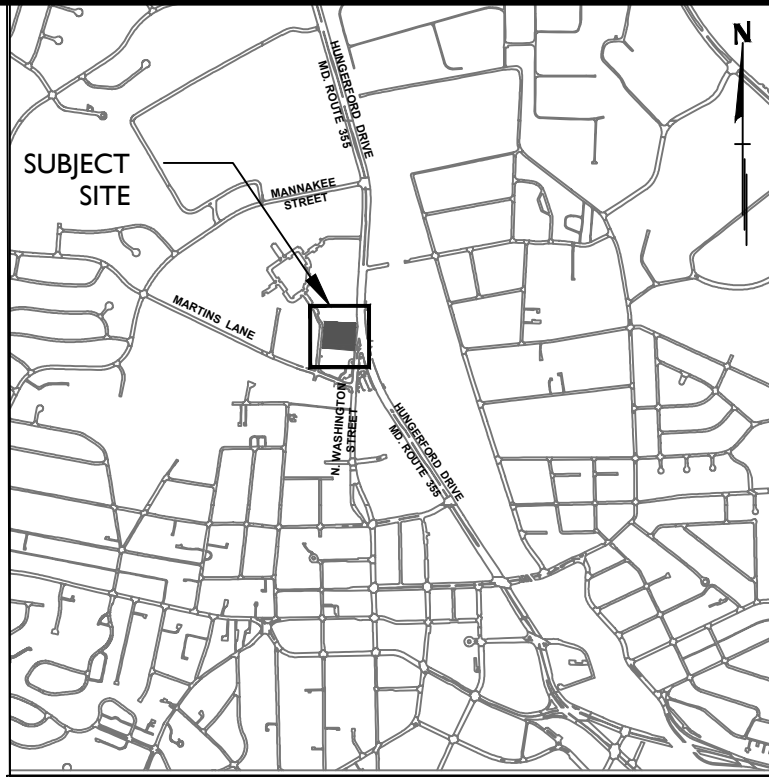
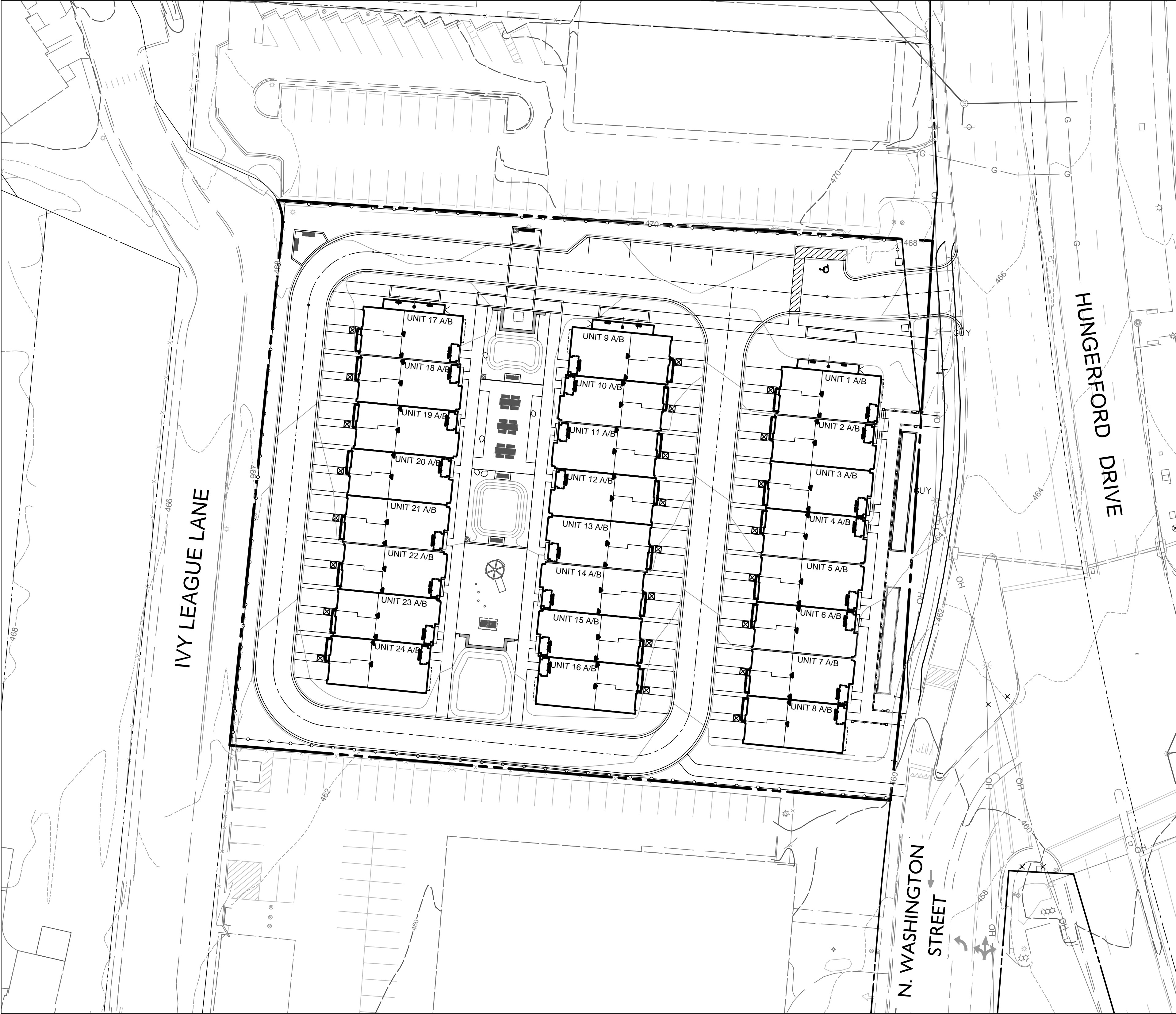


WASHINGTON SQUARE

TYPE 2 SITE PLAN (STP2024-00490)

CITY OF ROCKVILLE, MARYLAND



VICINITY MAP

SCALE 1" = 2,000'

Toll Brothers
AMERICA'S LUXURY HOME BUILDER®

RODGERS
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
Ph: 301.948.4700 (Main), Fx: 301.948.6256, www.rodgers.com

DESIGN TEAM
Owner / Developer:
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Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:
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SEAL & SIGNATURE

SHEET INDEX

- SITE PLAN -
SP-00 - COVER
SP-01 - EXISTING CONDITIONS
SP-02 - SITE PLAN
SP-03 - GRADING PLAN
SP-04 - SITE PLAN DETAILS
SP-05 - SITE AMENITY DETAILS
SP-06 - OPEN AREA & PUBLIC USE EXHIBIT
SP-07 - LOTTING PLAN

- LANDSCAPE & LIGHTING PLAN -
L-01 - LANDSCAPE PLAN
L-02 - LANDSCAPE NOTES & DETAILS
L-03 - LIGHTING PLAN & DETAILS

- ARCHITECTURAL -
A-01 - ILLUSTRATIVE ARCHITECTURE
A-02 - FRONT ELEVATION
A-03 - BLANK SHEET
A-04 - SIDE ELEVATION
A-05 - REAR ELEVATION
A-06 - FLOOR PLAN

- SUPPORTING EXHIBITS -
EXB-01 - FIRE PROTECTION PLAN
EXB-02 - CIRCULATION PLAN
EXB-03 - FIRE TRUCK TURNING MOVEMENT
EXB-04 - GARBAGE TRUCK TURNING MOVEMENT
EXB-05 - BRT ULTIMATE CONDITION
EXB-06 - GRADE ESTABLISHMENT PLAN
EXB-07 - ROAD SECTIONS
EXB-08 - EASEMENT PLAN

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 30'
DRAWING TITLE	COVER SHEET

DRAWING NUMBER

SP-00

Cover Sheet

SCALE: 1" = 30'

GRAPHIC SCALE



1 INCH = 30 FT



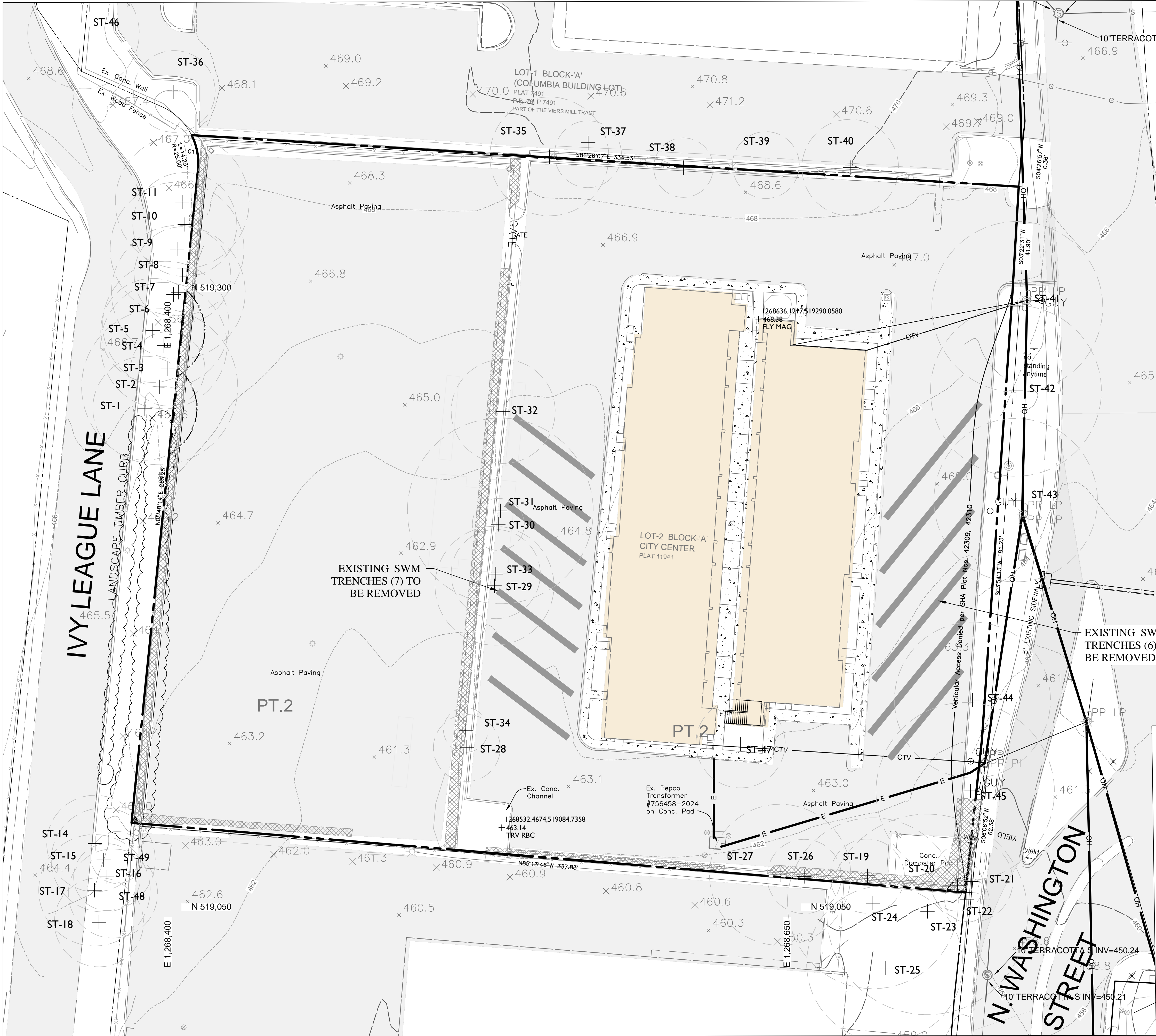
CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

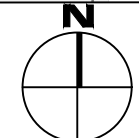
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2024.08.09 - 04:08 PM

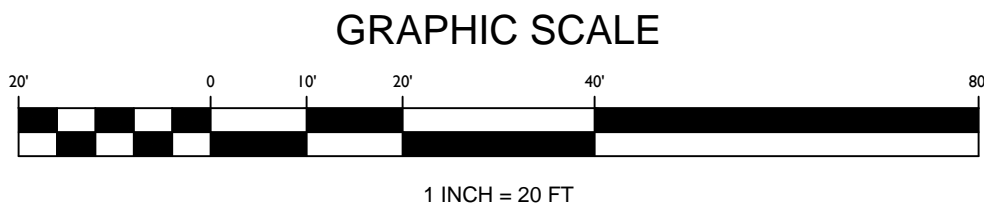


Existing Conditions Plan

SCALE: 1" = 20'



NAD 83
NGVD 88



NOTES:

- The subject property is comprised of Parcels N547 & N548 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
- The site is ± 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
- The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
- Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.

Curve Table						
Curve	Radius	Length	Tangent	Chord	Bearing	Delta
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W	32°39'53"

LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- EXISTING STORM DRAIN
- EXISTING BUILDING
- EXISTING ON-SITE PAVEMENT
- EXISTING ROAD
- EXISTING SPECIMEN TREE & CRITICAL ROOT ZONE



CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start Of Construction

Community Planning & Development Services
Received
August 12, 2024

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SEAL & SIGNATURE

WASHINGTON SQUARE

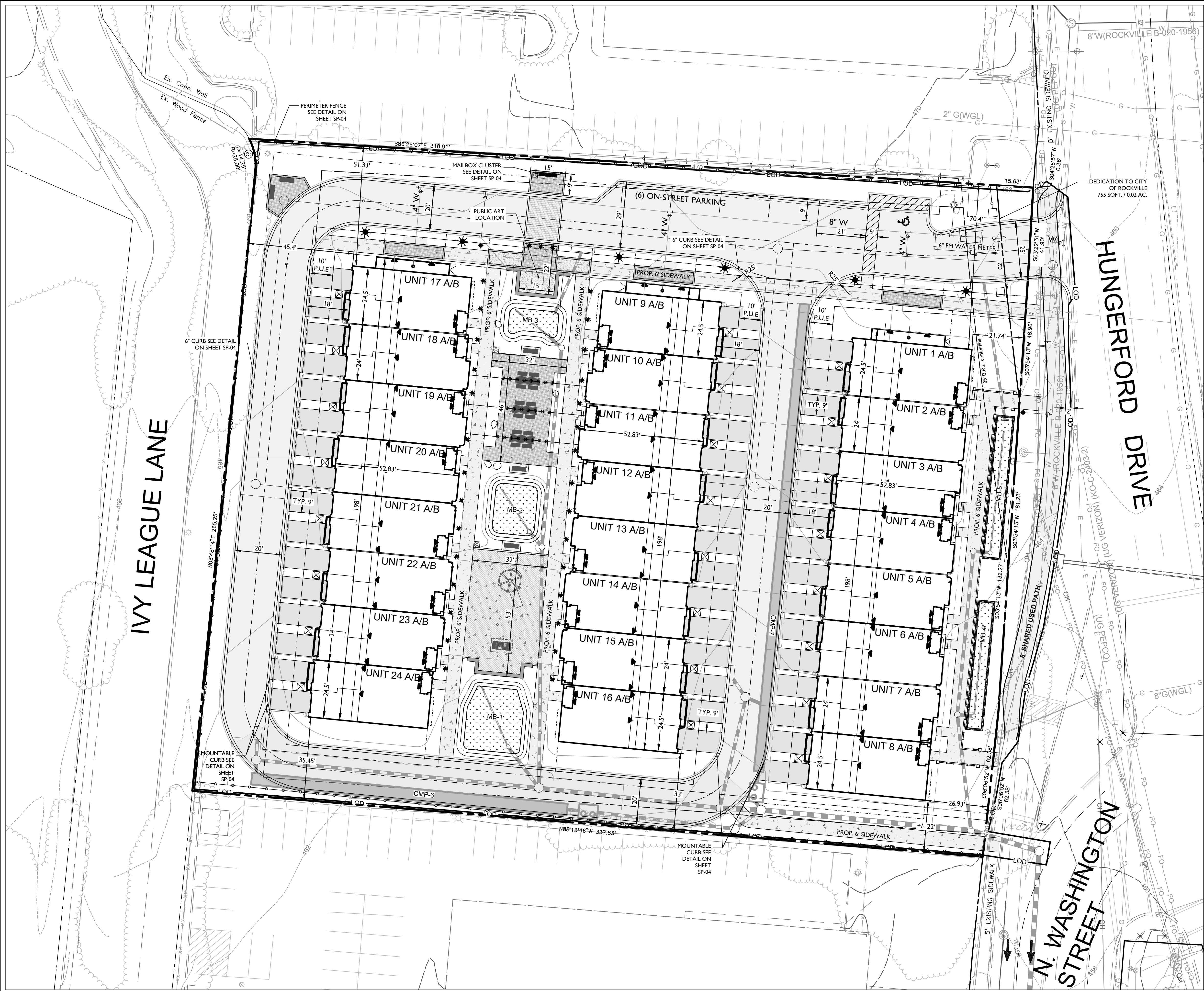
Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	#####
DRAWING TITLE	EXISTING CONDITIONS
DRAWING NUMBER	SP-01



- NOTES:**
- The site is located in the Planned OCRM - Office Commercial Residential Mix.
 - The site is located in Planning Area - Town Center I.
 - The site is zoned MXNC - Mixed Use Neighborhood Commercial.
 - The subject property is comprised of Parcels N547 & N548 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
 - The site is ± 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
 - The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
 - Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.
 - The site's water service is within the City of Rockville.
 - The subject site is located within the Cabin John Creek Watershed.
 - The subject site is not located within a 100-year floodplain, per FEMA FIRM Map #24031C0334D.
 - There are no streams or wetlands located on or within 200 feet of the site, per site investigation by Rodgers Consulting, Inc. August 2023.
 - No rare, threatened or endangered species were observed during field visits. A request for possible state/federal listed rare, threatened, or endangered species within the project area was submitted to MDNR wildlife and heritage service Sept. 2023.
 - The site does not have any structures listed on the National Register for Historic Places nor does it have any MHT Preservation Easements.
 - The site soils are 400-Urban Land, taken from the USDA Natural Resource Conservation Service for Montgomery County Maryland, 2014.
 - There are no forest stands onsite, as defined in the Forest and Tree Preservation City Code.
 - The site contains 16 significant trees, as shown on the NRI/FSD.

Curve Table					
Curve	Radius	Length	Tangent	Bearing	Delta
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W 32°39'53"
C2	2012.23'	92.52'	46.27'	92.52'	S06°03'37"E 2°38'04"

DEVELOPMENT TABLE:

Property Information			MXNC	
Zoning				
Tract Area	94,673 sq. ft.	2.17 ac.		
Proposed Dedications	755 sq. ft.	0.02 ac.		
Site Area	93,918 sq. ft.	2.16 ac.		
Lot 1 Area	14,334 sq. ft.	0.33 ac.		
Lot 2 Area	14,336 sq. ft.	0.33 ac.		
Lot 3 Area	14,236 sq. ft.	0.33 ac.		

Development Program		
Residential Units		48
Rear Loaded Multi-Family (2 over 2)		48

MPDUs	Required	Proposed
Less than 50 dwelling units proposed	0	0

Build-to-line - 25.13.05.a.2(d)	Required	Proposed
Principal Arterial	70%	n/a

Building restriction lines & Build-to-lines - 25.17.08	Required	Proposed
2 over 2	85 ft.	> 87 ft.

Building Height - 25.13.05.b.2(c)	Maximum Allowed	Proposed
2 over 2	65 ft. **	
Flat Roof		+/- 51 ft
Gable roof		+/- 57 ft

Building Setbacks - Sec 25.13.05.b.1.	Minimum Required	Proposed
Minimum width at Front line	10 ft.	
Setback abutting Right-of-Way	0 ft. or 10 ft. min. if provided 25 ft. or height of building, whichever is greater	>10 ft
Side abutting Residential	25 ft. or height of building, whichever is greater	n/a
Side abutting Non-Residential	0 ft. or 10 ft. min. if provided 25 ft. or height of building, whichever is greater	>10 ft.
Rear abutting Residential	25 ft. or height of building, whichever is greater	n/a
Rear abutting Non-Residential	0 ft. or 10 ft. min. if provided	n/a
Special Reg's-Sec. 25.13.05.b.2(d)		

Open Space - Sec 25.13.05.b.2(c)	Minimum Required	Proposed
Open Area (Includes Public Use Space)	15% 14,088 sq. ft.	22% 20,900 sq. ft.
Public Use Space	10% 9,392 sq. ft.	14% 12,700 sq. ft.

Parking - Sec 25.16.03(d)	Minimum Required	Proposed
2 over 2, 48 rear load units (2 per unit)	96	96
Excess / Visitor Parking		
On-Street Parking		6

Total Parking 102

Accessible Parking	Minimum Required	Proposed
Townhomes	1	1
#		
#		
#		

Bicycle Parking	Minimum Required	Proposed
Short term Parking	0	0
Long term Parking	0	0

** MXNC zone. Building height may be increased up to a maximum of sixty-five (65) feet in accordance with the plan. If the plan makes no other recommendation, development between forty-five (45) feet and sixty-five (65) feet must provide fifteen (15) percent open area, of which ten (10) percent must be public use space.



CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

Site Plan

SCALE: 1" = 20'

GRAPHIC SCALE



1 INCH = 20 FT

Preliminary Not For Construction

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19847 Century Boulevard, Suite 200
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301.948.4700
Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	#####
#	#
#	#
#	#

REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	SITE PLAN

DRAWING NUMBER

2024.08.09 - 05:08 PM

SP-02



Grading Plan

SCALE: 1" = 20'

GRAPHIC SCALE



1 INCH = 20 FT



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1-800257-7777
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SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
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#	#
#	#

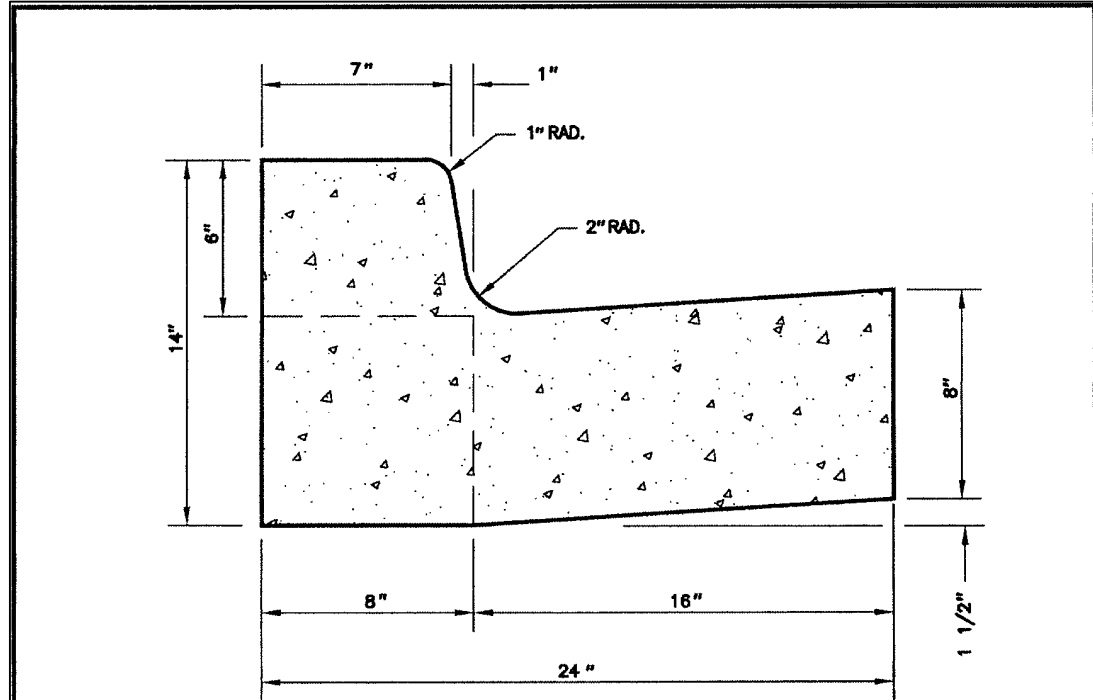
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	

GRADING PLAN

DRAWING NUMBER

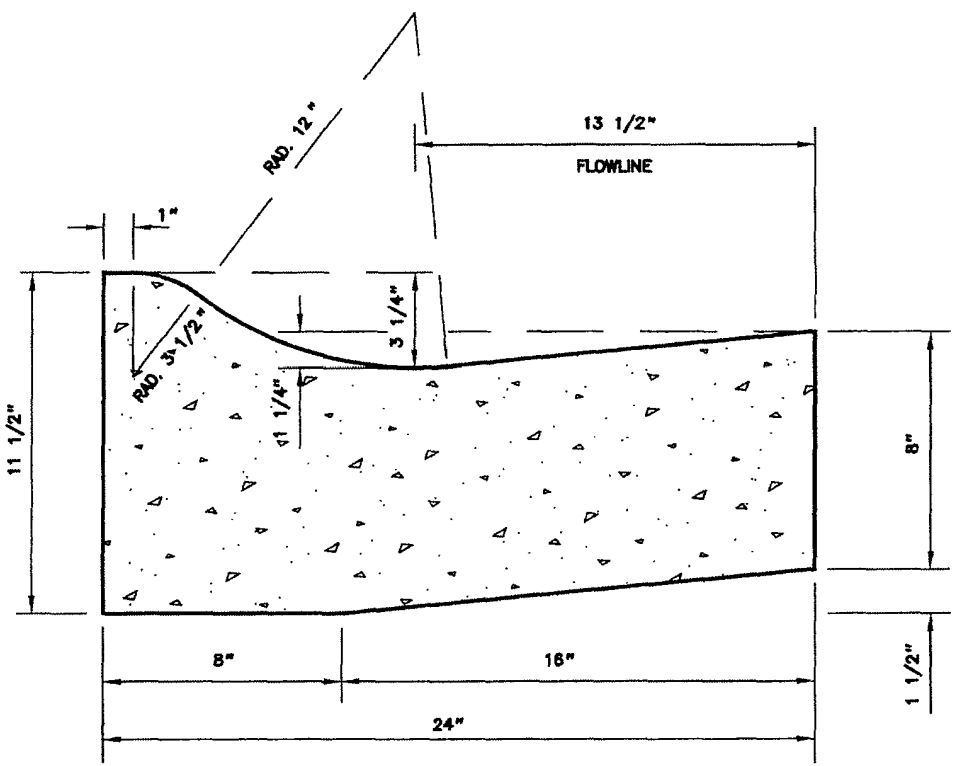
SP-03



GENERAL NOTES

1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION, AND EXPANSION JOINT LOCATIONS.
2. THIS STANDARD SHALL BE USED ON PRIMARY RESIDENTIAL, ARTERIAL AND BUSINESS DISTRICT ROADS AS WELL AS CURB RETURNS AND INLET THROATS.
3. WHENEVER STANDARD MC-101.01 CURB IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-100.01 TO STANDARD MC-101.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
4. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
5. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

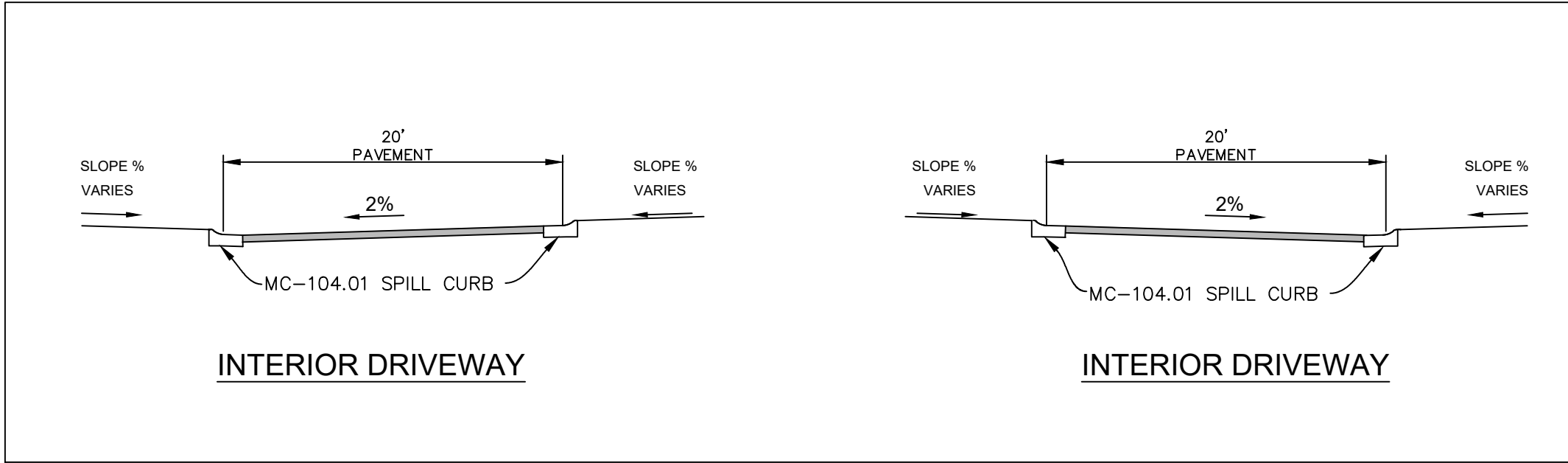
APPROVED <u>14 APR 06</u> DATE DIRECTOR, DEPT. OF PUBLIC WORKS & TRANSPORTATION for CHIEF, DIV. OF CAP. DEV.	REVISED ASTM-C920 4/2006	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION COMBINATION CONCRETE CURB AND GUTTER TYPE A STANDARD NO. MC-100.01
---	-----------------------------	---



GENERAL NOTES

1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION, AND EXPANSION JOINT LOCATIONS.
2. MOUNTABLE CURB SHALL ONLY BE USED ON TERTIARY STREETS OR ON SECONDARY RESIDENTIAL. CUL-DE-SACS 500 FEET OR LESS IN LENGTH, MEASURED FROM THE LAST INTERSECTING STREET.
3. WHENEVER STANDARD MC-100.01 IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-104.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
4. TRANSITION BETWEEN STANDARD MC-104.01 AND MC-100.01 OR MC-101.01 SHALL BE ACCOMPLISHED HOLDING THE FLOW LINE SLOPE CONSTANT.
5. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
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APPROVED <u>14 APR 06</u> DATE DIRECTOR, DEPT. OF PUBLIC WORKS & TRANSPORTATION for CHIEF, DIV. OF CAP. DEV.	REVISED ASTM-C920 4/2006	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION MOUNTABLE CONCRETE CURB AND GUTTER TYPE F STANDARD NO. MC-104.01
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INTERIOR DRIVEWAY

INTERIOR DRIVEWAY

1 1/2" BITUMINOUS CONCRETE SURFACE COURSE	1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
1 1/2" BITUMINOUS CONCRETE SURFACE COURSE	1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
3" BITUMINOUS CONCRETE BASE COURSE	3" BITUMINOUS CONCRETE BASE COURSE
4" GRADED AGGREGATE BASE COURSE	3" BITUMINOUS CONCRETE BASE COURSE
APPROVED SUBGRADE	APPROVED SUBGRADE

DESIGN TEAM

Owner / Developer:

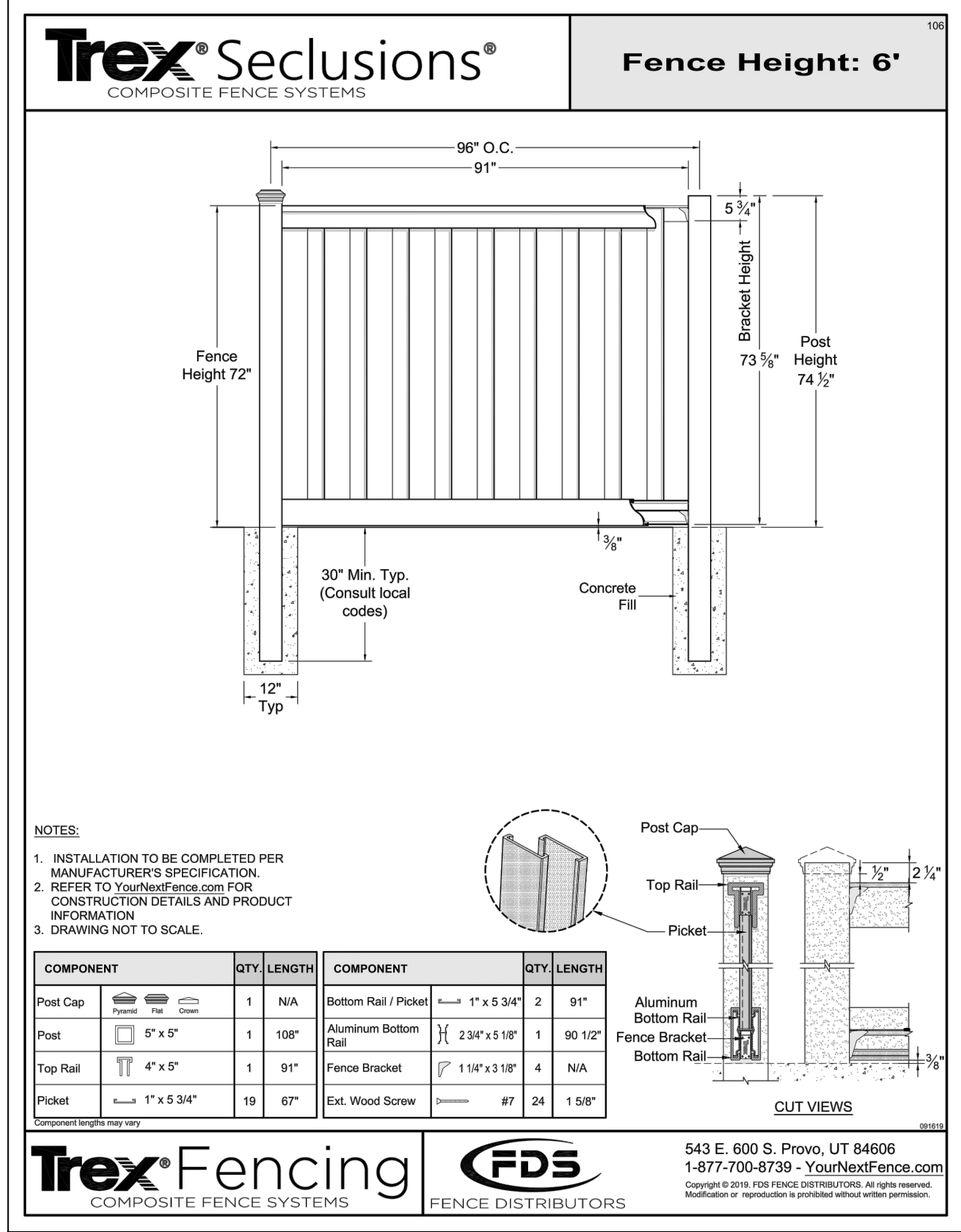
Toll Mid-Atlantic LP Company, Inc.
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:

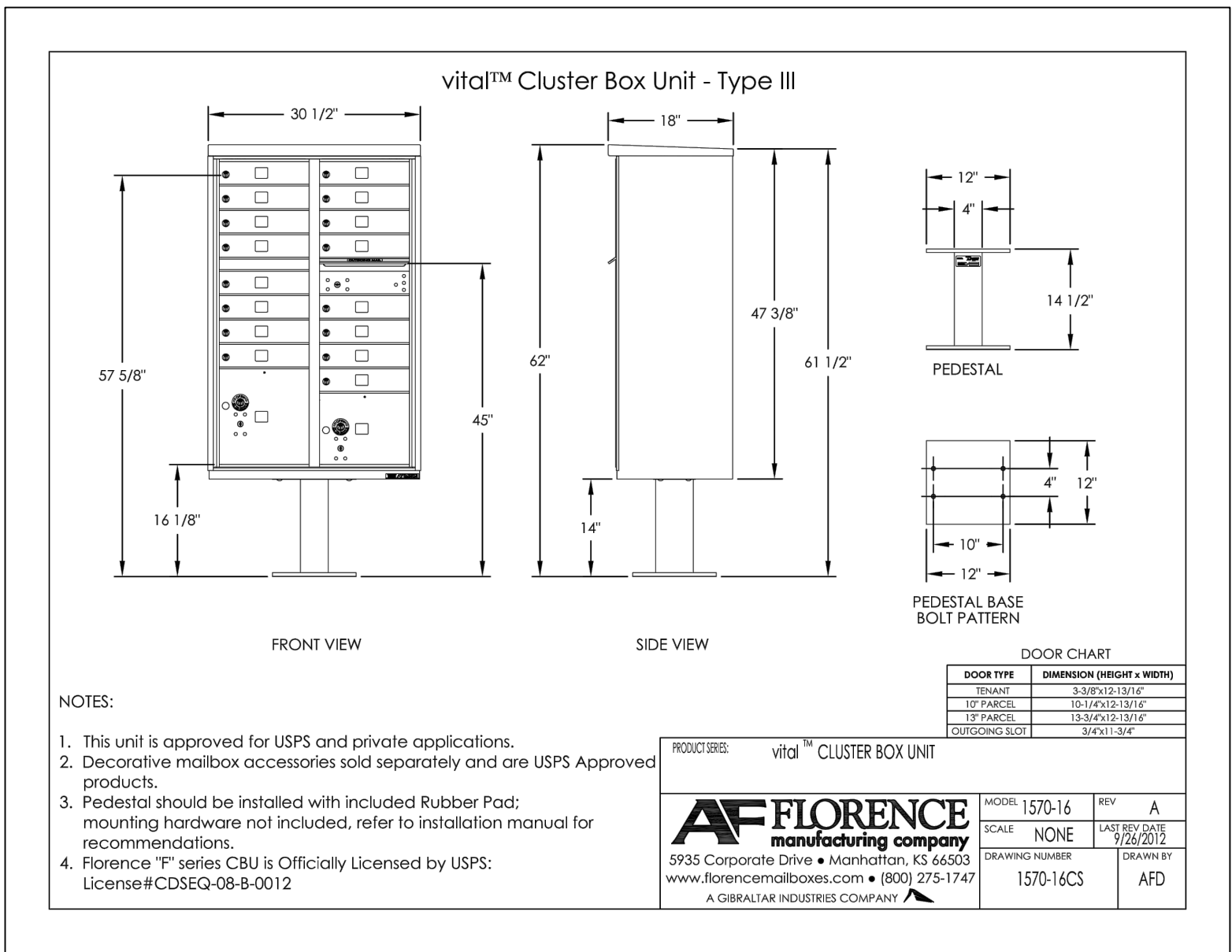
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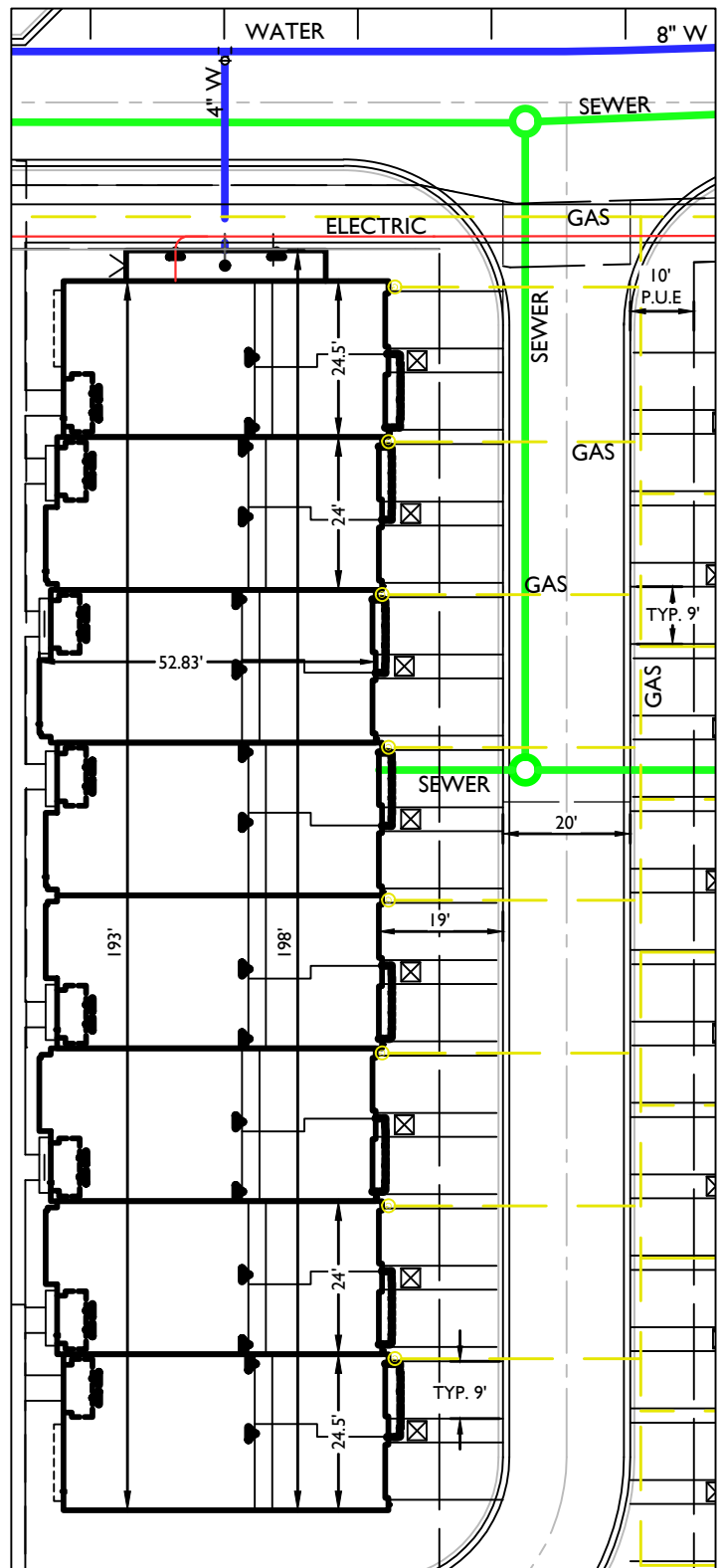
SEAL & SIGNATURE



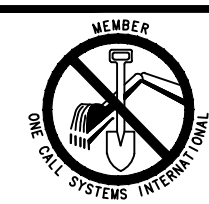
PERIMETER FENCE (OR EQUAL)
SCALE: NTS



MAILBOX CLUSTER (OR EQUAL)
SCALE: NTS



TYPICAL STICK DETAIL
SCALE: 1" = 30'



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Preliminary Not For Construction

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

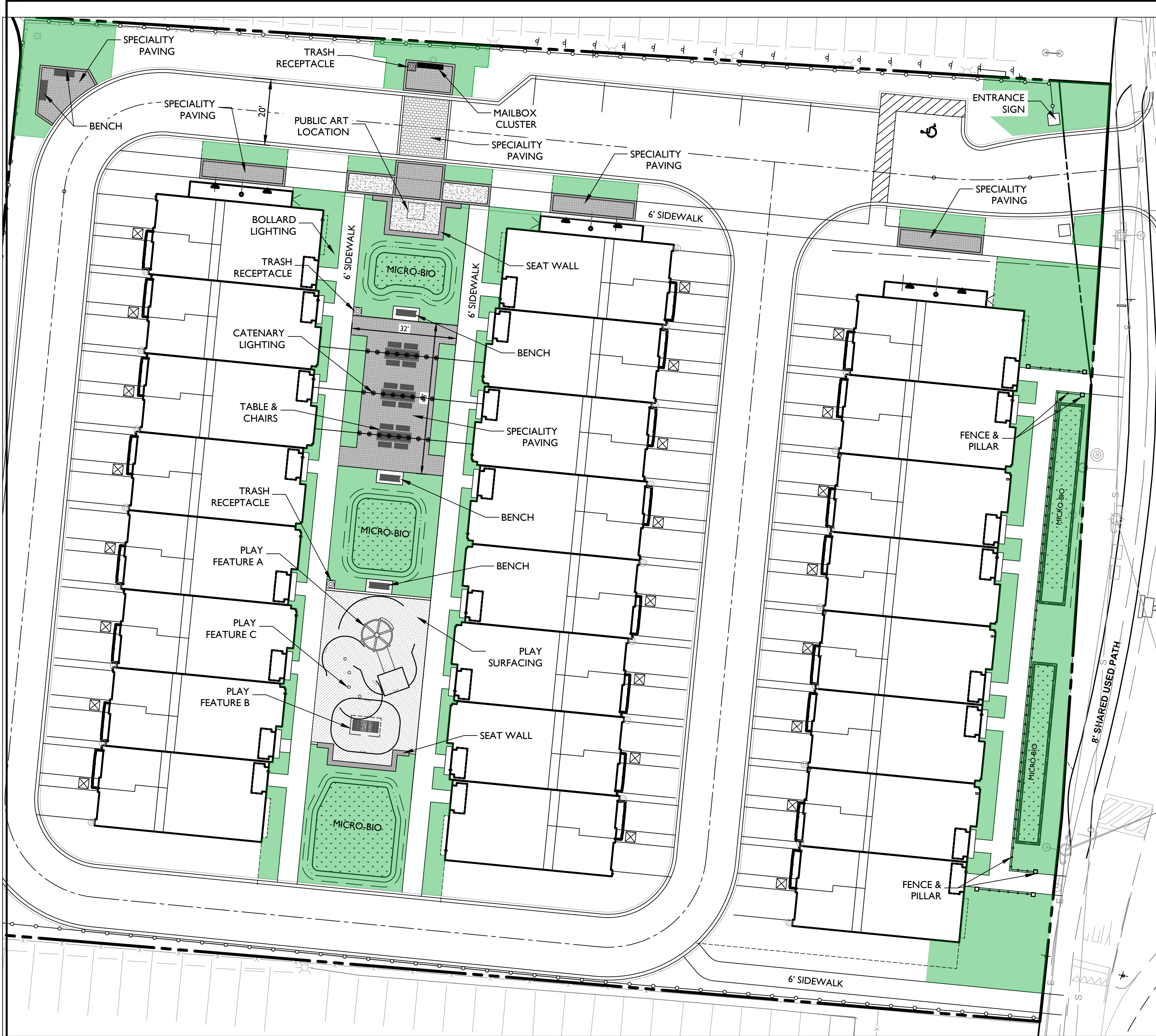
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#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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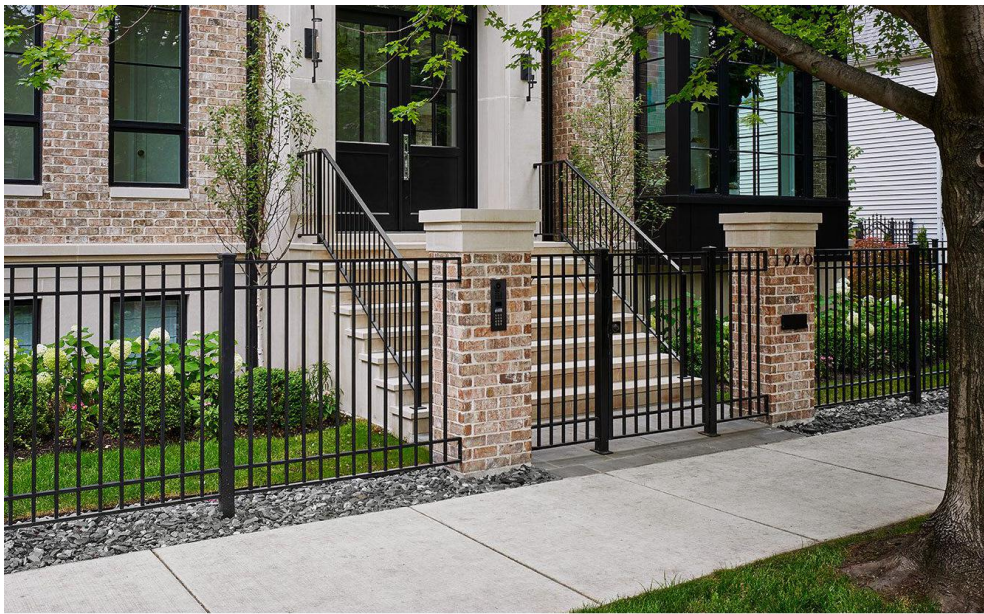
PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 10'
DRAWING TITLE	SITE PLAN DETAILS

DRAWING NUMBER

SP-04



PLANTING AREA

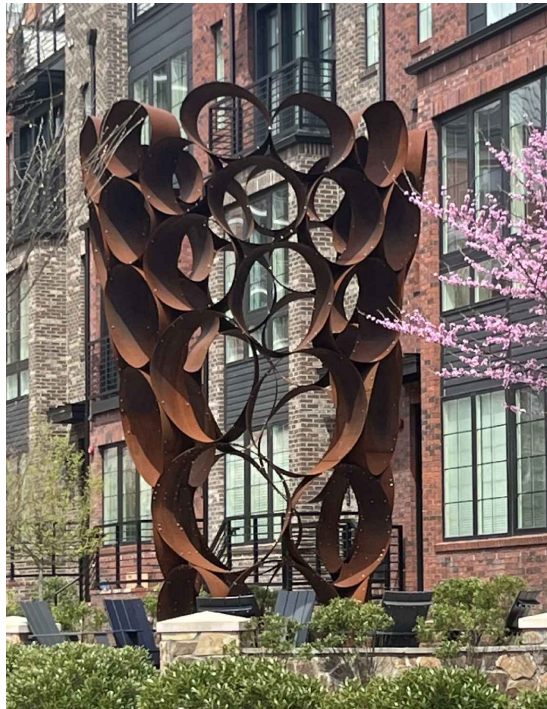


FRONTAGE FENCE & PILLARS (OR EQUAL)
SCALE: NTS



TRASH RECEPTACLE (OR EQUAL)
SCALE: NTS

MFR: ULTRA SITE - LEXINGTON
RECEPTACLE
SIZE: 36 GALLON
MATERIAL: POWDERCOAT
COLOR: BLACK
LID: RAIN BONNET



PUBLIC ART (OR EQUAL)
SCALE: NTS
NOTE: THE ARTWORK AND LOCATION
SHOWN ARE CONCEPTUAL AND MAY
CHANGE



BENCH (OR EQUAL)
SCALE: NTS



PLAY FEATURE A (OR EQUAL)
SCALE: NTS



PLAY FEATURE B (OR EQUAL)
SCALE: NTS



PLAY FEATURE C (OR EQUAL)
SCALE: NTS



SPECIALTY PAVING (OR EQUAL)
SCALE: NTS



SEAT WALL (OR EQUAL)
SCALE: NTS



TABLE & BENCH (OR EQUAL)
SCALE: NTS



BENCH (OR EQUAL)
SCALE: NTS



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SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
--------------	------	-------------

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	SITE AMENITY DETAILS

DRAWING NUMBER

SP-05



LEGEND

Open Area

Public Use Space

Subject Site Property Line

Open Space - Sec 25.13.05.b.2 (c)	Minimum Required*		Proposed	
Open Area (includes Public Use Space)	15%	14,201 sq. ft.	22%	20,900 sq. ft.
Public Use Space	10%	9,468 sq. ft.	14%	12,700 sq. ft.

* MXNC zone. Building height may be increased up to a maximum of sixty-five (65) feet in accordance with the plan. If the plan makes no other recommendation, development between forty-five (45) feet and sixty-five (65) feet must provide fifteen (15) percent open area, of which ten (10) percent must be public use space.

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SEAL & SIGNATURE

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Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER

DATE

SCALE

DRAWING TITLE

2024.08.09

1" = 20'

OPEN AREA & PUBLIC USE SPACE

SP-06

Open Area - Public Use

SCALE: 1" = 20'

GRAPHIC SCALE

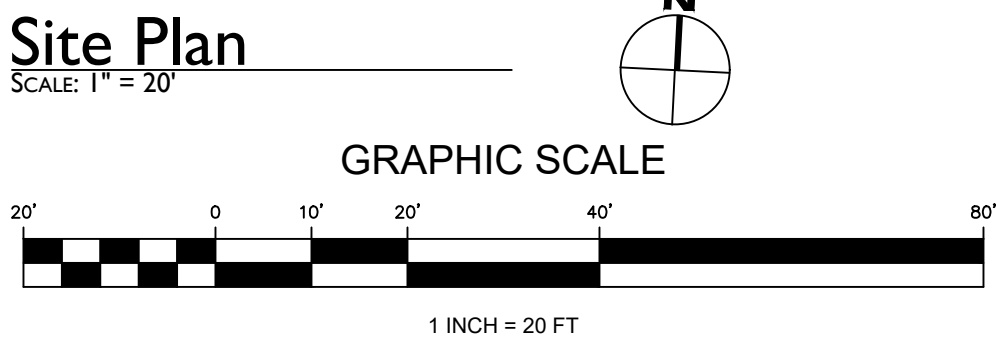
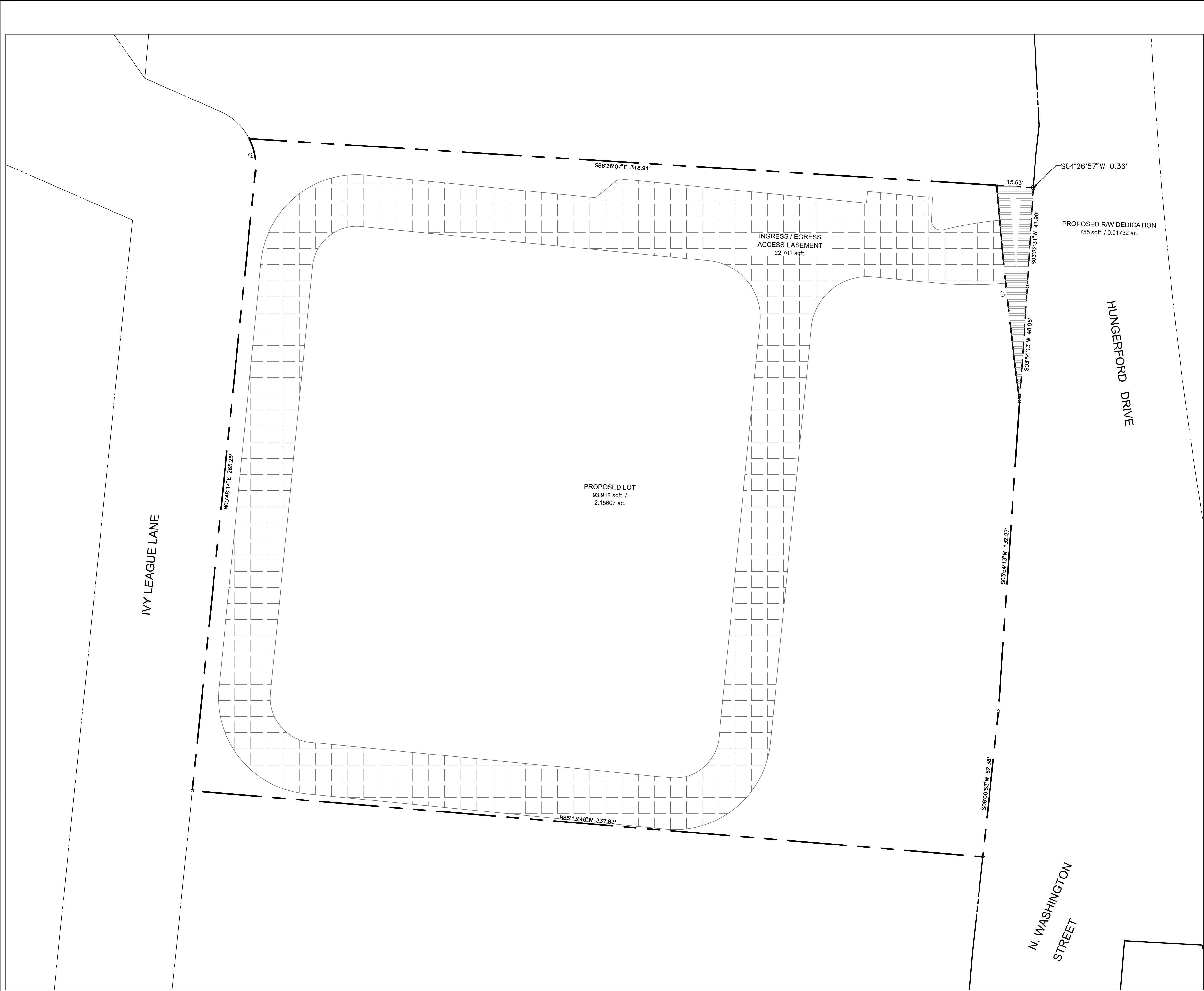
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Curve	Radius	Length	Tangent	Chord	Bearing	Delta
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W	32°39'53"
C2	2012.23'	92.52'	46.27'	92.52'	S06°03'37"E	2°38'04"



**CALL "MISS UTILITY" AT
1-800257-7777**

48 Hours Before Start Of Construction

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Community Planning & Development Services
Receives
August 12, 2024

Preliminary Not For Construction

Toll Brothers
AMERICA'S LUXURY HOME BUILDER

**RODGERS
CONSULTING**

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
Ph: 301.948.4700 (Main), Fx: 301.948.6256, www.rodgers.com

DESIGN TEAM
Owner / Developer:
Toll Mid-Atlantic LP Company, Inc.
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:
Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	LOTTING PLAN

DRAWING NUMBER

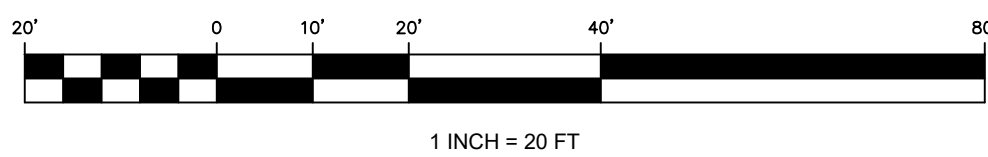
SP-07



Landscape Plan

SCALE: 1" = 20'

GRAPHIC SCALE



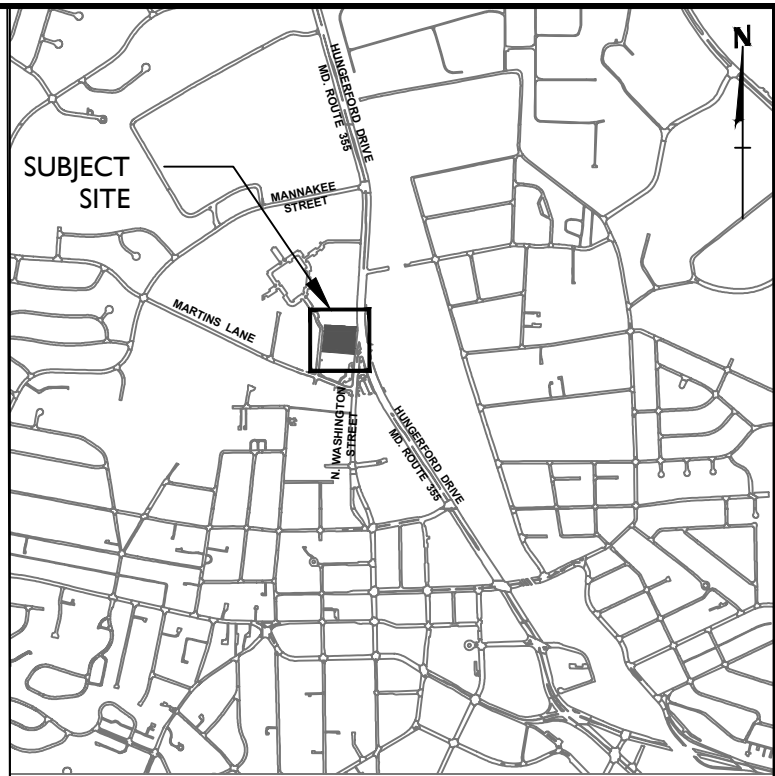
1 INCH = 20 FT

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER
TREES					
CA	4	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	-	2"-2.5" CAL
LS	30	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	-	2"-2.5" CAL
NS	4	NYSSA SYLVATICA	SOUR GUM	-	2"-2.5" CAL
QS	6	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	-	2"-2.5" CAL
QR	7	QUERCUS RUBRA	NORTHERN RED OAK	-	2"-2.5" CAL
TA	12	TILIA AMERICANA	AMERICAN LINDEN	-	2"-2.5" CAL
EVERGREEN TREES					
PG	9	PICEA PUNGENS 'GLAUCA GLOBOSA'	COLORADO SPRUCE	B & B	
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE
SHRUBS					
BL	48	BUXUS SEMPERVIRENS 'GREEN PILLAR'	GREEN PILLAR COMMON BOXWOOD	5 GAL	
RR	18	ROSA X 'KNOCKOUT'™	ROSE	#3 CONT	
EVERGREEN SHRUBS					
IG	25	ILEX GLABRA	INKBERRY HOLLY	5 GAL	

LEGEND

- PROPOSED PAVING
- PROPOSED MICRO-BIORETENTION
- PROPOSED CMP
- PROPOSED PERIMETER FENCE
- PROPERTY BOUNDARY
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING VEGETATION
- PROPOSED TREES
- PROPOSED SHRUB
- PROPOSED LIGHT



VICINITY MAP

SCALE 1" = 2,000'

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SEAL & SIGNATURE

WASHINGTON SQUARE Landscape Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

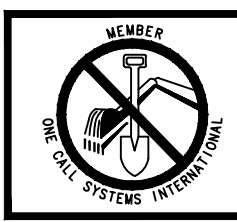
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2023.03.27	#####
#	#
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#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	LANDSCAPE PLAN

DRAWING NUMBER

2024.08.09 - 05:38 PM



CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

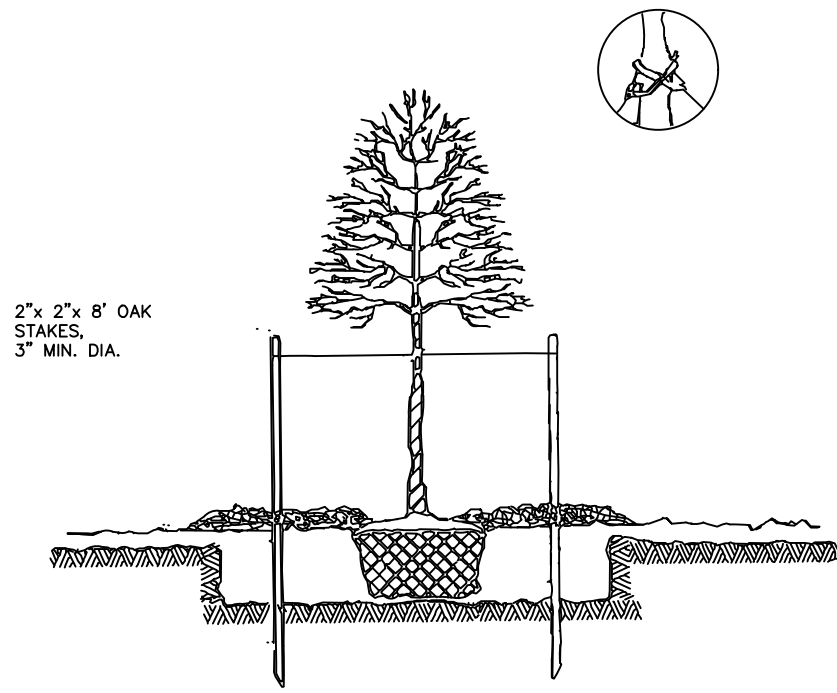
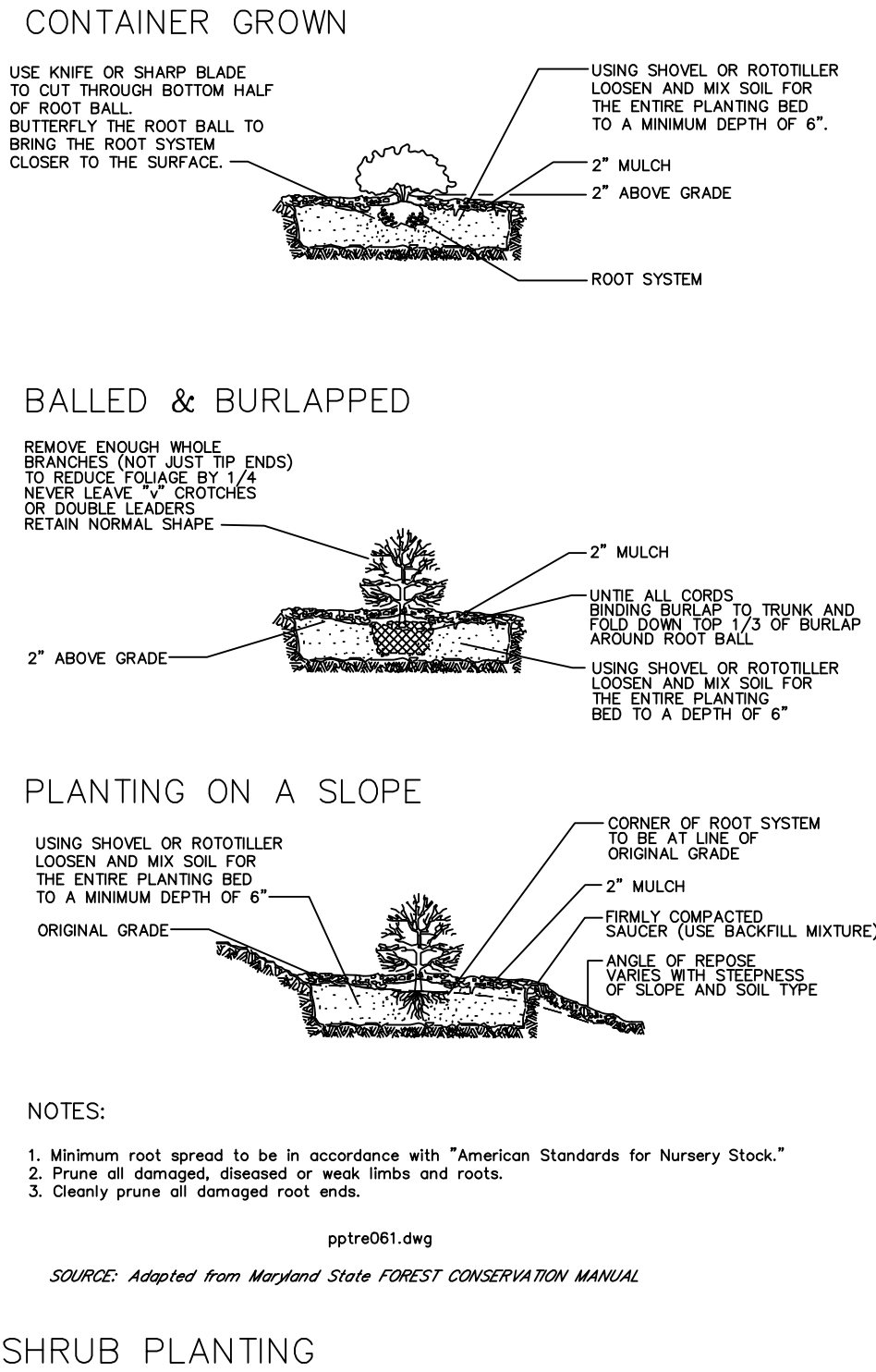
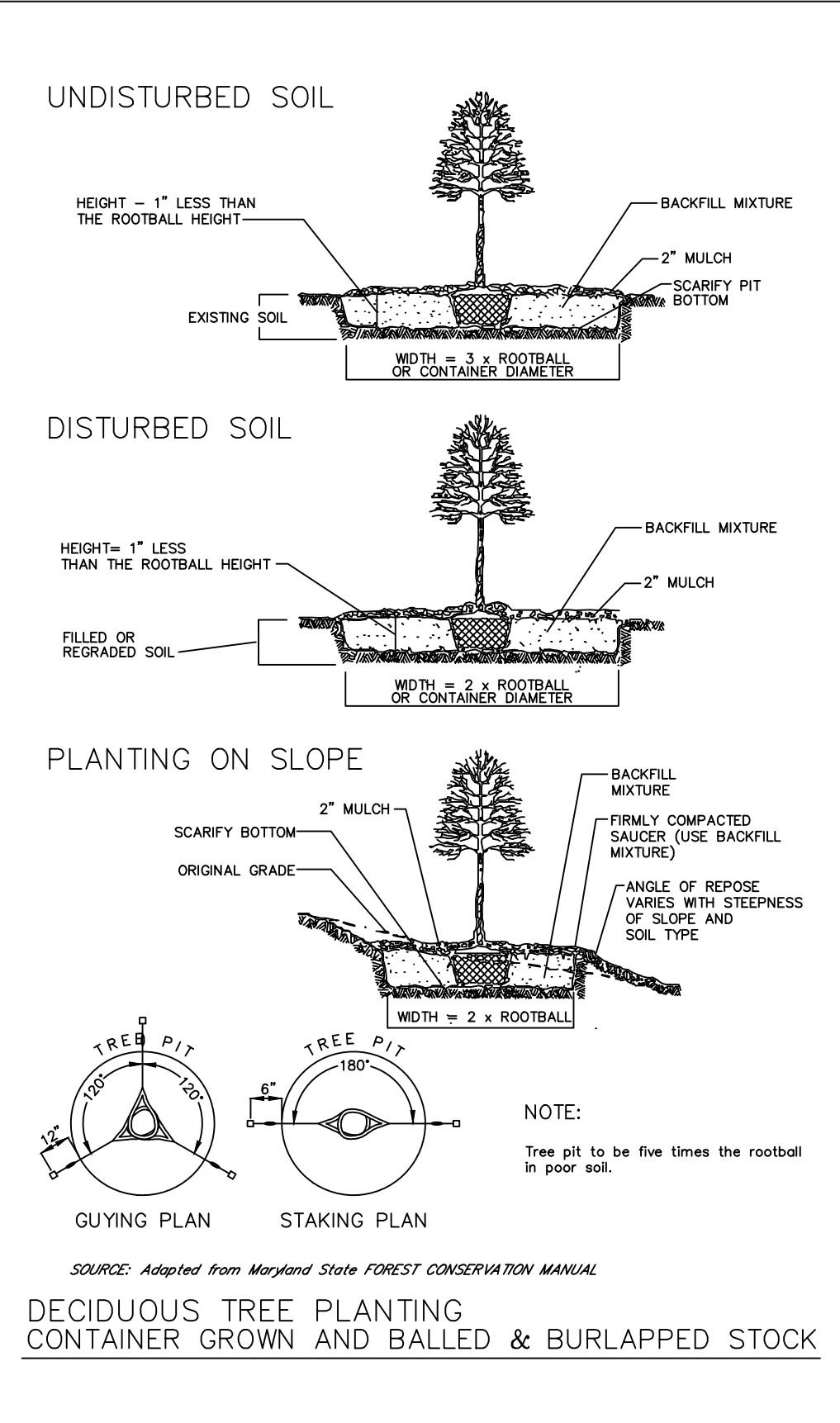
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Preliminary Not For Construction

L-01

LANDSCAPE NOTES

- Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to site, growth, and size of ball and density of branch structure. Contractor to insure conformance to national and local building codes and ordinances.
- All plants (B&B or container) shall be properly identified by weatherproof labels securely attached hereto before delivery to project site. Labels shall identify plants by name, species and size. Labels shall not be removed until the final inspection by the owners representative.
- Any material and/or work may be rejected by the owners representative if it does not meet the requirements of the specifications. The contractor shall remove all rejected materials from the site.
- The contractor shall furnish all plants in quantities and sizes to complete the work as specified in plant schedule. The landscape contractor shall be responsible to verify all plant quantities on the plans prior to commencement of work. Quantities in the plant schedule are for the contractors convenience only and do not constitute the final count.
- Substitutions in plant species shall be permitted with the written approval of the owners representative per the plant substitution list shown.
- Plants shall be located as shown on the drawings and by scaling or as designated in the field by the owners representative. All locations are to be approved by the owners representative before excavation.
- Contractor shall locate and mark all underground utility lines and irrigation systems prior to excavating plant beds or pits. All utility easement areas where no planting shall take place shall also be marked on the site, prior to locating and digging the tree pits. If utility lines are encountered in excavation of tree pits, other locations for the trees shall be selected by the owners representative. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the owners representative.
- All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.
- During planting operations, excess and waste materials shall be promptly and frequently removed from the site.
- All plant shrub beds are to be dug to a minimum of 24" deep and all existing soil, construction debris, roots and other foreign material are to be removed and discarded off site. All plant shrub beds are to be excavated to the width shown on the plans.
- All tree pits are to be excavated to a minimum depth to allow the tree root ball to be a minimum of 4" higher than finish grade. The tree root ball is to rest on undisturbed soil, or a compacted bed must be prepared for the tree root ball to rest on and which will not subside causing the tree to sink below finish grade. All tree pits are to be a minimum of 12" larger on every side of the trees root ball.
- The planter beds are to be entirely cleaned out to the undisturbed soil level. All existing soil, construction debris, roots and other foreign material are to be removed and discarded offsite.
- The topsoil to be used to fill the tree pits, shrub beds and planters is to be plant specific. The topsoil for the trees, shrubs and planter shall consist of a maximum 2/3 existing or imported topsoil from the site, which is cleaned and free of clay and a minimum of 1/3 peat moss, or other approved organic material. All of these materials are to be mixed prior to placing in the planter or backfilling when planting.
- The contractor is responsible to ensure that all tree pits, shrub beds and planter are well drained. The landscape contractor, without cost to the owner, will replace all plant material which is affected by poor drainage.
- All lawn areas are to be seeded with grass seed appropriate for each of the sunlight conditions, which exist on the site.
- All lawn areas are to be tilled to a depth of 6" and all foreign material removed which will inhibit the healthy growth of the lawn. All old grass and grass roots are to be removed from the site. New topsoil of a minimum 4" is to be placed over the areas to be sodded. The grass areas are to be fine graded to ensure that no undulations occur in the lawn. The lawns are to be graded in such a way as to appear perfectly well tailored and even. The lawn topsoil is to be rolled and lightly irrigated prior to placing of the seed. The seed is not to be laid on frozen or soaked soil.
- The existing trees are to be protected during the preparation of the lawn areas. The roots of the trees are to be undisturbed during the cleaning of the topsoil.
- The trees and shrubs are to be handled with the best care and attention to ensure that the plants are not bruised, broken, torn, or damaged in any way, which will affect the plants general appearance and well being.
- The trees and shrubs are to be planted with the accepted standards of the American Association of Nurserymen. The plants are to be properly watered and backfilled during the planting. All care must be taken to ensure that the plants are upright, a plant's best side is exposed to the point of the plants greatest visibility.
- The trees must be staked in accordance with acceptable nursery practice to ensure that they are secure in the ground and will grow straight and uniform. The trees are to be wrapped, if the contractor deems it necessary, to protect the trees from sun scald or insect attack.
- The Landscape Contractor is to provide a 1-year guarantee for all plant material and other work done on site.
- Large growing plants are not to be planted in front of windows, under building overhangs, or in drainage swales. Shrubs planted near H.V.A.C units to be located so that shrubs at maturity will maintain 1 foot airspace between unit and plant.
- Contractor to slightly adjust plant locations in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as not to impede drainage away from buildings.
- Trees shall be located a minimum of 3 feet from walls and walks.
- Quantities as shown on the plan shall govern over plant list quantities. Contractor to verify plant list totals with quantities shown on plan.
- Groups of shrubs shall be placed in a continuous raised mulch bed with smooth continuous lines. All mulched bed edges shall be curvilinear in shape following the contour of the plant mass. Trees located within 4 feet of shrub beds shall share some mulch bed.
- Contractor shall provide luminaries, poles, footings, and conduit.
- Contractor to provide conduit as requested by Potomac Edison.
- All landscaping within SWM easements will be reviewed, approved and inspected by City of Rockville Water Resources Staff. Refer to SWM Landscape Drawing Set.



- NOTES:
- The staking of trees may be used only when specified on the planting plan.
 - Stakes and wires must be removed no later than 12 months after planting.
 - Tree pit preferred to be five times the rootball size, particularly in poor soil.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

STAKED TREE SPECIFICATION (2)

TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" DBH OR GREATER												
PLANTING SEEDLINGS, WHIPS												
MINIMUM MONITORING		+									+	
FERTILIZER* (F NEEDED)												
WATER **												
PRUNING												

KEY

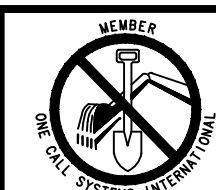
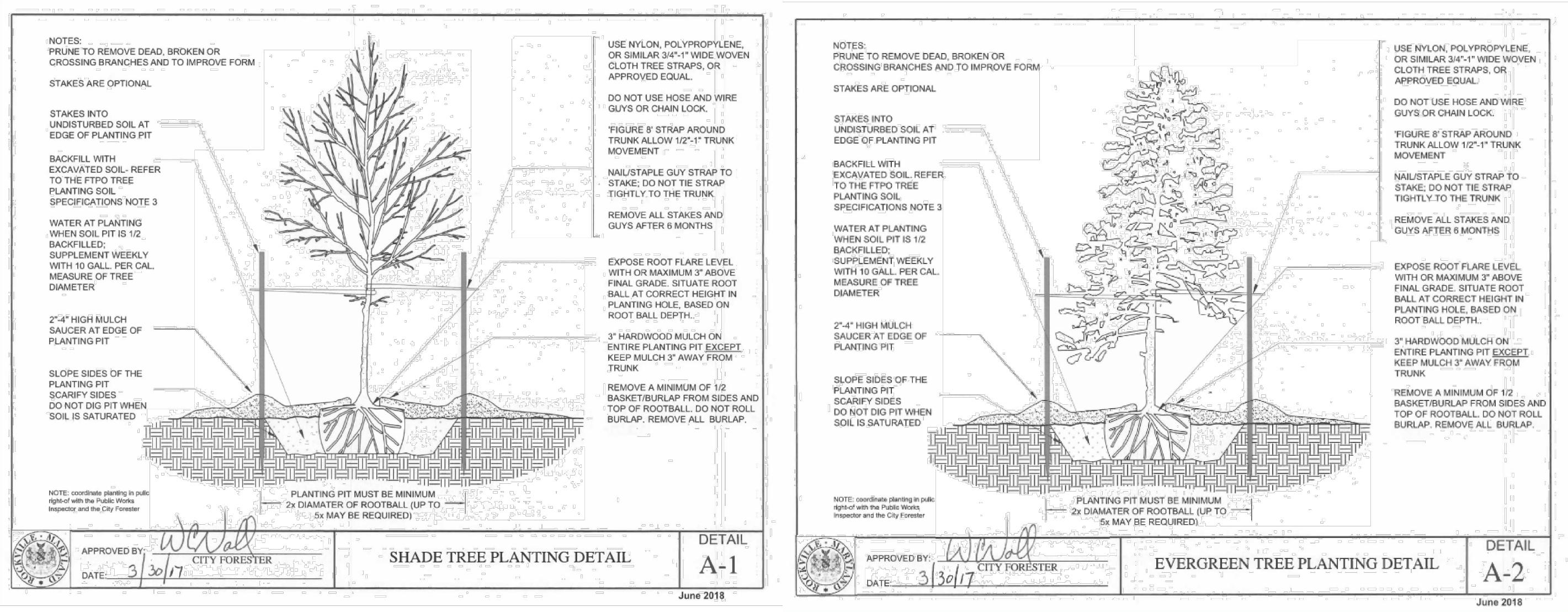
- ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS
- DEPENDENT UPON SITE CONDITIONS
- DEPENDENT UPON SITE CONDITIONS: WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"
- GREATLY RECOMMENDED
- RECOMMENDED WITH ADDITIONAL CARE
- RECOMMENDED

NOTE:

The planting and care of trees is most successful when coordinated with the local climatic conditions. This calendar summarizes some of the recommended time frames for basic reforestation and stress reduction activities.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

TREE PLANTING AND MAINTENANCE CALENDAR



CALL "MISS UTILITY" AT
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48 Hours Before Start Of Construction

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CONSULTING

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Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Lead:
Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Renfro

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WASHINGTON SQUARE
Landscape Plan

WSSC Grid: 219NW07, #####
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#
#	#

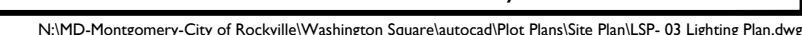
REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	

LANDSCAPE DETAILS

DRAWING NUMBER

L-02





NOTE: ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE AND SUBJECT TO CHANGE WITH FINAL DESIGN AND BUILDING PERMIT APPLICATIONS.

Community Planning & Development Services
Received
August 12, 2024

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Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
-	-
-	-
-	-

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS
DRAWING TITLE	Illustrative Architecture

DRAWING NUMBER	A-01
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WASHINGTON SQUARE

Site Plan

Architecture Plan

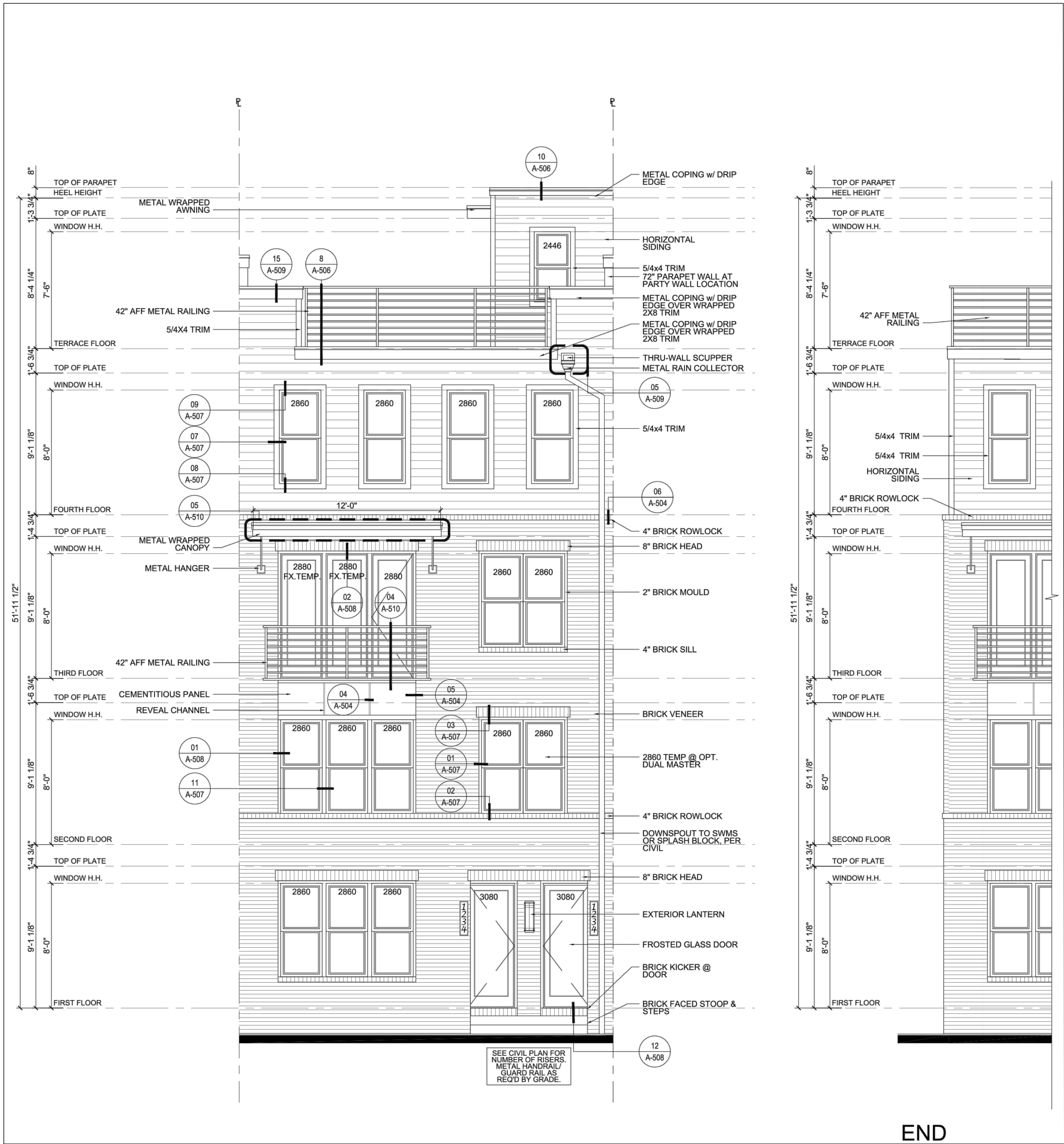
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City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
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REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS
DRAWING TITLE	Arch Elevation - Front

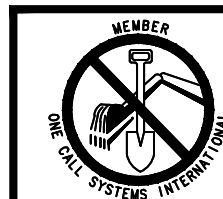
A-02



Front Elevation

SCALE: NTS

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DRAWING NUMBER



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Lerch Early Brewer
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7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814

301.347.3756

Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Bodgers Consulting, Inc.

Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200

Germantown, Maryland 20878
301.948.4700

301.948.4700
Attn: Randall B.

Attn: Randall Rentfro

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WASHINGTON SQUARE

Site Plan

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WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

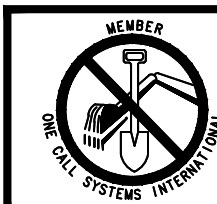
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2023.03.27	Initial Submission
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-	-

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS
DRAWING TITLE	

DRAWING NUMBER

A-03



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SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	
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REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS

DRAWING TITLE
**Arch Elevation - Side
Utility Closet**

DRAWING NUMBER

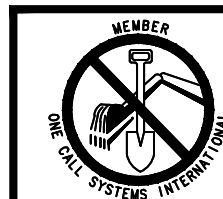
A-04



Side Elevation Utility Closet

SCALE: NTS

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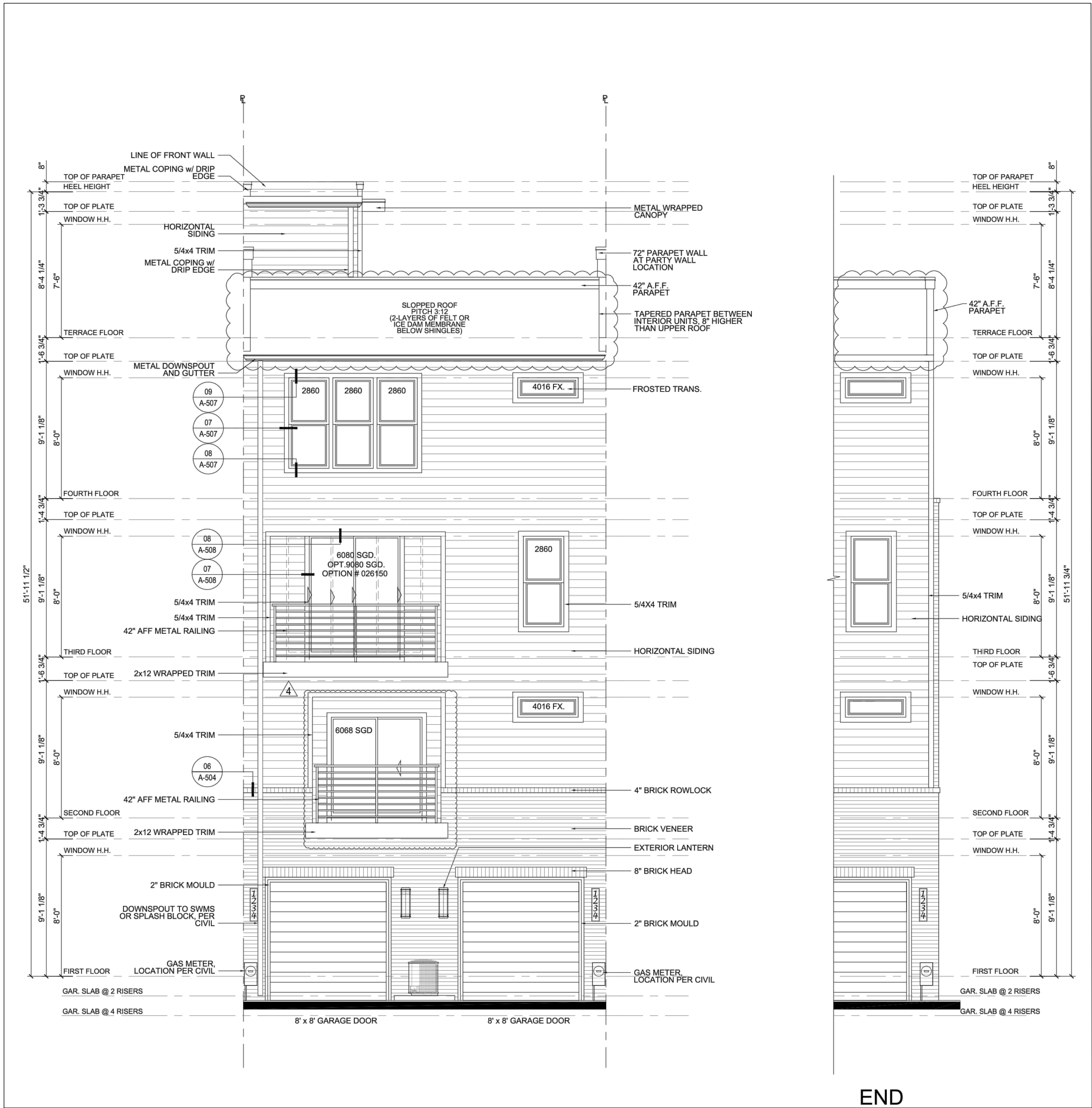
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ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
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REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS
DRAWING TITLE	Arch Elevation - Rear

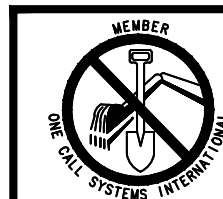
A-05



Rear Elevation

SCALE: NTS

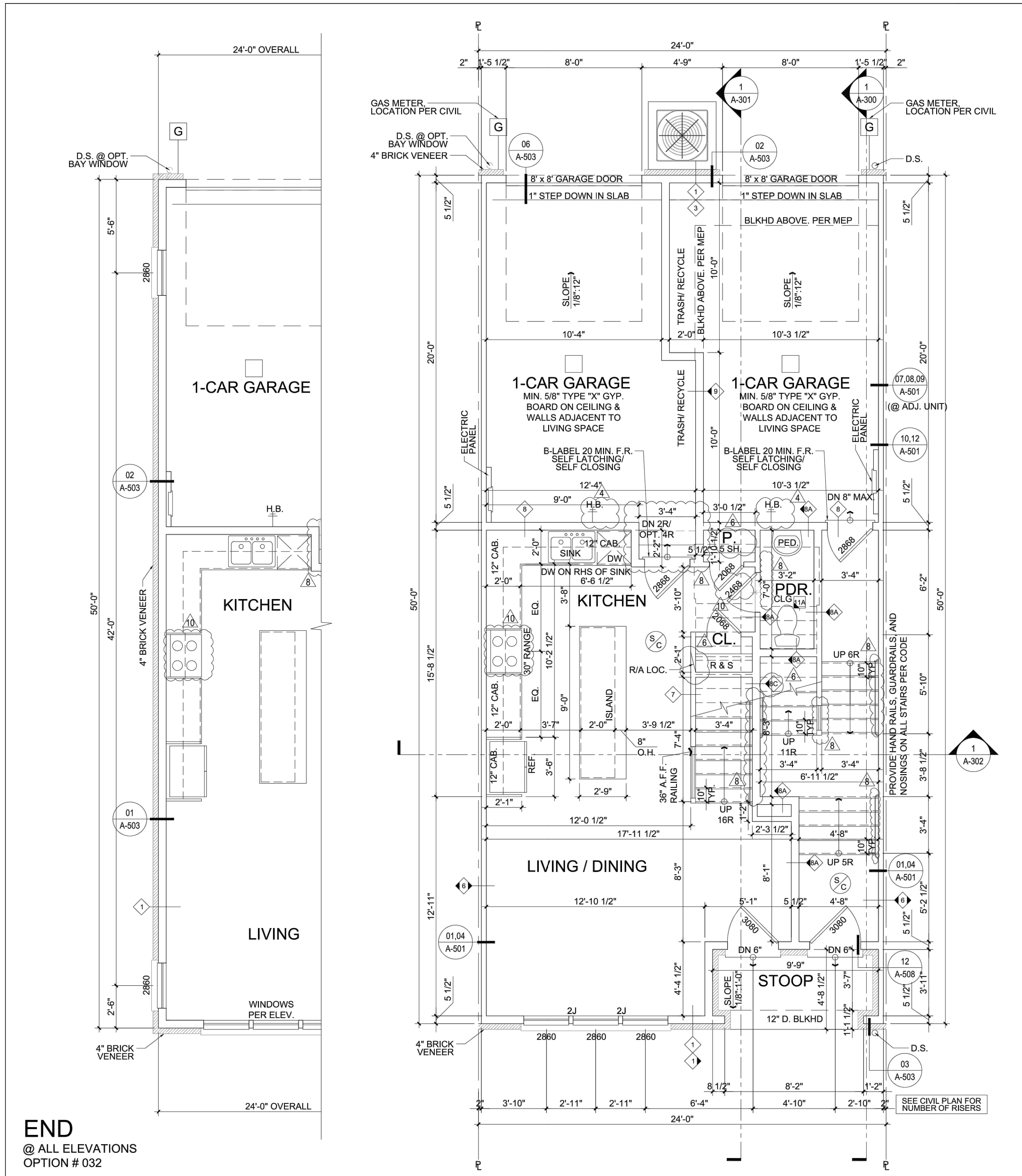
FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE
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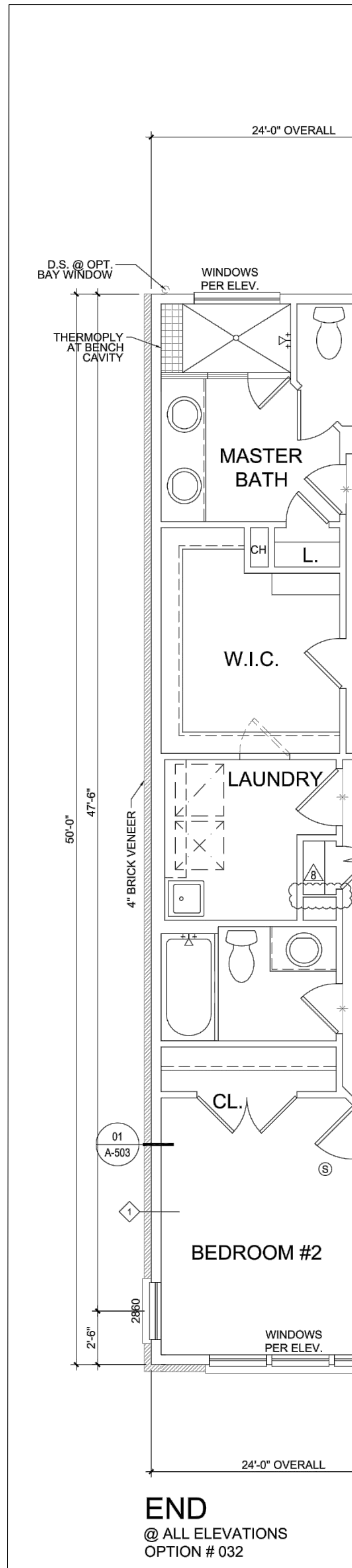
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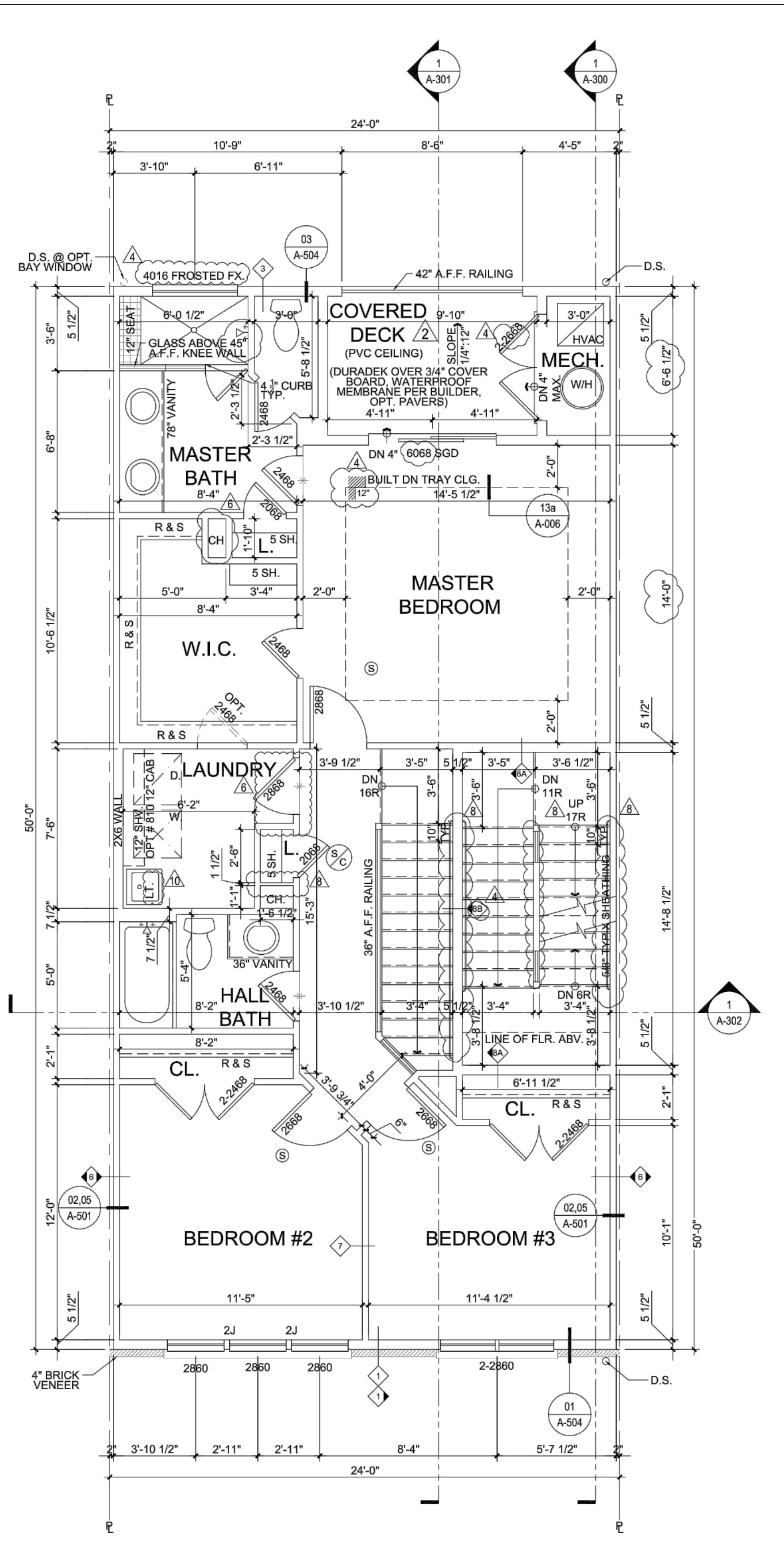
1st Floor Plan

SCALE: NTS



END

@ ALL ELEVATIONS
OPTION # 032

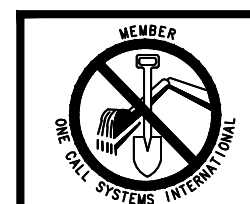


2nd Floor Plan

SCALE: NTS

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Community Planning & Development Services
Received
August 12, 2024



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WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23

City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS
DRAWING TITLE	Arch Floor Plans - I & 2

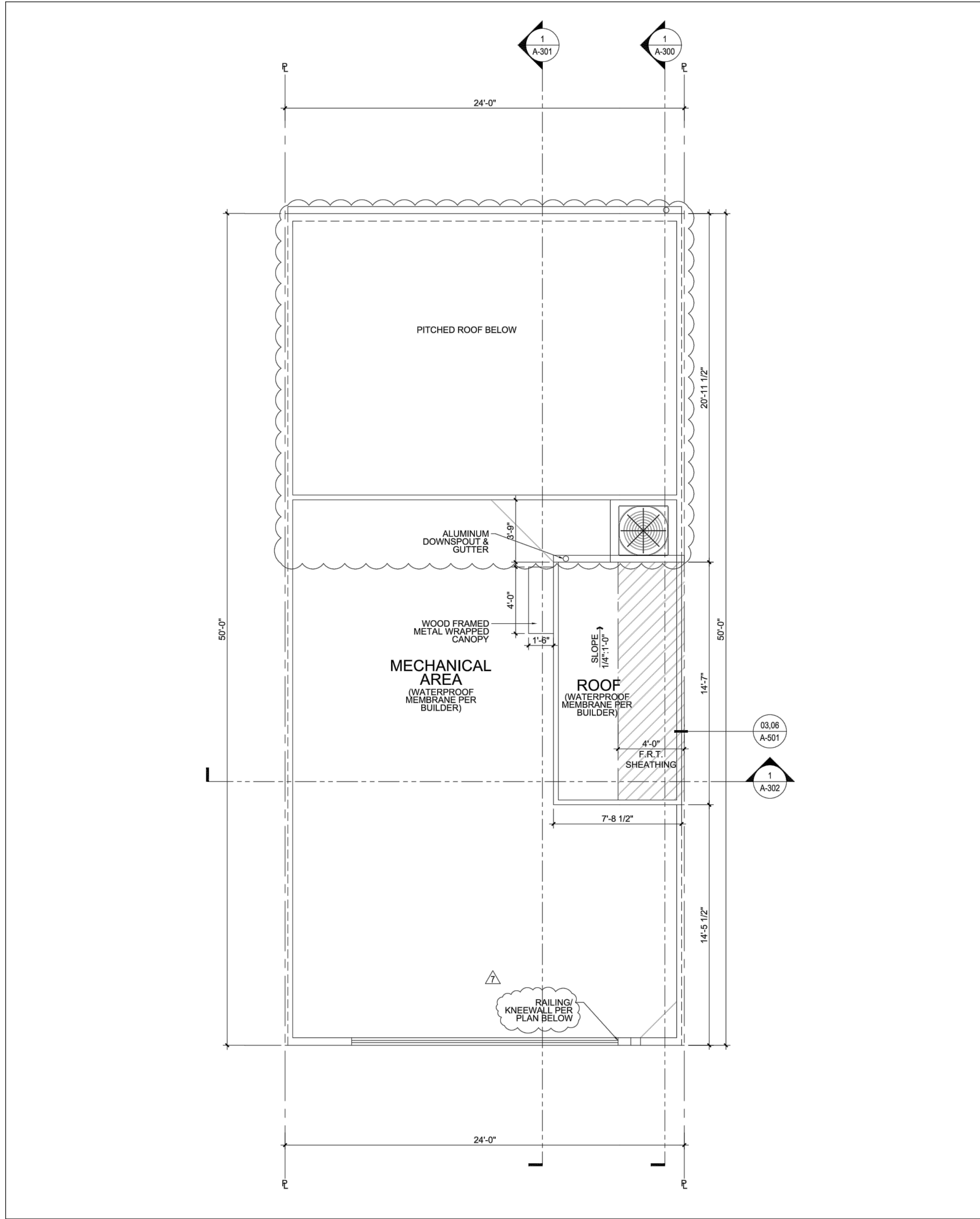
DRAWING NUMBER

A-06

DRAWING NUMBER **A-07**

Preliminary Not For Construction





Roof Plan
SCALE: NTS

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE
AND SUBJECT TO CHANGE WITH FINAL DESIGN AND
BUILDING PERMIT APPLICATIONS.

Community Planning & Development Services
Received
August 12, 2024

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

DESIGN TEAM
Owner / Developer:
Toll Mid-Atlantic LP Company, Inc.
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:
Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700
Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
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.	.

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	NTS
DRAWING TITLE	Arch Floor Plan - Roof



LEGEND

Existing Fire Hydrant

Proposed Fire Hydrant

FDC Location

Main Side Hinge Door (Set of 2)

Fire Access Route

Proposed Building

Subject Site Property Line

BUILDING CODE SUMMARY	
USE GROUP:	R3
CONSTRUCTION TYPE:	VB
STORIES ABOVE GRADE:	4, WITH ACCESSIBLE TERRACE
ELEVATOR PROVIDED:	NO
ACCESSIBLE UNITS:	NO
CARBON MONOXIDE DETECTORS:	PROVIDED PER IBC 915.1
SMOKE DETECTORS:	PROVIDED PER IBC 907.2.11.2
SPRINKLERED:	YES - TO COMPLY WITH NFPA 13R, IBC 903.2.8.1
SPRINKLER TYPE PROVIDED:	I3R
ALLOWABLE HEIGHT:	4 STORY / <60'-0" (SECTION 504.3 / TABLE 504.3)
AREA ALLOWABLE:	UNLIMITED (TABLE 506.2)
BUILD. HEIGHT (TO TOP OF CLG):	51'-11 3/4" (MEASURED FROM SLAB TO TOP OF ROOF)
MINIMUM TREAD DEPTH:	10"
MAXIMUM RISER HEIGHT:	7- 3/4"
RADON PROTECTION:	PASSIVE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPENDIX AF, IRC 2021

FIXTURE UNIT CALCULATIONS - 3 BUILDING'S (48) 2-OVER-2'S					
PROJECT NAME: Washington Park 2 Over 2 Multifamily Units					
FIXTURE TYPE	QUANTITY	COMBINED CW & HW		WASTE FIXTURE UNITS	
		COMBINED FIXTURE UNITS	TOTAL FU	FU EACH	TOTAL FU
BATHROOM GROUP - PRIVATE - FLUSH TANK	144	3.6	518.4	5.0	720
BATHTUB - PRIVATE	48	1.4	67.2	2.0	96
DISHWASHING MACHINE - PRIVATE	48	1.4	67.2	2.0	96
KITCHEN SINK - PRIVATE	48	1.4	67.2	2.0	96
LAUNDRY TRAY (1 TO 3)	48	1.4	67.2	2.0	96
WASHING MACHINE - PRIVATE - (8 LB.)	48	1.4	67.2	2.0	96
TOTALS			854.4		1200
			COMBINED WSFU		WASTE FU
DESCRIPTION		GPM WORKSHEET	GPM	NO.	GPM
WSFU -> GPM (NON-CONTINUOUS) (TABLE E103.3(3) APP. E OF IPC)					185.8
CONTINUOUS GPM LOADS			5	24	120
HOSE BIB					
TOTAL BUILDING SERVICE GPM					305.8

FIXTURE UNIT CALCULATIONS - WALNEY					
PROJECT NAME: Washington Park 2 Over 2 Multifamily Units					
FIXTURE TYPE	QUANTITY	COMBINED CW & HW		WASTE FIXTURE UNITS	
		COMBINED FIXTURE UNITS	TOTAL FU	FU EACH	TOTAL FU
BATHROOM GROUP - PRIVATE - FLUSH TANK	3	3.6	10.8	5.0	15
BATHTUB - PRIVATE	1	1.4	1.4	2.0	2
DISHWASHING MACHINE - PRIVATE	1	1.4	1.4	2.0	2
KITCHEN SINK - PRIVATE	1	1.4	1.4	2.0	2
LAUNDRY TRAY (1 TO 3)	1	1.4	1.4	2.0	2
WASHING MACHINE - PRIVATE - (8 LB.)	1	1.4	1.4	2.0	2
TOTALS			17.8		25
			COMBINED WSFU		WASTE FU

FIXTURE UNIT CALCULATIONS - Sully					
PROJECT NAME: Washington Park 2 Over 2 Multifamily Units					
FIXTURE TYPE	QUANTITY	COMBINED CW & HW		WASTE FIXTURE UNITS	
		COMBINED FIXTURE UNITS	TOTAL FU	FU EACH	TOTAL FU
BATHROOM GROUP - PRIVATE - FLUSH TANK	3	3.6	10.8	5.0	15
BATHTUB - PRIVATE	1	1.4	1.4	2.0	2
DISHWASHING MACHINE - PRIVATE	1	1.4	1.4	2.0	2
KITCHEN SINK - PRIVATE	1	1.4	1.4	2.0	2
LAUNDRY TRAY (1 TO 3)	1	1.4	1.4	2.0	2
WASHING MACHINE - PRIVATE - (8 LB.)	1	1.4	1.4	2.0	2
TOTALS			17.8		25
			COMBINED WSFU		WASTE FU

Fire Protection Plan

SCALE: 1" = 20'

1" = 20'

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

Toll Brothers
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19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
Ph: 301.948.4700 (Main), Fx: 301.948.6256, www.rodgers.com

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SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Support Exhibit

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER

DATE

SCALE

DRAWING TITLE

2024.08.09

1" = 20'

Fire Protection Site Plan

EXB-01

2024.08.09 - 05:54 PM



LEGEND

		Vehicular - Residential
		Vehicular - Fire Lane / Deliveries/ Waste Management
		Pedestrian

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City Of Rockville, MD, Rockville, Election District 04

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Community Planning & Development Services
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August 12, 2024

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Preliminary Not For Construction

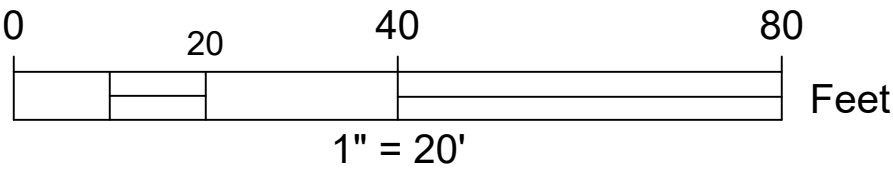
PROJECT NUMBER	----
DATE	09.08.2024
SCALE	1" = 20'
DRAWING TITLE	

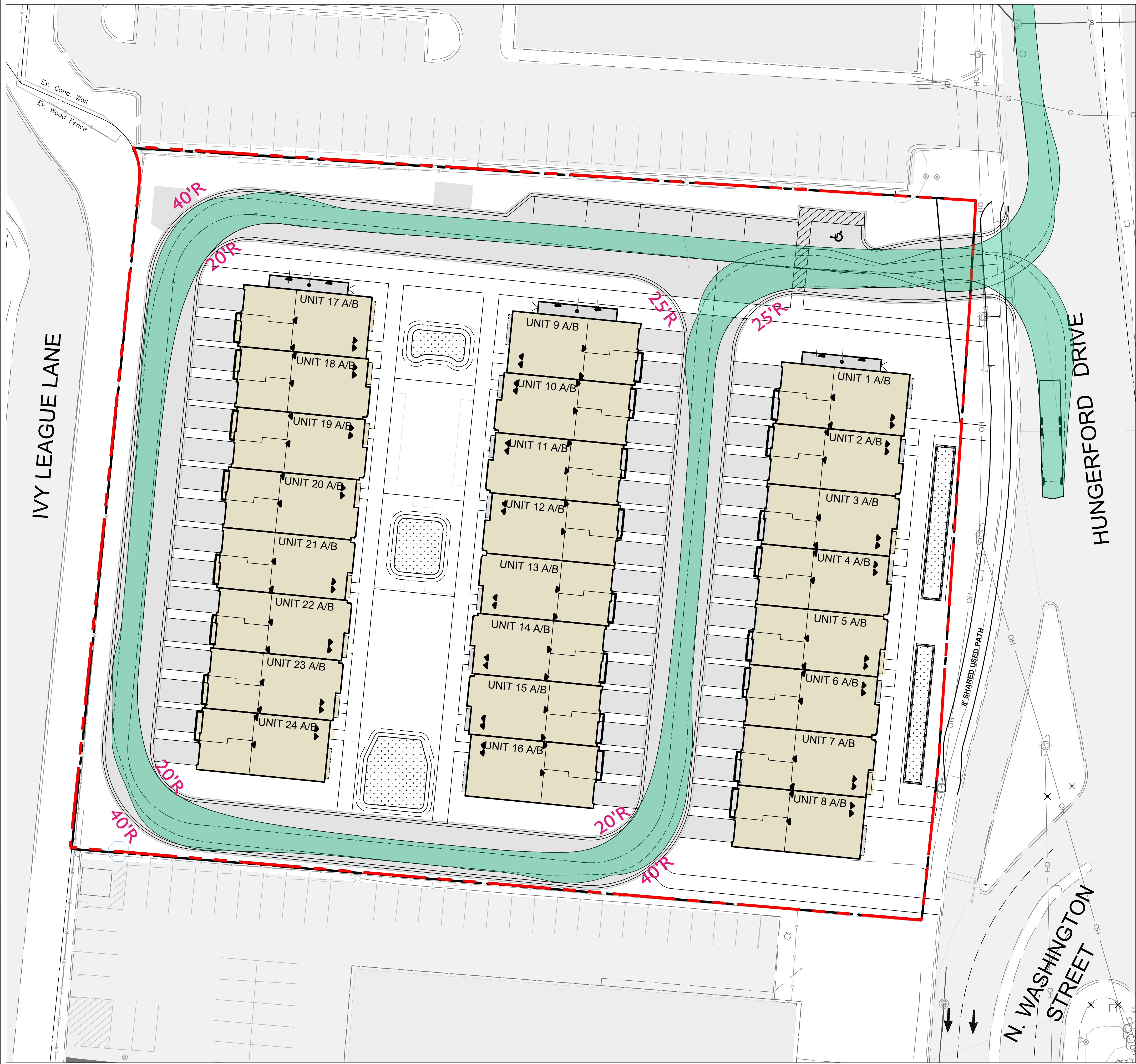
Circulation Plan

EXB-02

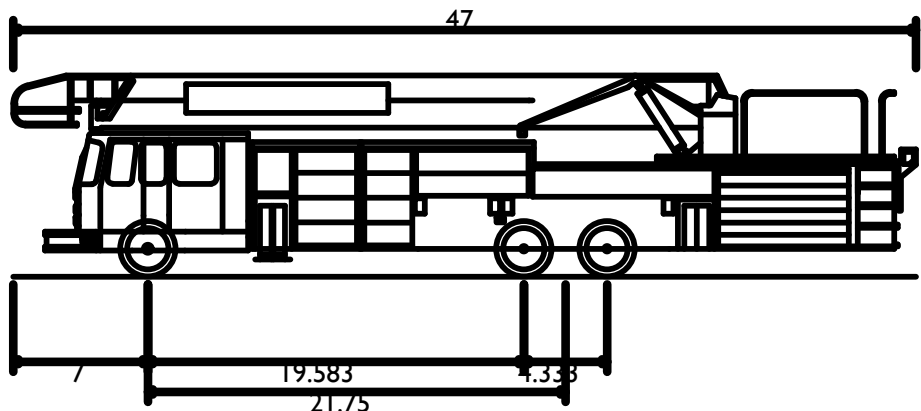
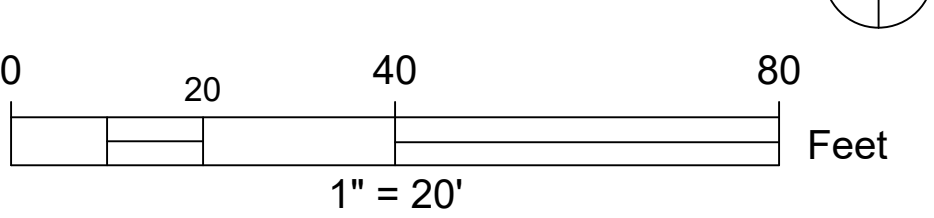
Circulation Plan

SCALE: 1" = 20'



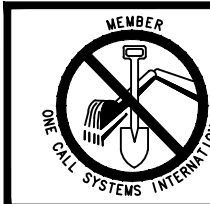


Fire Truck Movement



AT-729
Overall Length 47.000ft
Overall Width 8.250ft
Overall Body Height 10.475ft
Min Body Ground Clearance 0.906ft
Track Width 8.250ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 33.20°

Community Planning & Development Services
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WASHINGTON SQUARE

Site Plan

Support Exhibit

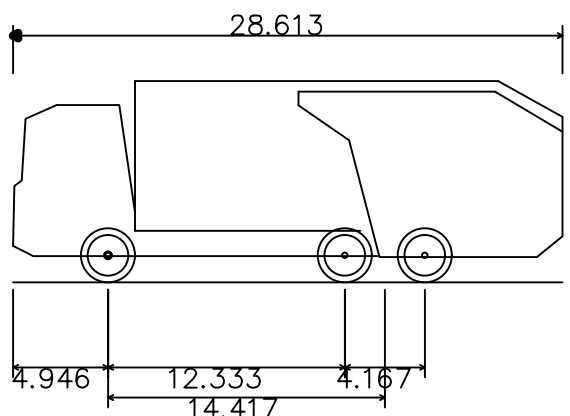
WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	Fire Truck Turning Movement
DRAWING NUMBER	EXB-03



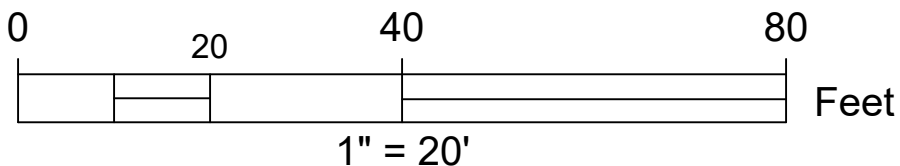


Mack TerraPro Cabover 6x4 MRU613 +
Wayne Curbtender 31cu yd

Overall Length	28.613ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	33.500ft

Garbage Truck Movement

SCALE: 1" = 20'





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1-800257-7777
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WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	
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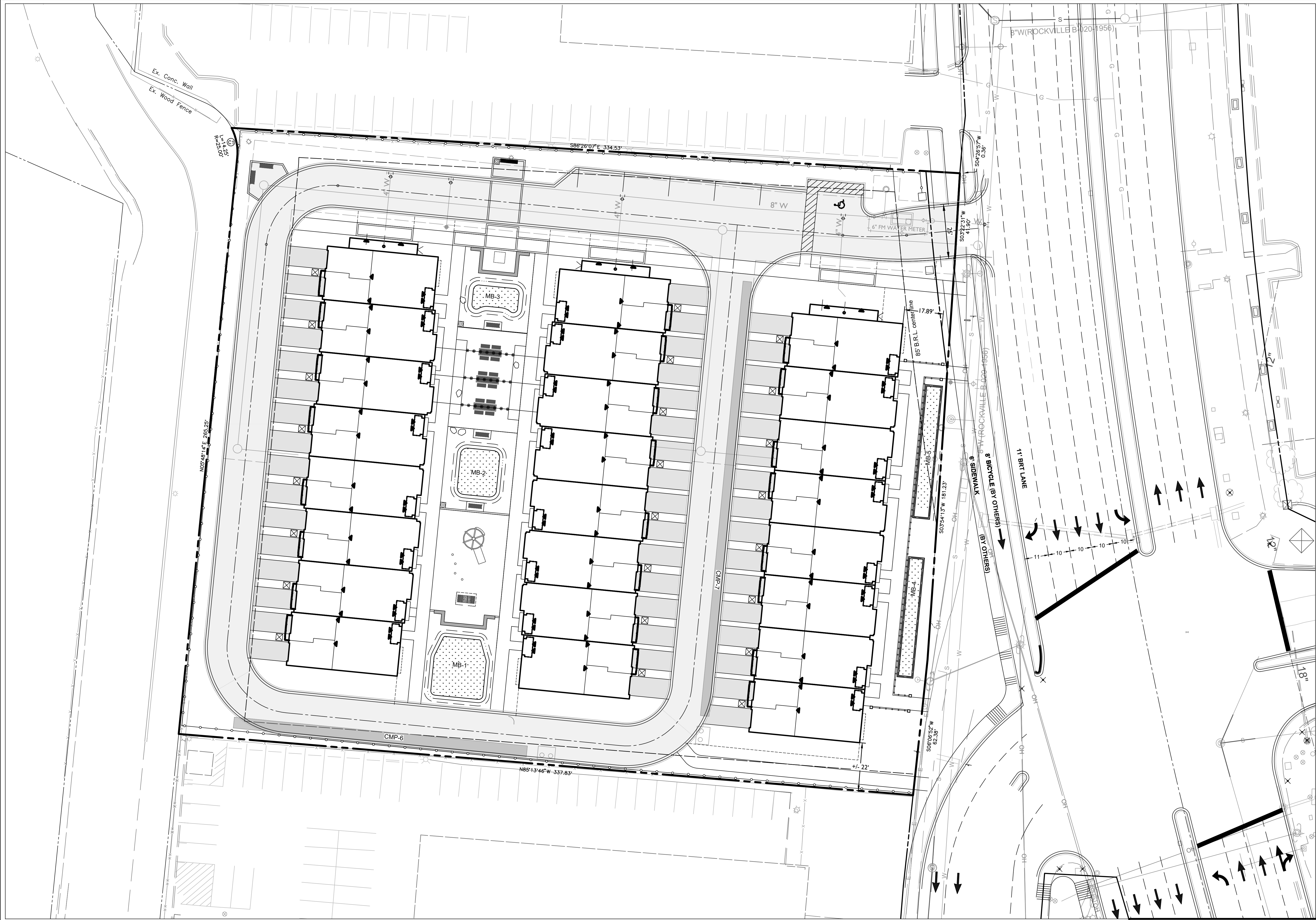
REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'

DRAWING TITLE
**Garbage Truck
Movement**

DRAWING NUMBER
EXB-04

Preliminary Not For Construction



Community Planning & Development Services
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BRT - Ultimate Condition
SCALE: 1" = 20'

GRAPHIC SCALE



1 INCH = 20 FT



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WASHINGTON SQUARE

**Site Plan
Support Exhibit**

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE
DATE
2023.03.27

#

DESCRIPTION

#

REVISIONS

NO

DATE

DESCRIPTION

PROJECT NUMBER

DATE

SCALE

DRAWING TITLE

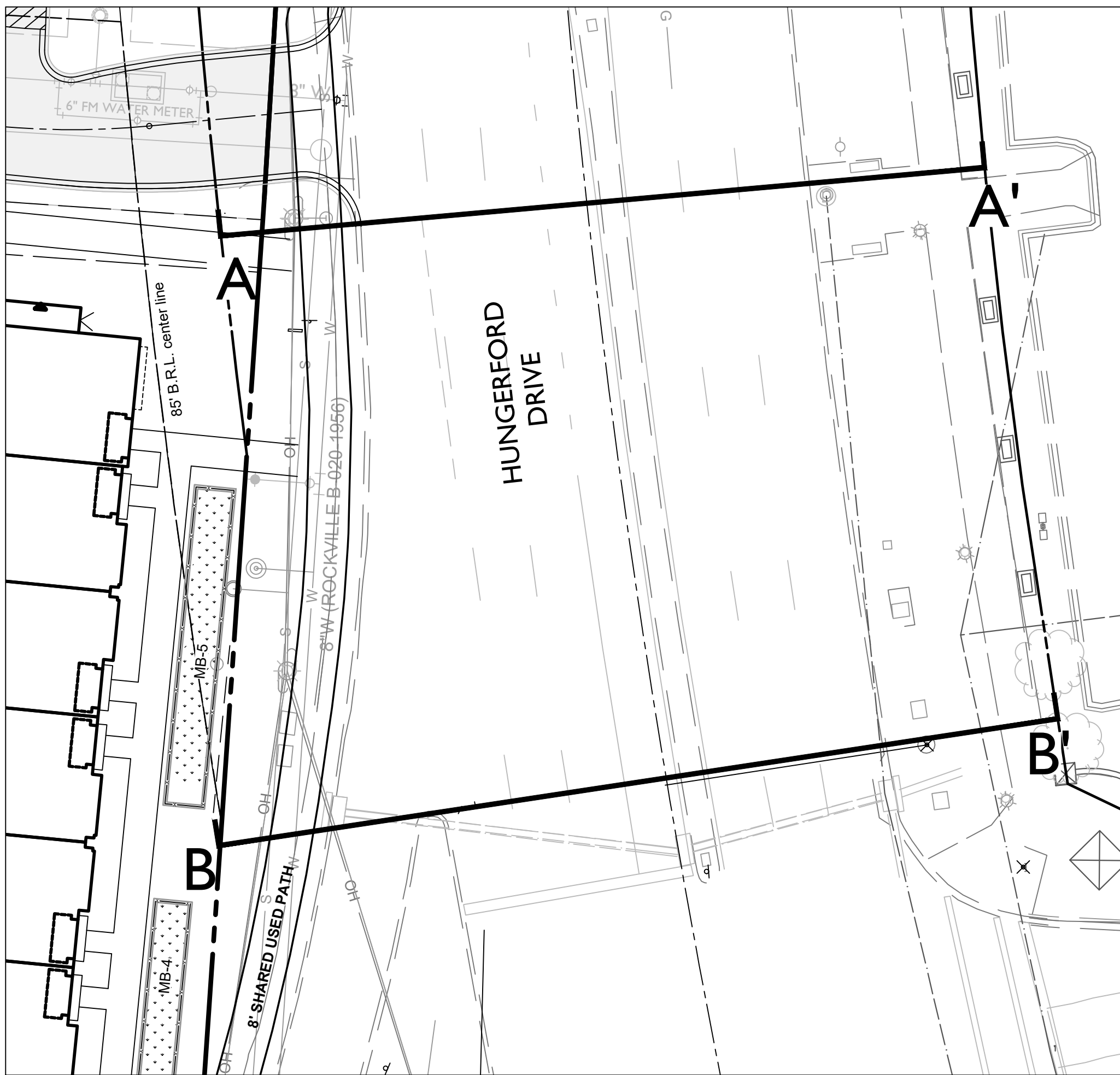
BRT Ultimate Condition

DRAWING NUMBER

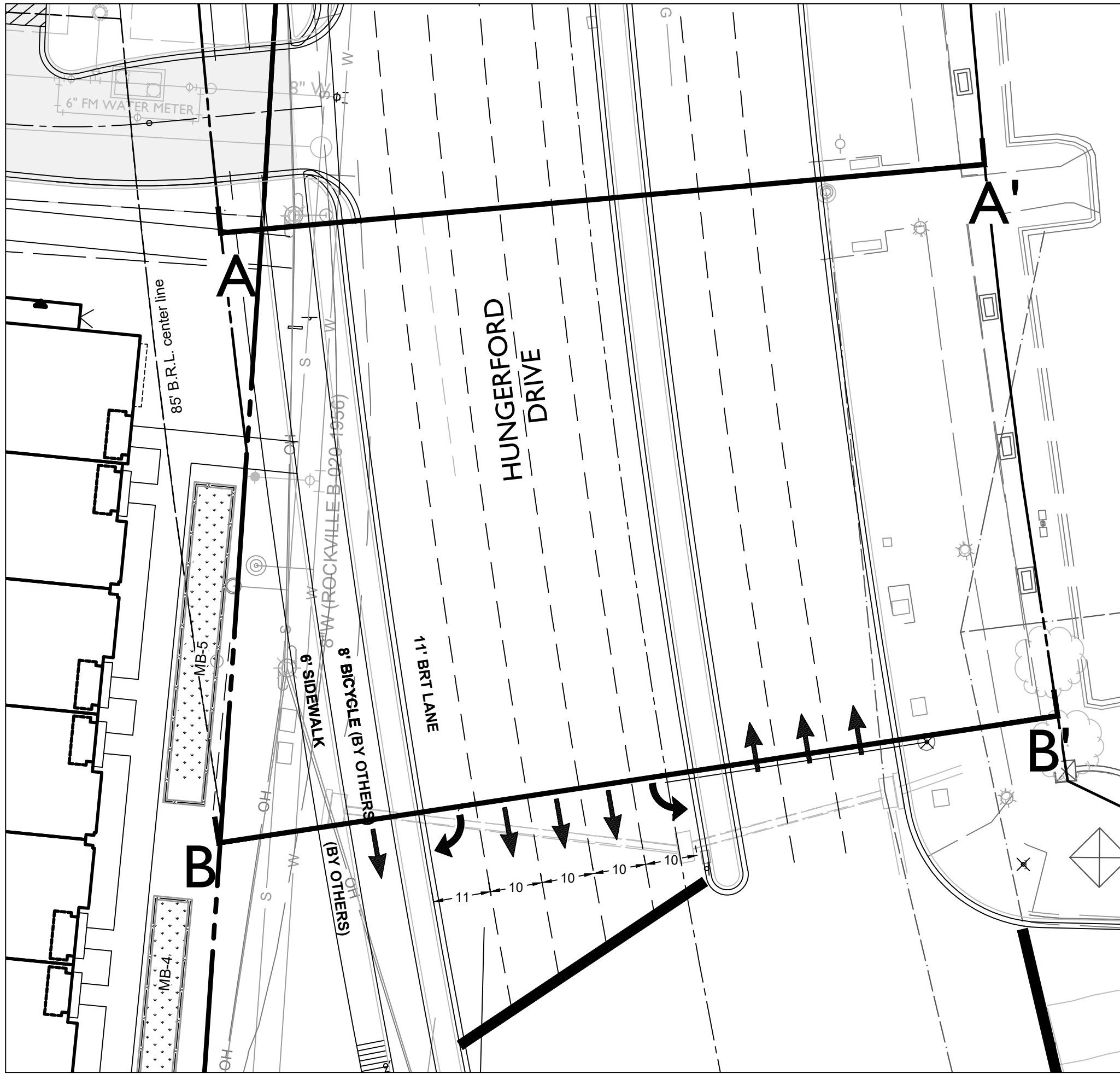
EXB-05

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2024.08.09 - 06:12 PM

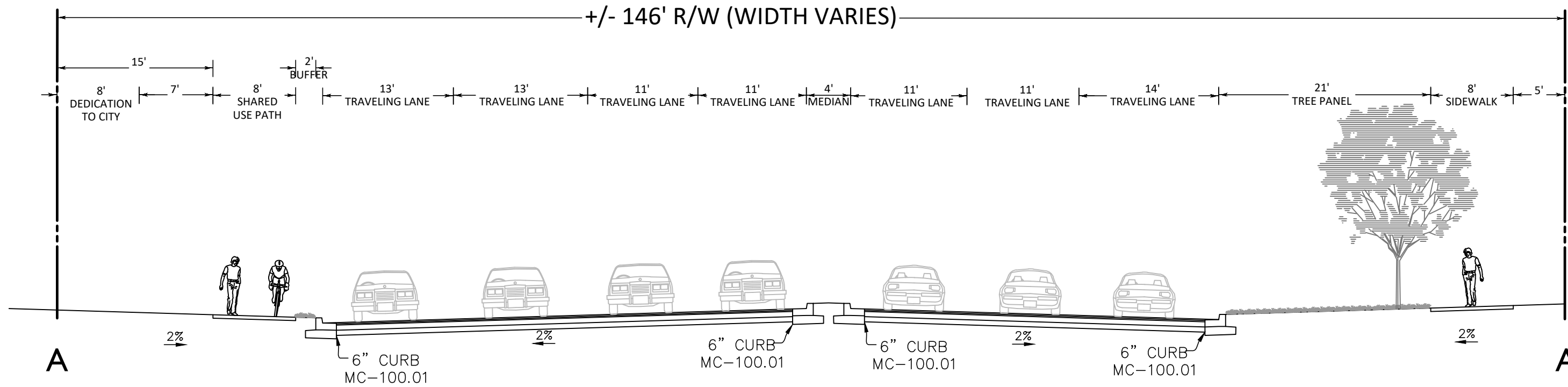




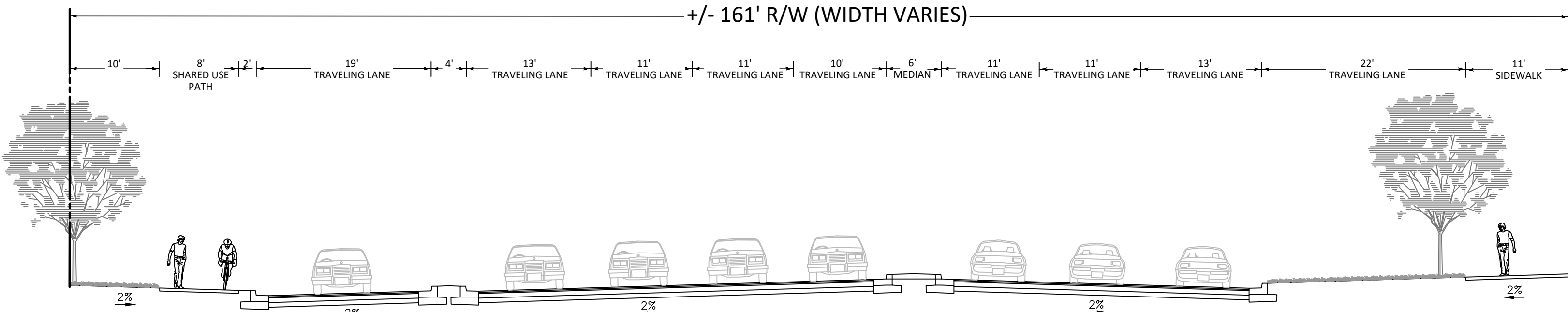
INTERIM CONDITION



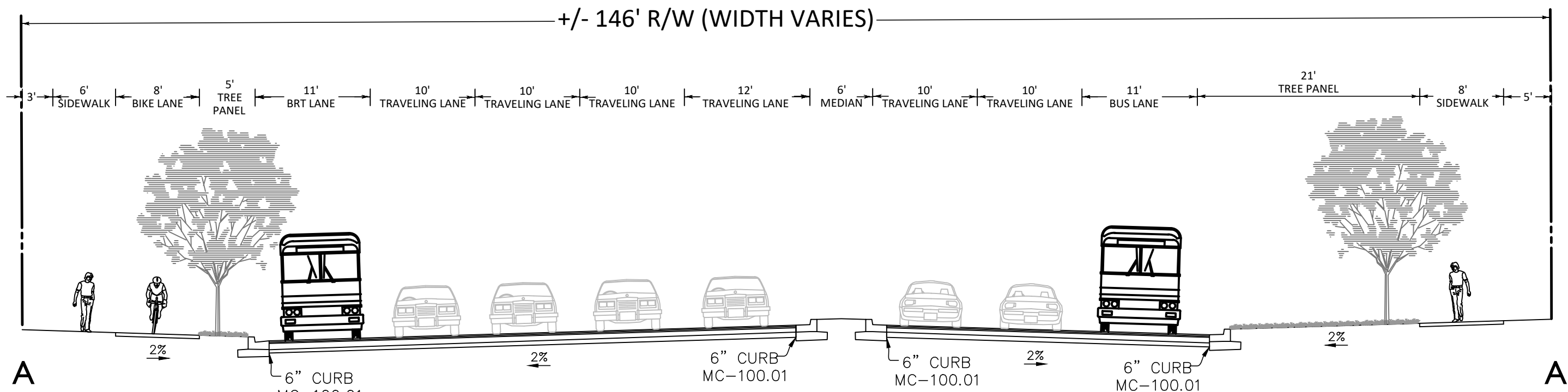
ULTIMATE BRT CONDITION



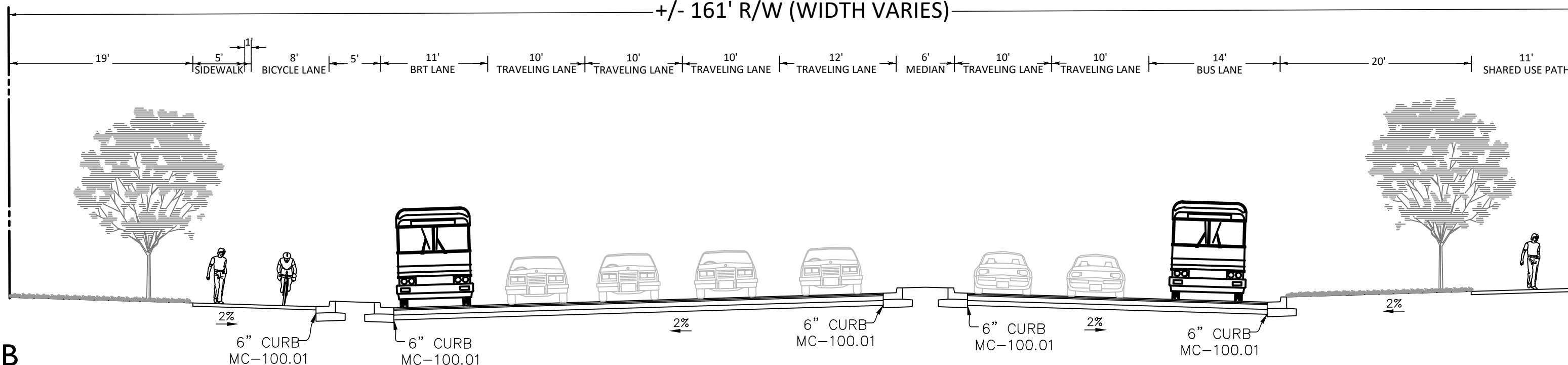
SECTION A-A' INTERIM CONDITION



SECTION B-B' INTERIM CONDITION



SECTION A-A' ULTIMATE BRT CONDITION



SECTION B-B' ULTIMATE BRT CONDITION

ROAD SECTIONS

SCALE: 1" = 20'

GRAPHIC SCALE



1 INCH = 10 FT



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WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.08.09
SCALE	1" = 20'
DRAWING TITLE	ROAD SECTIONS

DRAWING NUMBER
EXB-07

DESIGN TEAM
Owner / Developer

Toll Mid-Atlantic LP Company, Inc.
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Columbia, Maryland 21046
410.381.3263
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Lega

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WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#
#	#

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT NUMBER _____

DATE	2024.00
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DATE 2024.08.

SCALE 1:1

SCALE _____ | " = _____

DRAWING TITLE
EASEMENT PLAN

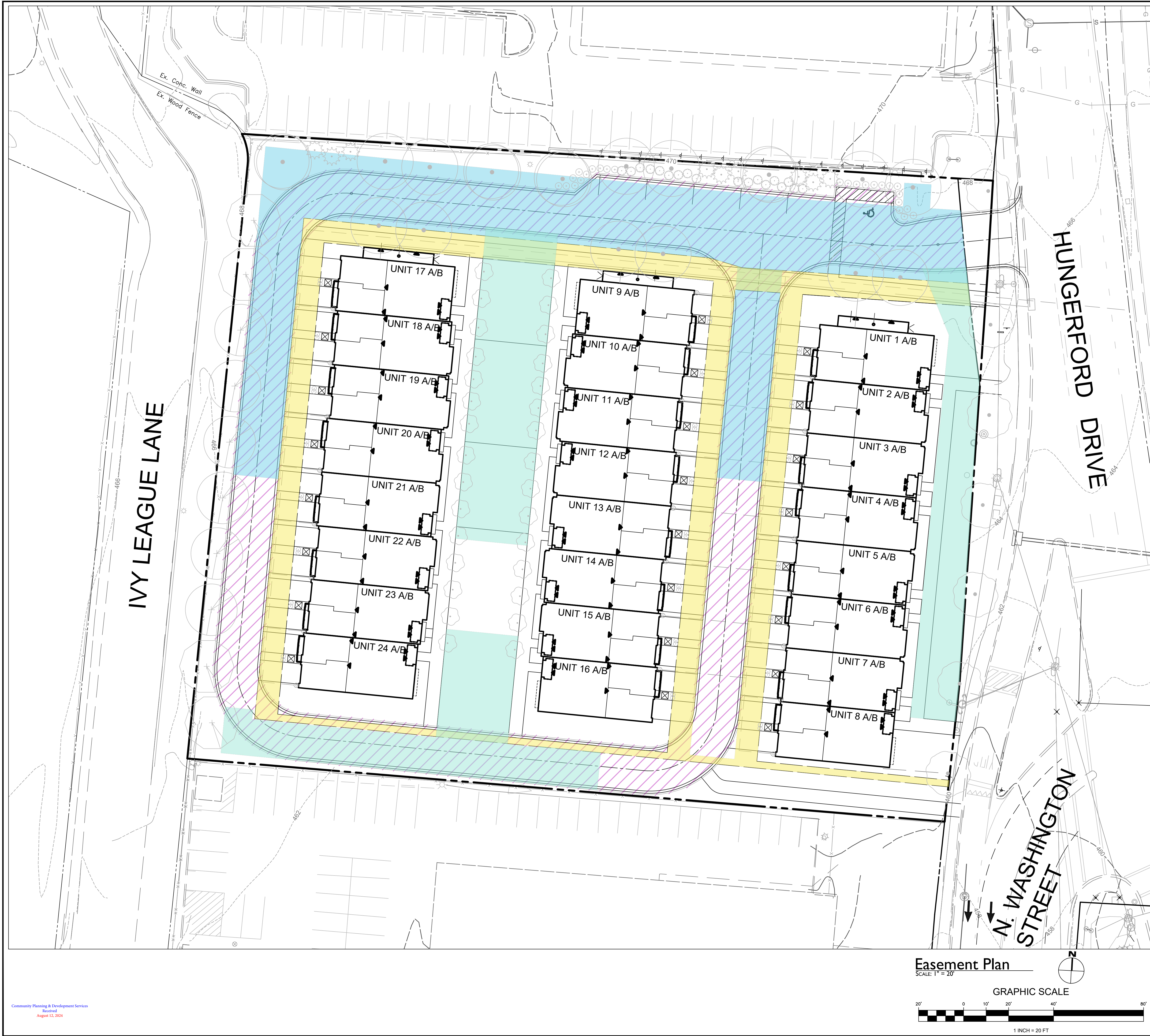
ESSENTIAL TRAIN

INDEX

EXB.0

DRAWING NUMBER **EXB-0**

2024.08.09 - 08:01 PM



Community Planning & Development Service
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August 12, 2024

N:\MMD-Montgomery-City of Rockville\Washington Square\autocad\Plot Plans\Site Plan\FER 03 Easement Plan.dwg, FER 08 EASEMENT PLAN, 8/9/2024 8:01:40 PM, ARCH full bleed D (36.00 x 24.00 inch)

N:\MD-Montgomery-City of Rockville\Washington Square\autocad\Plot Plans\Site Plan\EXB-07 Easement Plan.dwg