to the City must be reviewed and approved by DPW and must be in a form approved by the Office of the City Attorney

Provide adequate easement widths for SWM. Easement widths should be able to provide enough space to construct, maintain, and vehicle access. Widths must be able to meet OSHA excavation requirements.

Water & Sewer Authorization (WSA) must be approved prior to Site Plan approval. Submit completed Water & Sewer Authorization application with applicable fees.
a. Modeling of the new water may be necessary. DPW will coordinate with consultant who provides water system modeling services for a time/cost estimate on the work.
b. Generally dead-end water mains should be avoided.
c. The City generally follows WSSC Pipeline Design Manual for sizing, structures, clearances, crossings etc.
d. Public water and sewer mains should not be located within SWM easements.

Dry Utilities

Provide layout per ordinance 25.17.03a. All underground lines and cables shall be placed in a public utility easement, or otherwise on private property. No utilities may be placed in the public right-of-way or on City property without the express written permission of the City, and subject to such terms and conditions that the City may require.

Dry utilities may cross the ROW perpendicular
Applicant shall submit a conceptual dry utility plan to be approved by both the utility companies and DPW.

Preliminary Sediment Control Plan must be approved prior to site plan approval.

SWM Concept

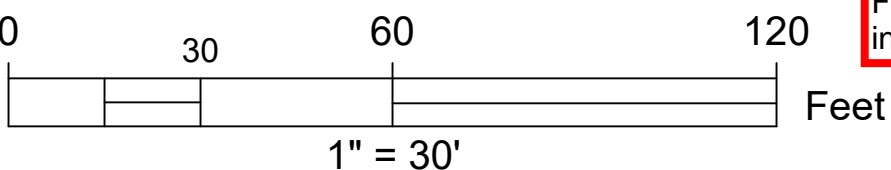
- Pre-App SWM Concept is under review.
- Pre-App SWM Concept must be approved prior to submission of the Development SWM Concept.
- Site Plan cannot be submitted until the Pre-App SWM Concept is approved.
- The Pre-App SWM Approval letter will establish the study points of the safe conveyance analysis.

•Development Stormwater Management Concept must be approved prior to site plan approval

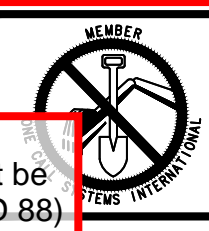
•Safe Conveyance Study must be approved prior to site plan approval. The Pre-App SWM Approval letter will establish the study points of the safe conveyance analysis. However, this analysis may be concurrent with the Development SWM Concept.

Cover Sheet

SCALE: 1" = 30'



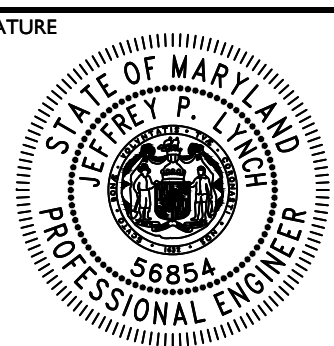
Provide Datum
Final engineering plans must be in Datum (NAD 83/91, NGVD 88)



CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

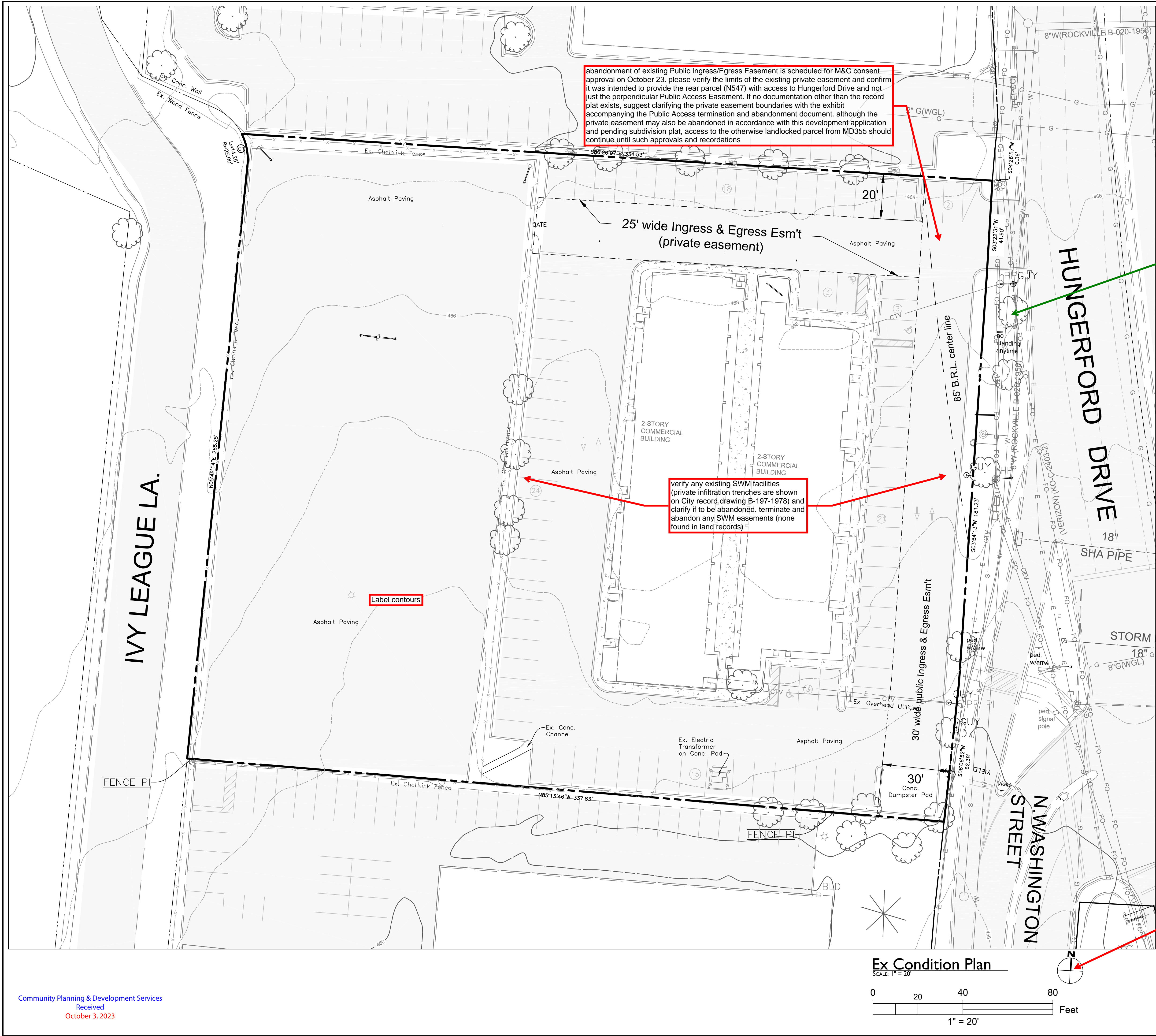
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction



ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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NOTES:

- The subject property is comprised of Parcels N547 & N548 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
- The site is \pm 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
- The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
- Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.

Curve Table						
Curve	Radius	Length	Tangent	Chord	Bearing	Delta
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W	32°39'53"

Please note that street trees along Hungerford Drive will need approval from the State Highway Association for removal

Toll Brothers
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RODGERS CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
Ph: 301.948.4700 (Plan), Fax: 301.948.6256, www.rodgers.com

DESIGN TEAM:

Owner / Developer:

Toll Brothers
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:

Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Rentfro

SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 56854, Expiration Date: 12/16/24.

WASHINGTON SQUARE

Pre-Application Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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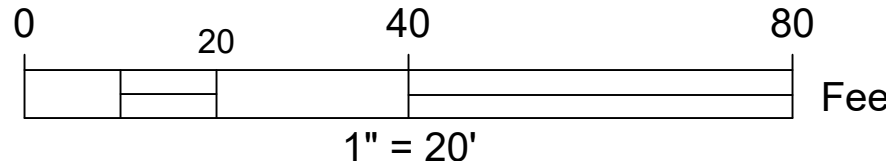
PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	1" = 20'
DRAWING TITLE	Existing Condition

DRAWING NUMBER

PSP-01

Ex Condition Plan

SCALE: 1" = 20'



Provide datum



CALL "MISS UTILITY" AT
1-800257-7777
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The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

\\msd-montgomery-city-of-rockville\washington square\autocad\plot plans\pre-application\PSP-01 Existing Condition.dwg 2023.09.29 - 05:28 PM

Sec. 24-32. - Conditions for service lines and connections.
(a) For all permit applications for a new water service under chapter 5 and/or chapter 21, each record lot, parcel, or ownership lot, shall have one (1) City water service line and City meter connecting to the City water main, except as otherwise provided in this section. For all permit applications for a new sewer service under chapter 5 and/or chapter 21, each record lot, parcel, or ownership lot shall have one (1) City sewer service line connecting to the City sewer main, except as otherwise provided in this section...

(d) Multiple buildings on one (1) record lot, parcel, or ownership lots shall comply with the following:
(1) Each building must be sub-metered separately. The sub-meter shall be owned and maintained by the property owner.
(2) For all new development and re-development, the private property owner must execute a declaration of covenants in a manner acceptable to the City. The document must:
a. Require the owner to install separate water and sewer City service lines connecting to the City water and sewer main in the event the owner seeks to create multiple lots, parcels or ownership lots.
b. Require each lot, parcel or ownership lot to be served by separate water and sewer City service lines connecting to the City water and sewer main.
c. Require each lot, parcel or ownership lot to be separately metered.
d. Be binding on all subsequent property owners of land served by the water or sewer systems.
e. Be recorded by and at the expense of the owner, in the land records of Montgomery County, prior to the issuance of a building permit unless otherwise the Director otherwise allows the recordation at another time.

if individual water service is to be internally plumbed, will sewer as well? verify building code requirements for onsite laterals

Staff strongly recommends that in providing short-term (for deliveries and loading) and visitor parking due to lack of on-street parking on Hungerford Drive and Ivy League Lane. Are the 8 on-street parking spaces intended strictly for visitor parking?

Per Sec 25.16.06.b.1.(a), parking spaces must be dimensioned at least nine (9) feet wide and eighteen (18) feet deep.

Water meters, including location and settings, shall be installed in an easement dedicated to the City, as close to the ROW/private property boundary as practicable and preferably within a grass area

private refuse collection shall be provided in accordance with Chapter 20 (Sec. 20-8 & 20-9), applicant must clarify operation, whether each unit is supplied with bins and individually collected adjacent to the driveway, or centrally collected in dumpsters. centralized collection subject to screening requirements (Sec. 25.17.02.) and location must be designated on plans. decentralized collection must not block traffic, parking or access

Per Sec. 25.16.06.c.2, driveway must be a minimum of 25' in width. Additional width may be required by Fire.

access to MD355 must be coordinated with SHA and BRT

In FCP submission, please demonstrate how impacts to off-site trees will be minimized.

On-site sidewalks must be provided between the public right of way to each entrance and must be 6' wide per Sec. 25.13.06.c.5

Clarify materials to be used for access lane

two AC units for each 2-over-2?

Per Sec. 25.13.06.b.6, mechanical equipment must be screened to mitigate noise and views in all directions.

As parking spaces for dwelling units will be accessed from these internal drive aisles, such drive aisles must be 24' wide, per Sec. 25.16.06.a.(1).(a)

Parking spaces must comply with City standards ((Sec. 25.16.06), and must be at least 9' wide and 18' deep. If driveways are to be used as required parking they must meet these dimensions.

On-site sidewalks must be 6' wide per Sec. 25.13.06.c.5

Turning movements for access and loading must be accommodated onsite. Provide turning movements from drive aisle into driveways.

provide sidewalk connection to N Washington

Per Sec. 25.16.06.h.2, maneuvering area must provide a turning radius of not less than 48'. Additional area may be required by Fire.

It is unclear how a loading truck would access and/or turn around in these spaces. Provide updated turning templates for largest expected delivery/moving vehicle (e.g., SU-30 truck)

For improved circulation, staff recommends that these two drive aisles be connected by an intervening driveway, which must be a minimum of 18' in width (Sec. 25.16.06.a.2). Minimum width required by Fire is 20'.

Provide typical lot detail demonstrating how all utilities (wet & dry) will connect to units. water meters and cleanouts cannot be in driveways

NOTES:

- The site is located in the Planned OCRM - Office Commercial Residential Mix.
- The site is located in Planning Area - Town Center I.
- The site is zoned MXNC - Mixed Use Neighborhood Commercial.
- The subject property is comprised of Parcels NS47 & NS48 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
- The site is ± 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
- The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
- Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.
- The site's water service is within the City of Rockville.
- The subject site is located within the Cabin John Creek Watershed.
- The subject site is not located within a 100-year floodplain, per FEMA FIRM Map #24031C0334D.
- There are no streams or wetlands located on or within 200 feet of the site, per site investigation by Rodgers Consulting, Inc. August 2023.
- No rare, threatened or endangered species were observed during field visits. A request for possible state/federal listed rare, threatened, or endangered species within the project area was submitted to MDNR wildlife and heritage service Sept. 2023.
- The site does not have any structures listed on the National Register for Historic Places nor does it have any MHT Preservation Easements.
- The site soils are 400-Urban Land, taken from the USDA Natural Resource Conservation Service for Montgomery County Maryland, 2014.
- There are no forest stands onsite, as defined in the Forest and Tree Preservation City Code.
- The site contains 16 significant trees, as shown on the NRI/FSD submitted as part of this pre-application site plan.

On the site plan, show the interim condition that needs to demonstrate compliance to the bikeway master plan which calls for a 10 foot wide cycle track with a separate sidewalk

Move the linework for BRT to a separate exhibit that will show the ultimate condition.

dedication of public right-of-way is required to accommodate future MD355 BRT (dashed line). a 2' buffer behind the 6' sidewalk is shown on BRT plans

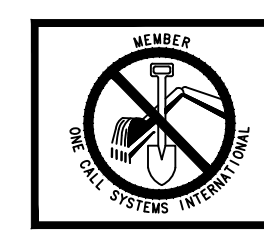
Subsequent application will be coordinated with MCDOT, SHA to verify future maintenance responsibility of MD355 sidewalk (if not private maintenance with access easement)

Curve Table					
Curve	Radius	Length	Tangent	Chord	Bearing
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W

DEVELOPMENT TABLE:

Property Information			
Zoning			MXNC
Tract Area	94,673 sq. ft.	2.17 ac.	
Proposed Dedications	0 sq. ft.	0.00 ac.	
Site Area	94,673 sq. ft.	2.17 ac.	
Development Program			
Residential Units			48
Rear Loaded Multi-Family (2 over 2)			48
MPDUs			
Less than 50 dwelling units proposed	0		0
Build-to-line - 25.13.05.a.2(d)			
Principal Arterial	Required	Proposed	n/a
	70%		
Building restriction lines & Build-to-lines - 25.17.08			
2 over 2	Required	Proposed	
	85 ft.		
Building Height - 25.13.05.b.2(c)			
2 over 2	Maximum Allowed	Proposed	
	65 ft.**		
Flat Roof			+/- 46 ft
Gable roof			+/- 52 ft
Building Setbacks - Sec 25.13.05.b.1.			
Minimum width at Front Line	Minimum Required	Proposed	
	10 ft.		
Setback abutting Right-of-Way	0 ft. or 10 ft. min. if provided	>10 ft	
	25 ft. or height of building, whichever is greater	n/a	
Side abutting Residential	0 ft. or 10 ft. min. if provided	>10 ft.	
	25 ft. or height of building, whichever is greater	n/a	
Side abutting Non-Residential	0 ft. or 10 ft. min. if provided	n/a	
	25 ft. or height of building, whichever is greater	n/a	
Rear abutting Non-Residential	0 ft. or 10 ft. min. if provided	n/a	
Open Space - Sec 25.13.05.b.2.(c)			
Open Area (includes Public Use Space)	Minimum Required*	Proposed	
	15%	14,201 sq. ft.	27% 25,958 sq. ft.
Public Use Space	10%	9,468 sq. ft.	17% 16,336 sq. ft.
Parking - Sec 25.16.09(d)			
2 over 2, 48 rear load units (2 per unit)	Minimum Required	Proposed	
	96	103	
Excess / Visitor Parking			
On-Street Parking			8 spaces
Accessible Parking			
Townhomes	Minimum Required	Proposed	
	1	1	
Bicycle Parking			
Short term Parking	Minimum Required	Proposed	
	0		

* MXNC zone. Building height may be increased up to a maximum of sixty-five (65) feet in accordance with the plan, if the plan makes no other recommendation, development between forty-five (45) feet and sixty-five (65) feet must provide fifteen (15) percent open area, of which



CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start of Construction

8 shown

Confirm if bicycle parking is proposed.

note incomplete?

PROJECT NUMBER 0696R
DATE 2023.09.29
SCALE 1" = 20'
DRAWING TITLE
Concept Plan

DRAWING NUMBER
2023.09.29 - 05:25 PM

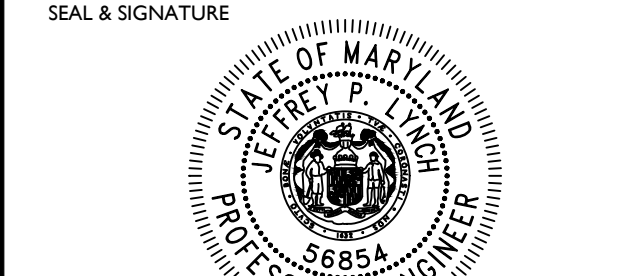
PSP-02

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Ph: 301.948.4700 (Main), Fax: 301.948.6256, www.rodgers.com

DESIGN TEAM:
Owner / Developer:
Toll Brothers
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Land Planning / Landscape Architect / Civil Engineer:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Renfro

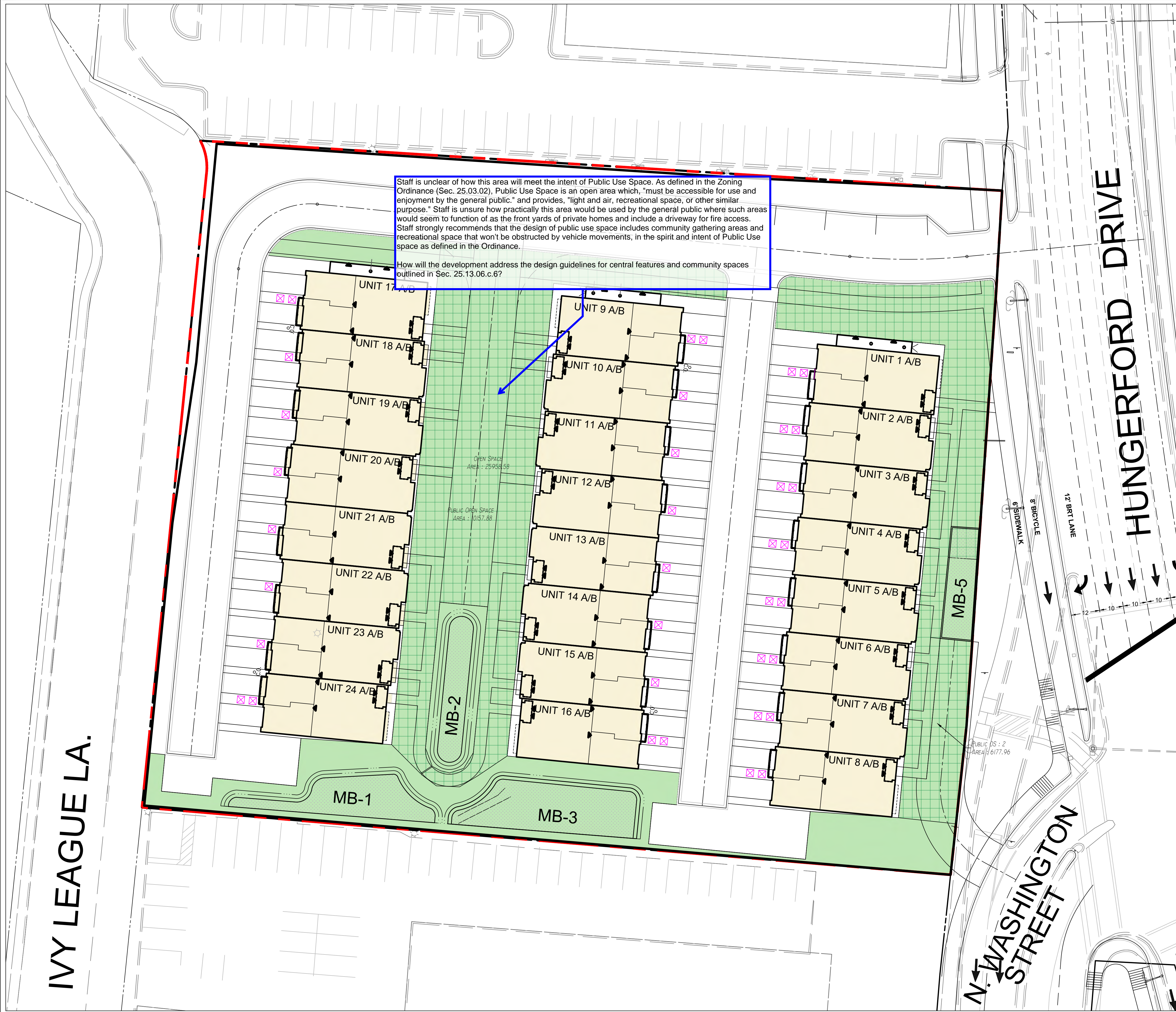


PROFESSIONAL CERTIFICATION
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WASHINGTON SQUARE
Pre-Application Site Plan
Confirm the proposed building setback from Hungerford Drive centerline.
Typo
WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE
2/ Narrative indicates 2 spaces per unit; if this includes the 8 on-street spaces then the total is 104

REVISIONS
NO DATE DESCRIPTION



Staff is unclear of how this area will meet the intent of Public Use Space. As defined in the Zoning Ordinance (Sec. 25.03.02), Public Use Space is an open area which, "must be accessible for use and enjoyment by the general public," and provides, "light and air, recreational space, or other similar purpose." Staff is unsure how practically this area would be used by the general public where such areas would seem to function of as the front yards of private homes and include a driveway for fire access. Staff strongly recommends that the design of public use space includes community gathering areas and recreational space that won't be obstructed by vehicle movements, in the spirit and intent of Public Use space as defined in the Ordinance.

How will the development address the design guidelines for central features and community spaces outlined in Sec. 25.13.06.c.6?

LEGEND

Open Area

Public Use Space

Subject Site Property Line

Open Space - Sec 25.13.05.b.2 (c)	Minimum Required*		Proposed	
Open Area (includes Public Use Space)	15%	14,201 sq.ft.	27%	25,958 sq.ft.
Public Use Space	10%	9,468 sq.ft.	17%	16,336 sq.ft.

* MXNC zone. Building height may be increased up to a maximum of sixty-five (65) feet in accordance with the plan. If the plan makes no other recommendation, development between forty-five (45) feet and sixty-five (65) feet must provide fifteen (15) percent open area, of which ten (10) percent must be public use space.

Submit a fire protection site plan

Where drive aisle exceed 150 ft you will need fire dept. vehicle turn around. COR, 18.2.3.5.3.2.

If you plan to have parking on one side drive aisles need to be 28ft.

We would like to see multiple access points into the project. More than one fire department access road shall be provided if access by a single access road could be impaired by vehicle congestion, condition of terrain, climatic conditions or other factors. Permit and Inspection Services shall make the final determination for the necessity of additional Fire department Access Roads. NFPA 1, 18.2.3.3.

Show all existing and proposed hydrants. NFPA 1, 18.1.3.2.

Provide calculations showing the required fire flows, per NFPA 1, Section 18.4. and documentation providing the anticipated fire flow provided on-site. NFPA 1, Table: 18.4.5.2.1.

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DESIGN TEAM:
Owner / Developer:
Toll Brothers
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:
Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

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SEAL & SIGNATURE

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WASHINGTON SQUARE

Pre-Application Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE: 2023.09.29

DESCRIPTION: Initial Submission

REVISIONS NO. DATE DESCRIPTION

PROJECT NUMBER: 0696R

DATE: 2023.09.29

SCALE: 1" = 20'

DRAWING TITLE: Open Area & Public Use Space

DRAWING NUMBER: PSP-03

Open Area - Public Use

SCALE: 1" = 20'

0 20 40 80

Feet

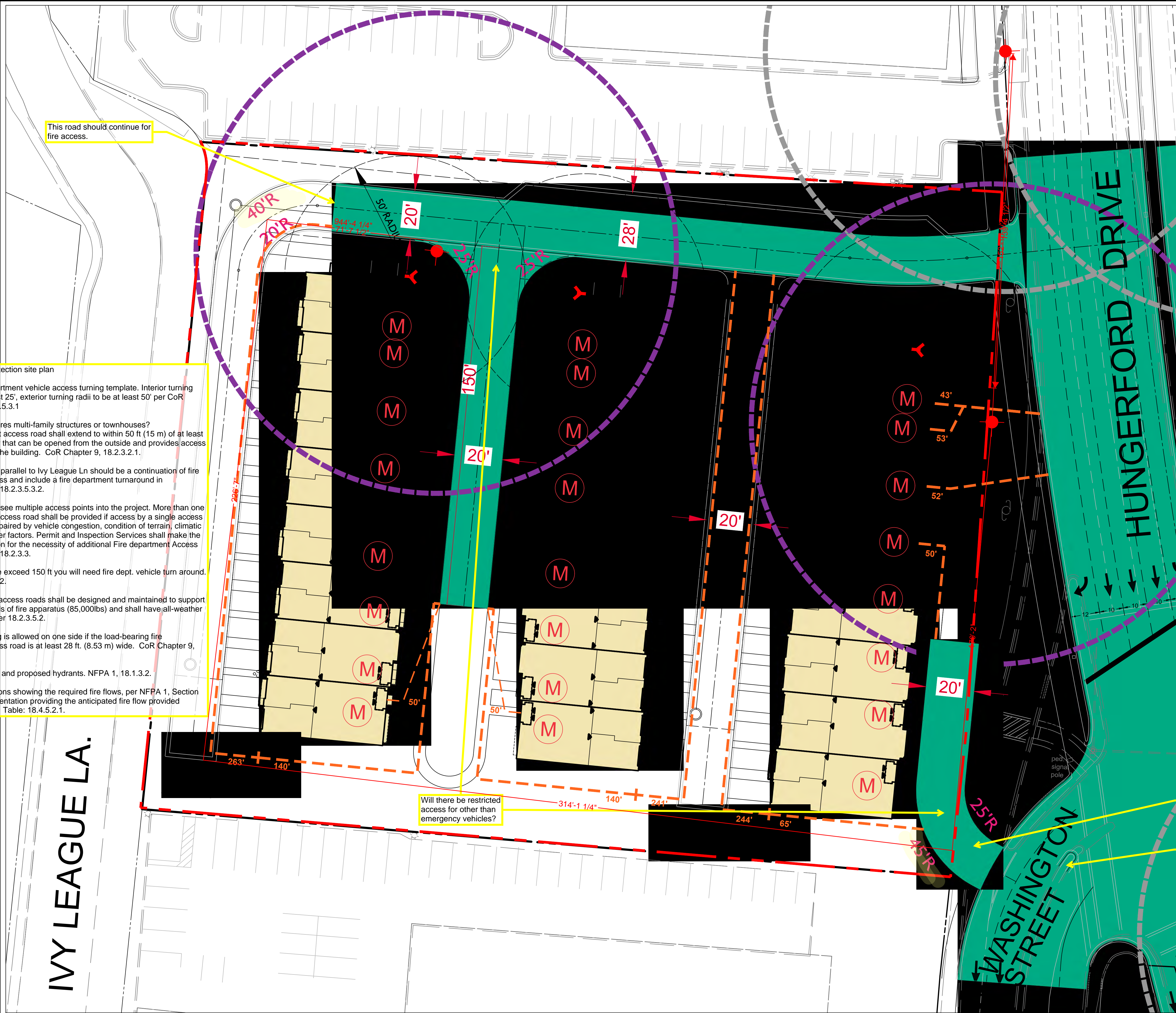
1" = 20'

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

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This road should continue for fire access.

Submit a fire protection site plan

Provide fire department vehicle access turning template. Interior turning radii to be at least 25', exterior turning radii to be at least 50' per CoR Chapter 9 18.2.3.5.3.1

Are these structures multi-family structures or townhouses?
A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and provides access to the interior of the building. CoR Chapter 9, 18.2.3.2.1.

Roadway shown parallel to Ivy League Ln should be a continuation of fire department access and include a fire department turnaround in accordance with 18.2.3.5.3.2.

We would like to see multiple access points into the project. More than one fire department access road shall be provided if access by a single access road could be impaired by vehicle congestion, condition of terrain, climatic conditions or other factors. Permit and Inspection Services shall make the final determination for the necessity of additional Fire department Access Roads. NFPA 1, 18.2.3.3.

Where drive aisle exceed 150 ft you will need fire dept. vehicle turn around. COR, 18.2.3.5.3.2.

Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (85,000lbs) and shall have all-weather driving surface per 18.2.3.5.2.

On-street parking is allowed on one side if the load-bearing fire department access road is at least 28 ft. (8.53 m) wide. CoR Chapter 9, 18.2.3.5.1.1.1

Show all existing and proposed hydrants. NFPA 1, 18.1.3.2.

Provide calculations showing the required fire flows, per NFPA 1, Section 18.4. and documentation providing the anticipated fire flow provided on-site. NFPA 1, Table: 18.4.5.2.1.

LEGEND

Existing Fire Hydrant

Proposed Fire Hydrant

FDC Location

Main Side Hinge Door

Fire Control Center

Travel Directional Arrow

Fire Access Route

Proposed Building

Subject Site Property Line

Hose Pull

Interior Fire Access Route

Fire Fighter Access Route

Primary Egress

Secondary Egress

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WASHINGTON SQUARE
Pre-Application Site Plan
Fire Access Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DATE	DESCRIPTION
1	2023.09.29	Initial Submission
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PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	1" = 20'
DRAWING TITLE	Fire Access Plan

EXB-01



LEGEND

	Vehicular
	Pedestrian

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WASHINGTON SQUARE
Pre-Application Site Plan
Support Exhibit

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	1" = 20'
DRAWING TITLE	Circulation Plan

DRAWING NUMBER **EXB-02**
2023.09.29 - 05:17 PM

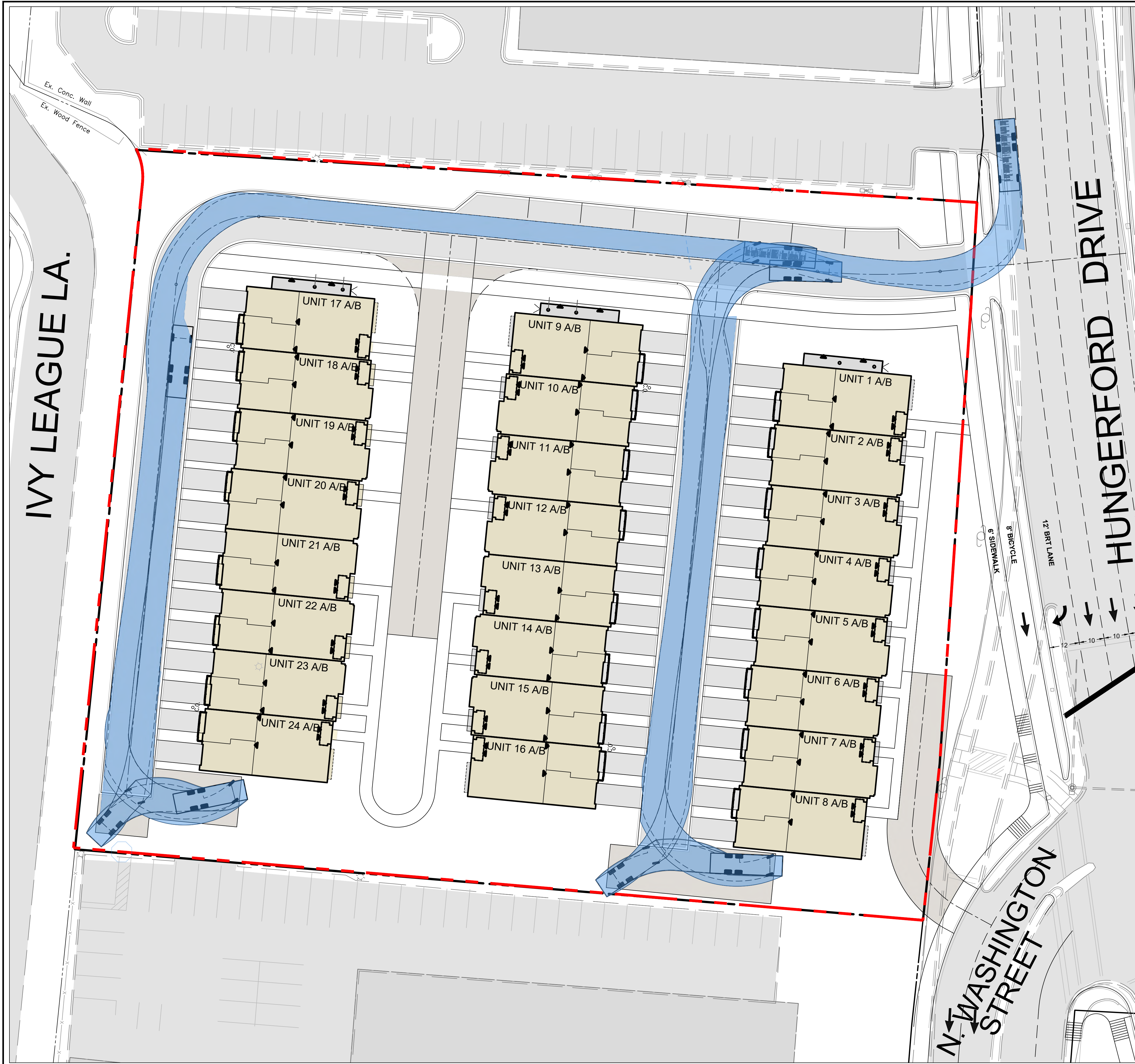
Circulation Plan
SCALE: 1" = 20'

1" = 20'

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

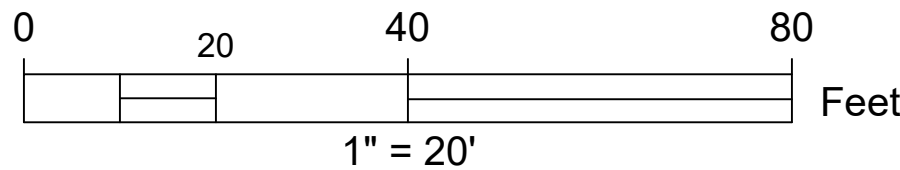
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Preliminary Not For Construction

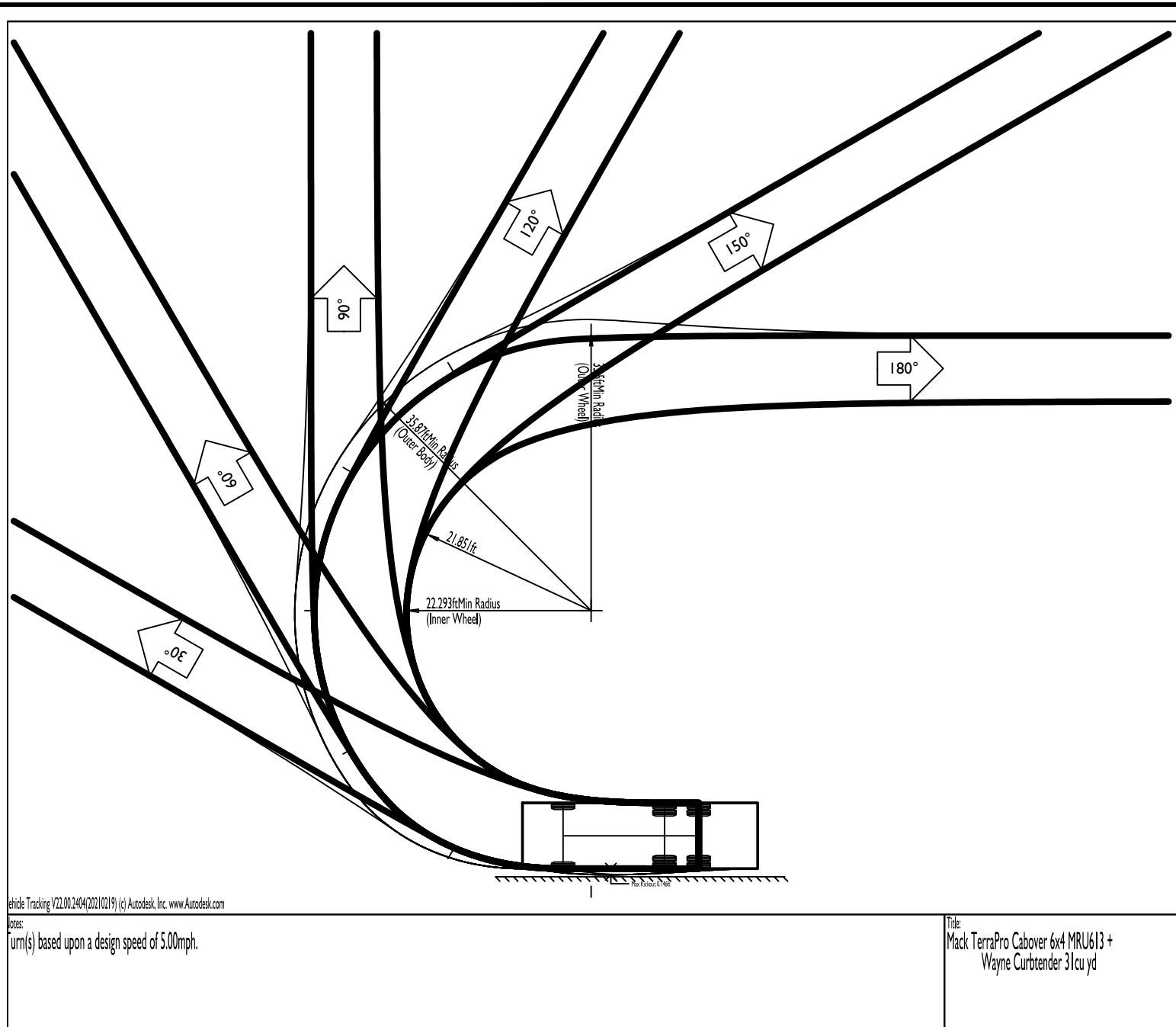


Garbage Truck Movement

SCALE: 1" = 20'



Community Planning & Development Services
Received
October 3, 2023



Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd

Overall Length	28.613ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.31ft
Track Width	8.000ft
Lock-to-lock time	9.00s
Curb to Curb Turning Radius	33.500ft

confirm condo apartments to be served by private refuse collection

 CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

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WASHINGTON SQUARE
Pre-Application Site Plan
Support Exhibit

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER 0696R

DATE 2023.09.29

SCALE 1" = 20'

DRAWING TITLE

Garbage Truck

Movement

DRAWING NUMBER

EXB-03

Notes are for informational purposes. Compliance with Sec. 25.13.05, 25.13.06, and 25.13.07 will be reviewed at the time of site plan review.

Note: Per Sec. 25.13.03.b.2, roof design should provide variations in rooflines where appropriate and add interest to, and reduce the massive scale of, large buildings. Roof features should complement the architectural and visual character of adjoining neighborhoods. Roofs should include two (2) or more roof planes. Parapet walls should be architecturally treated to avoid a plain, monotonous look. For energy-saving purposes, roof design should also include a light color surface or be planted with vegetation.

Note: Per Sec. 25.13.05.c.2, areas of a building originally designed for residential use at the ground floor level, having individual entries to the units, should have the entry from the ground level raised at least two (2) feet, or have another form of demarcation between the public sidewalk and the private entry. In order to be readily convertible to retail space, such areas must have a minimum ceiling height of fifteen (15) feet.

Typo

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WASHINGTON SQUARE

Pre-Application Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

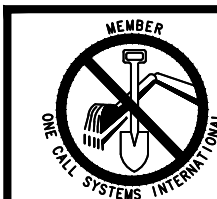
ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission
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REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	NTS
DRAWING TITLE	Illustrative Architecture

DRAWING NUMBER

A-01

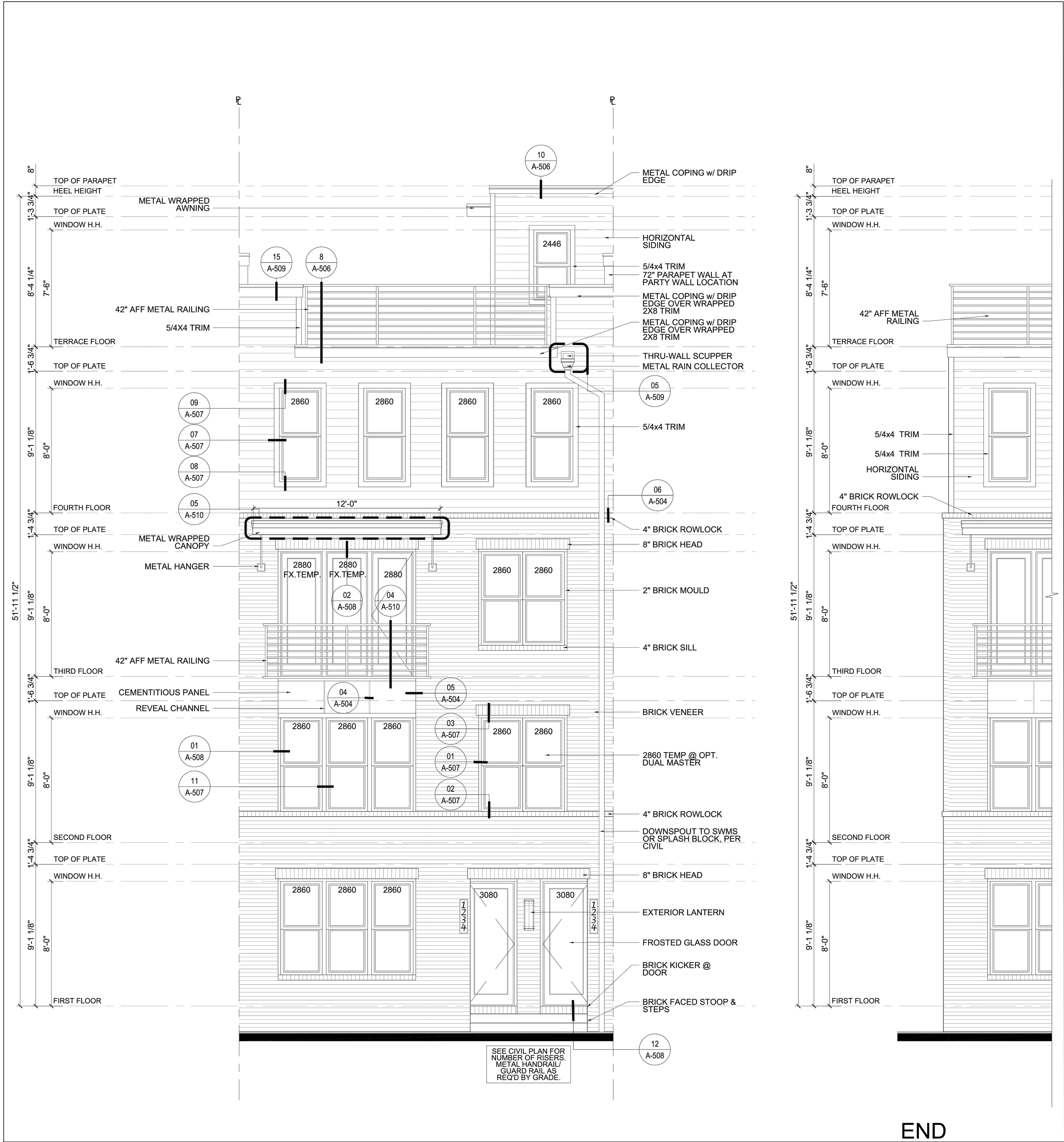


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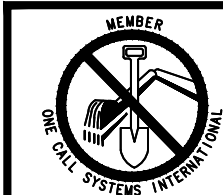
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\md-montgomery-city-of-rockville\washington square\source\plot plan\pre-application\A-01 Illustrative Architecture.dwg 2023.09.29 - 04:55 PM



Front Elevation
SCALE: NTS



CALL "MISS UTILITY" AT
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Preliminary Not For Construction

N:\P\O-Montgomery-City of Rockville\Washington Square\Autocad\Proc Plans\Pre-Application\A-02 Arch Elevation.dwg 2023.09.29 - 04:56 PM

DESIGN TEAM

Owner / Developer:

Toll Brothers
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:

Lerch Early Brewer
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WASHINGTON SQUARE
Pre-Application Site Plan
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

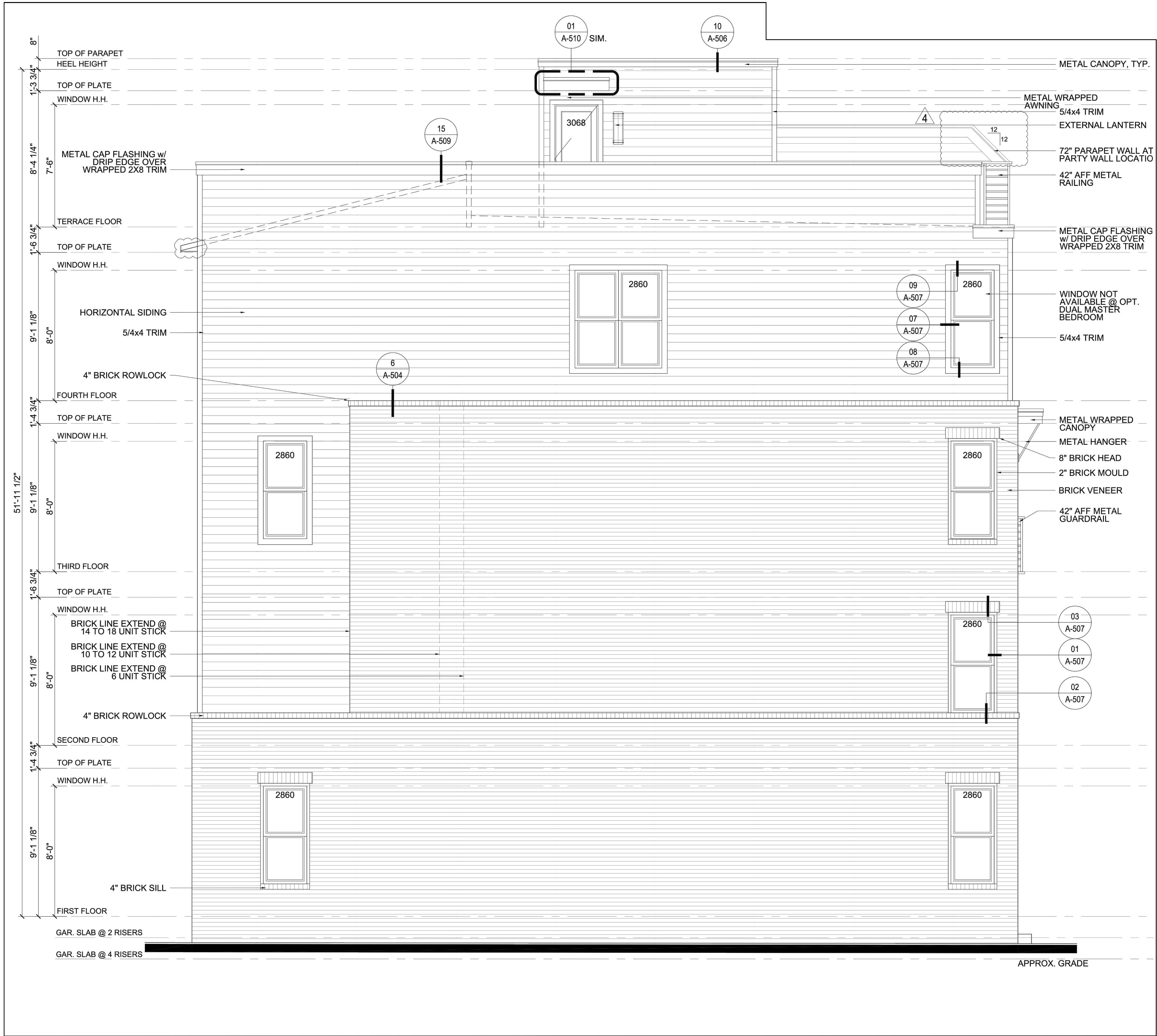
ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission
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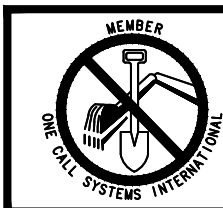
PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	NTS
DRAWING TITLE	Arch Elevation - Front

DRAWING NUMBER

A-02



Typ. Side Elevation
SCALE: NTS



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Preliminary Not For Construction

N:\md-montgomery-city-of-rockville\washington square\auto\cad\plan\pre-application\A-03-04 Arch Elevation.dwg

DESIGN TEAM

Owner / Developer:

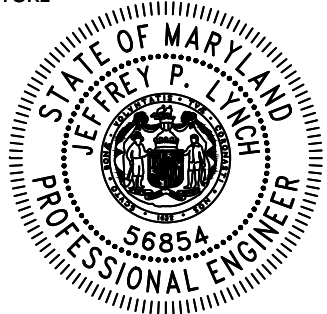
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Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission
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REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	NTS
DRAWING TITLE	Arch Elevation - Typ Side



Side Elevation Utility Closet

SCALE: NTS



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Preliminary Not For Construction

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Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

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PROJECT NUMBER 0696R

DATE 2023.09.29

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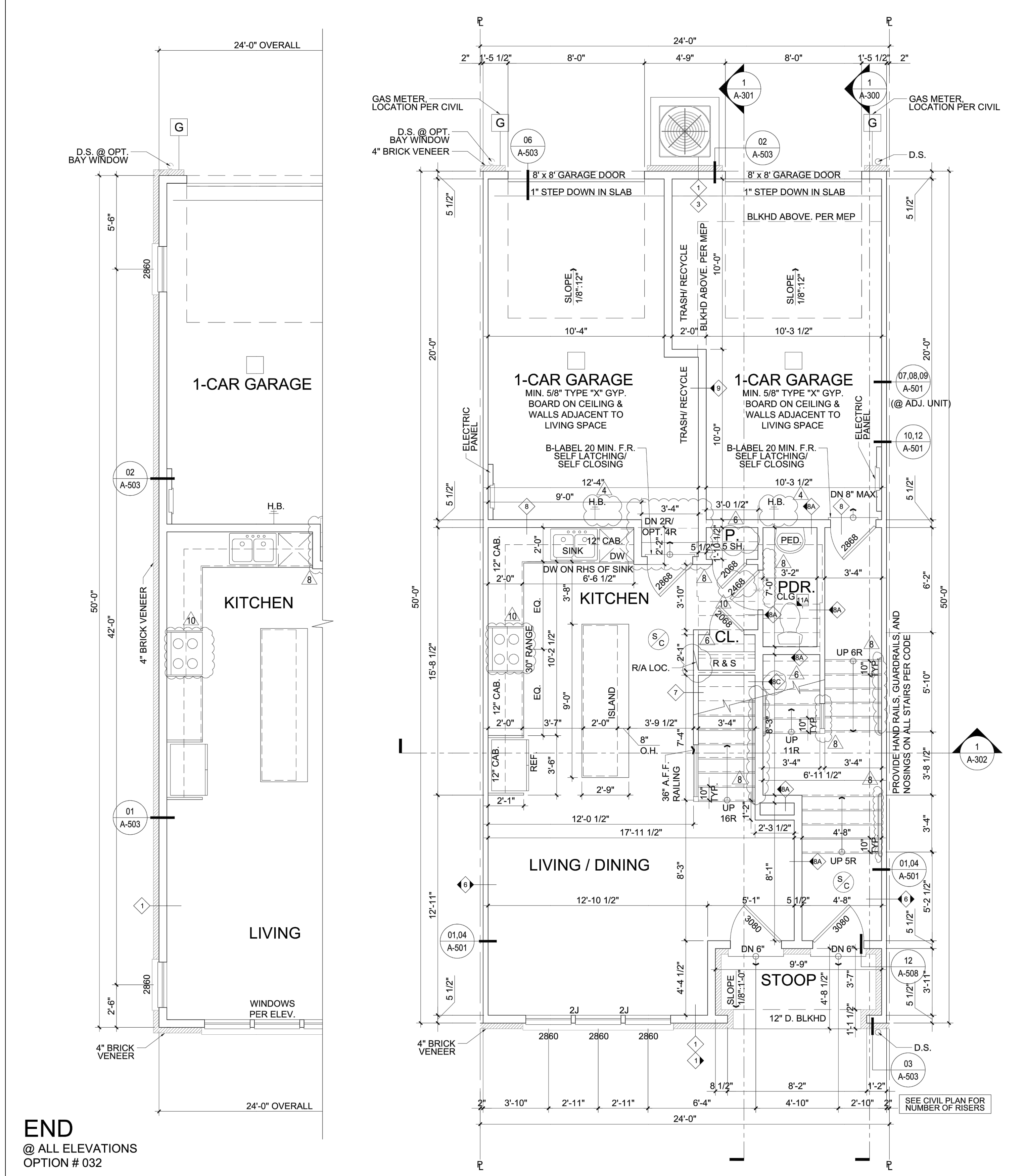
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Arch Elevation - Side

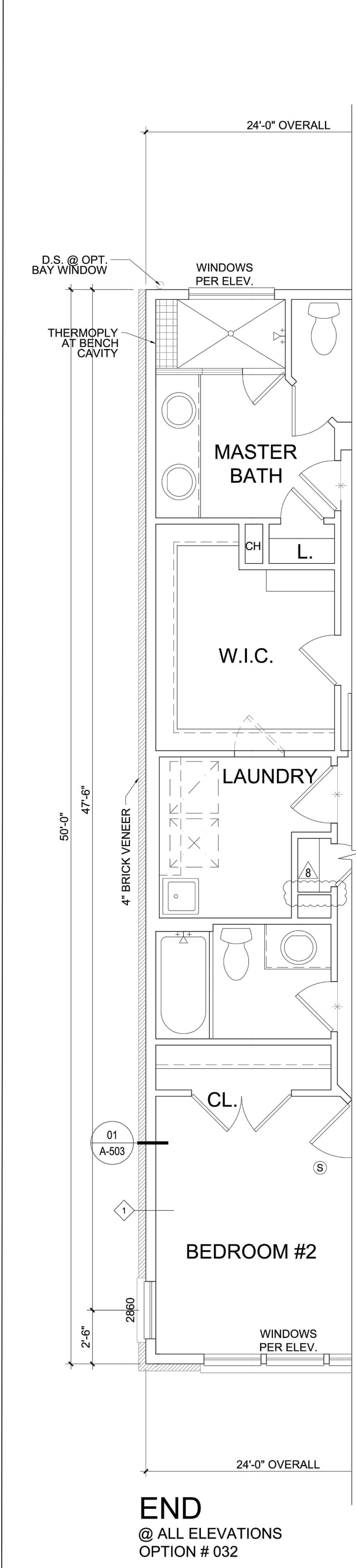
Utility Closet

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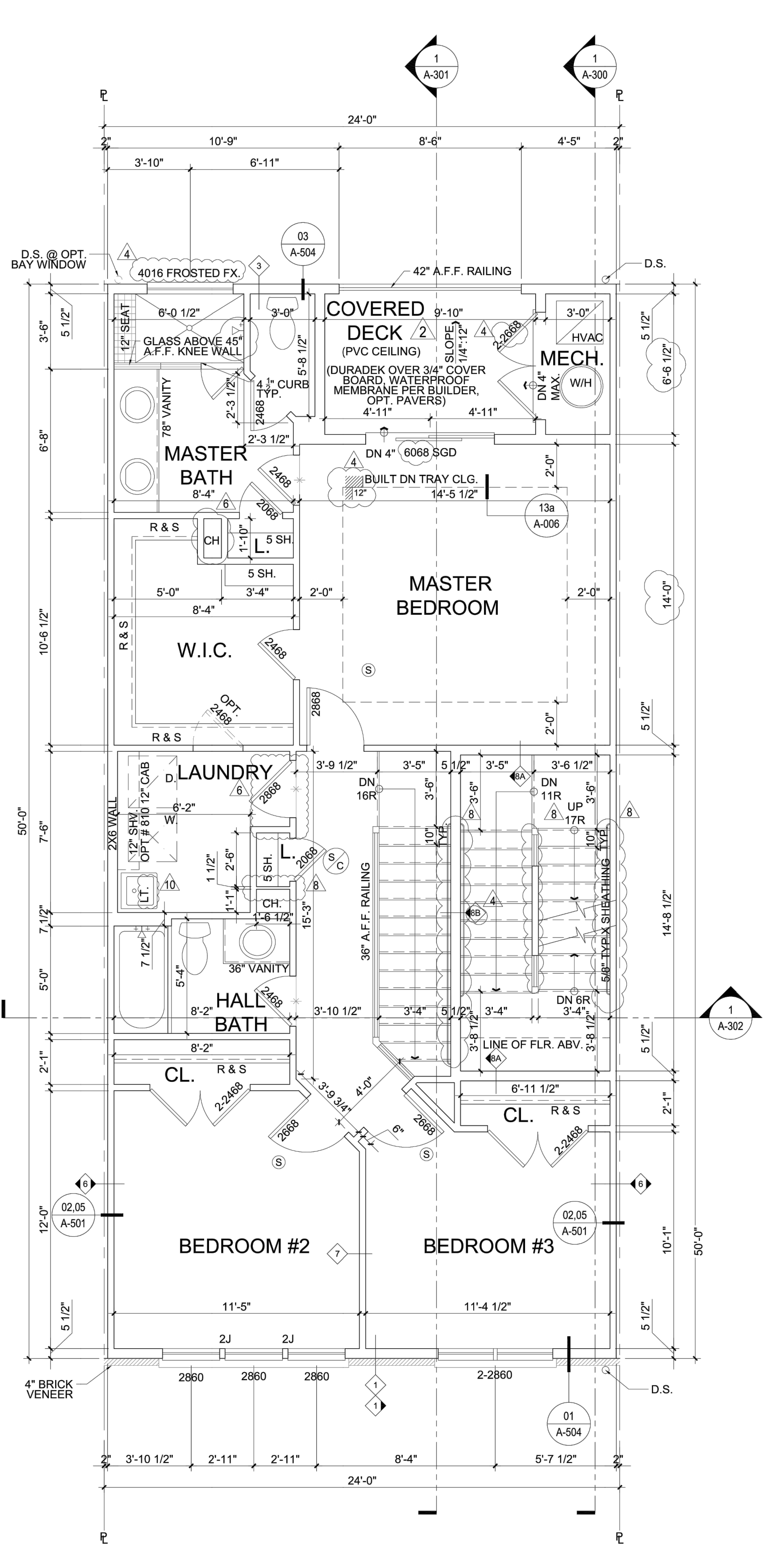
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1st Floor Plan
SCALE: NTS



END
@ ALL ELEVATIONS
OPTION # 032



2nd Floor Plan
SCALE: NTS

END
@ ALL ELEVATIONS
OPTION # 032

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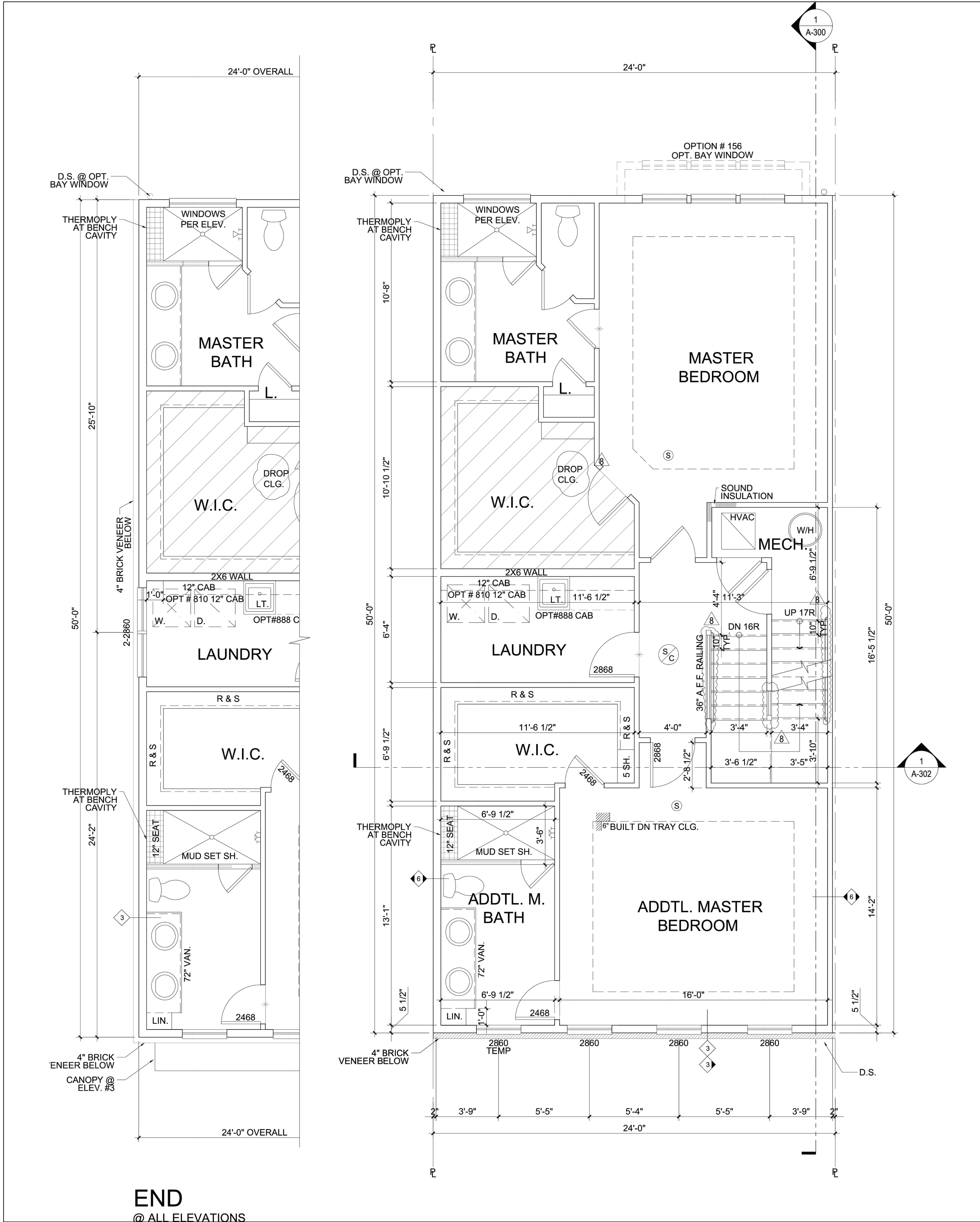
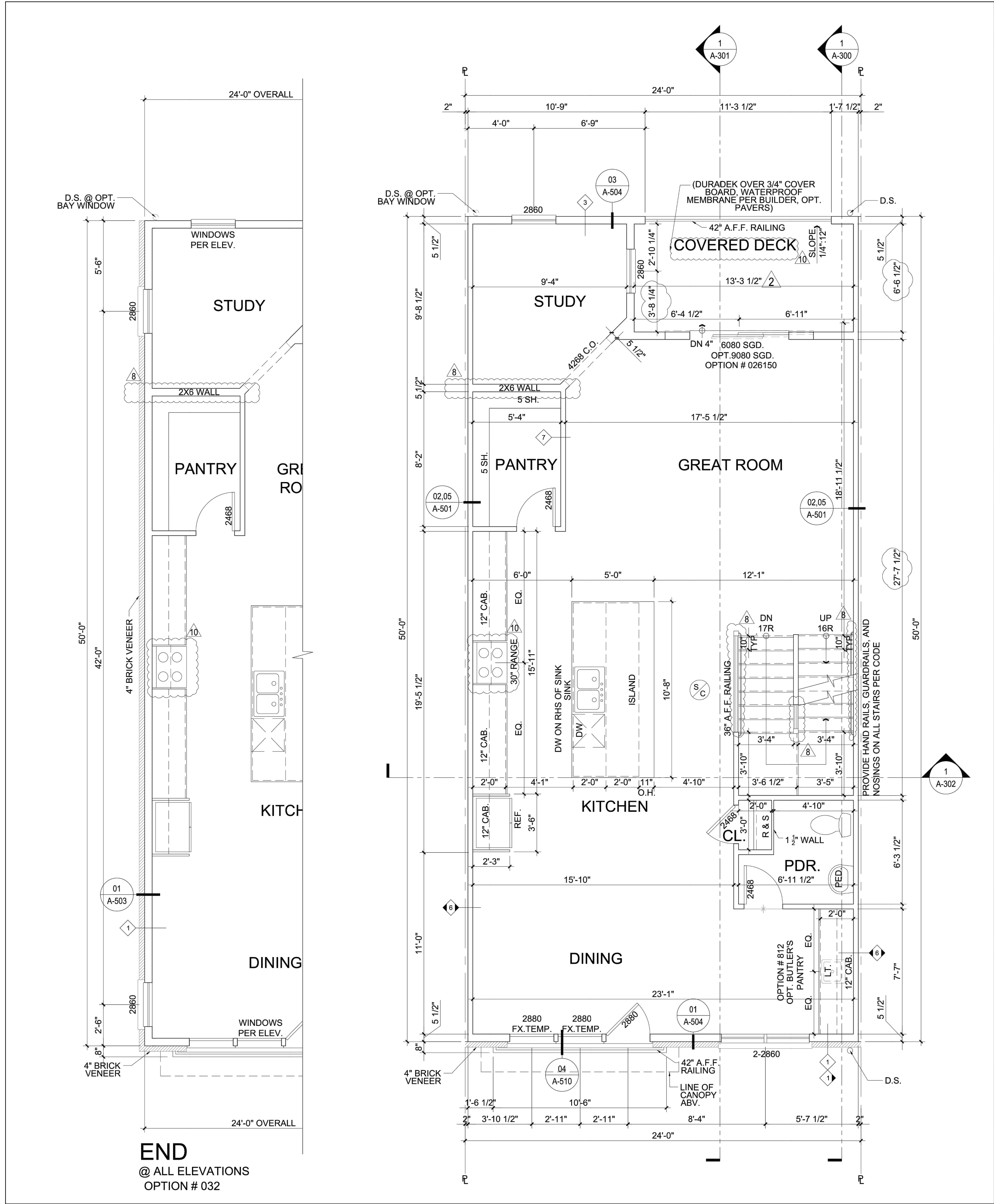
Preliminary Not For Construction

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2023.09.29 - 05:00 PM

ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	NTS
DRAWING TITLE	Arch Floor Plans - I & 2



Community Planning & Development Services
Received
October 3, 2023

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\md-montgomery-city-of-rockville\washington square\autocad\plot plans\pre-application\A-56-58 Arch Floor Plans.dwg 2023.09.29 - 05:01 PM

Toll Brothers
AMERICA'S LUXURY HOME BUILDER®

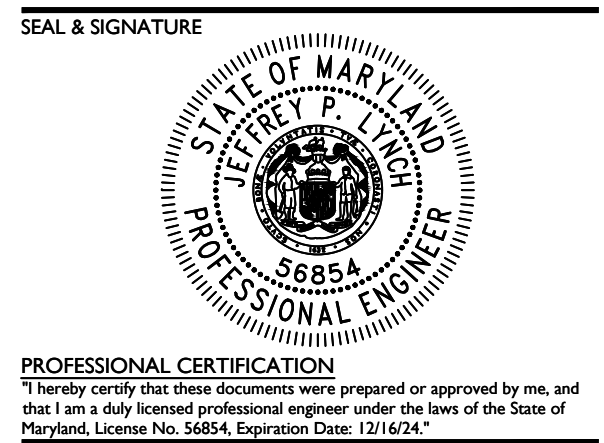
RODGERS CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
Ph: 301.948.4700 (Plan), Fx: 301.948.6256, www.rodgers.com

DESIGN TEAM
Owner / Developer:
Toll Brothers
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:
Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Rentfro



WASHINGTON SQUARE

Pre-Application Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

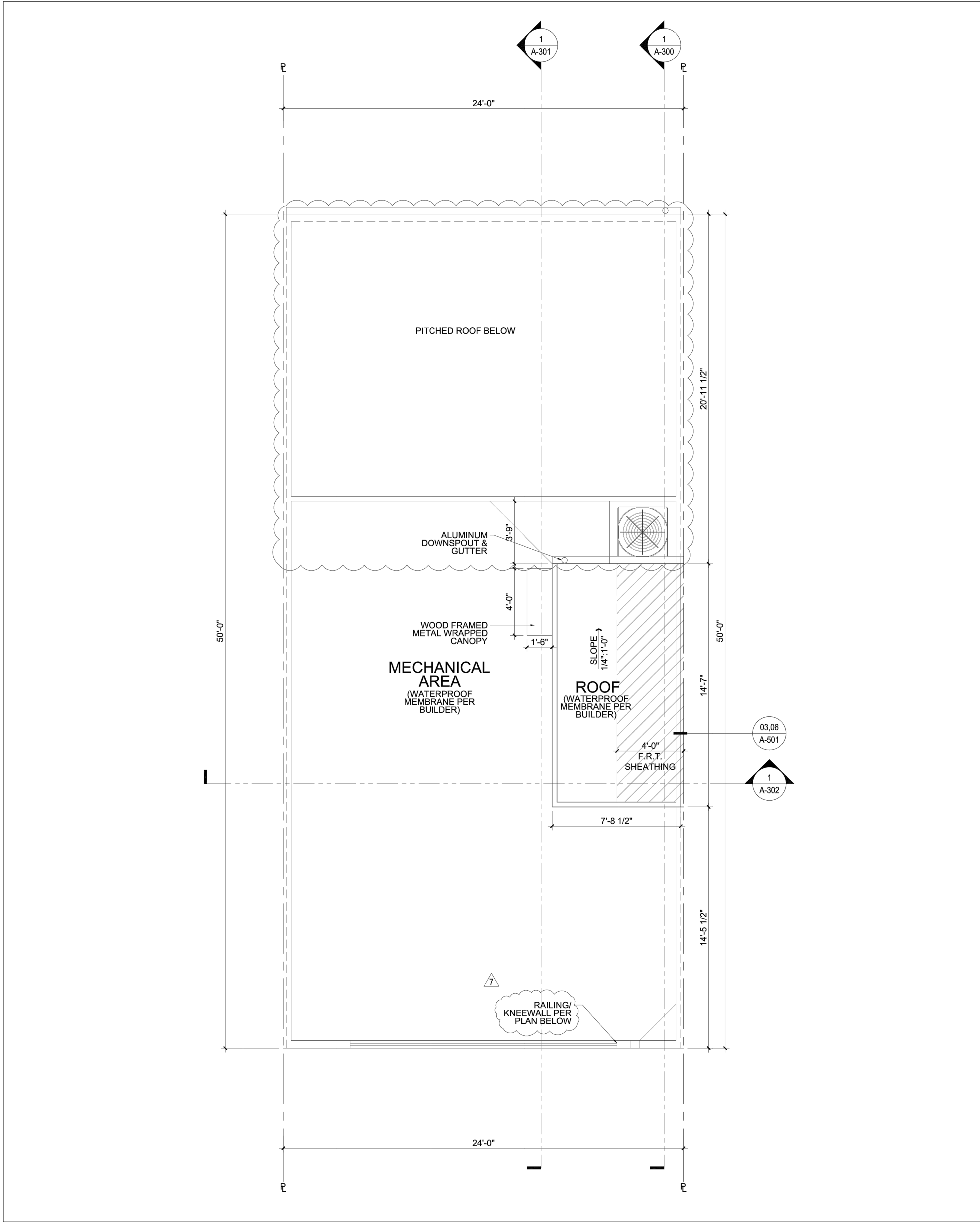
ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	NTS
DRAWING TITLE	Arch Arch Floor Plans - 3 & 4

DRAWING NUMBER

A-07



Roof Plan
SCALE: NTS

Community Planning & Development Services
Received
October 3, 2023



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1-800257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\md-montgomery-city-of-rockville\washington square\autocad\plot plans\pre-application\A-06-08 Arch Floor Plans.dwg

DESIGN TEAM
Owner / Developer:
Toll Brothers
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:
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7600 Wisconsin Avenue, Suite 700
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Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randal Rentfro

SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 56854, Expiration Date: 12/16/24.

WASHINGTON SQUARE

Pre-Application Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.09.29	Initial Submission
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REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	0696R
DATE	2023.09.29
SCALE	NTS
DRAWING TITLE	Arch Floor Plan - Roof

DRAWING NUMBER

A-08