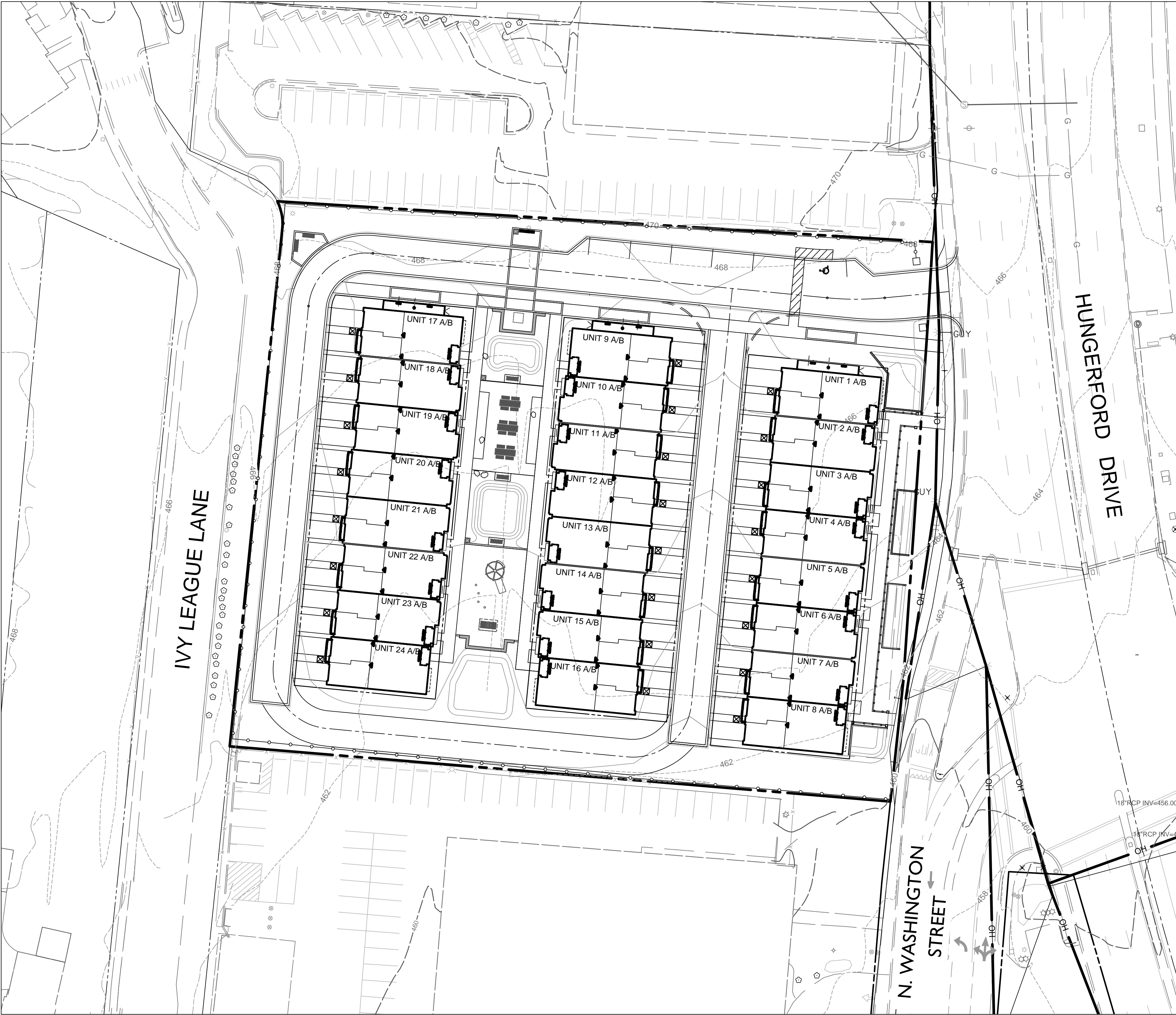


WASHINGTON SQUARE
TYPE 2 SITE PLAN
CITY OF ROCKVILLE, MARYLAND



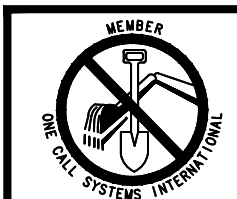
Cover Sheet

SCALE: 1" = 30'

GRAPHIC SCALE



1 INCH = 30 FT



CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Plot Plans\Site Plan\SP-00 Cover Sheet.dwg

SHEET INDEX

- SITE PLAN -
SP-00 - COVER
SP-01 - EXISTING CONDITIONS
SP-02 - SITE PLAN
SP-03 - GRADING PLAN
SP-04 - SITE PLAN DETAILS
SP-05 - SITE AMENITY DETAILS
SP-06 - OPEN AREA & PUBLIC USE EXHIBIT

- LANDSCAPE & LIGHTING PLAN -
L-01 - LANDSCAPE PLAN
L-02 - LANDSCAPE NOTES & DETAILS
L-03 - LIGHTING PLAN & DETAILS

- ARCHITECTURAL -
A-01 - ILLUSTRATIVE ARCHITECTURE
A-02 - FRONT ELEVATION
A-03 - SIDE ELEVATION
A-04 - SIDE ELEVATION
A-05 - REAR ELEVATION
A-06 - FLOOR PLAN

- SUPPORTING EXHIBITS -
EXB-01 - FIRE PROTECTION PLAN
EXB-02 - CIRCULATION PLAN
EXB-03 - FIRE TRUCK TURNING MOVEMENT
EXB-04 - GARBAGE TRUCK TURNING MOVEMENT
EXB-05 - BRT ULTIMATE CONDITION

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CONSULTING

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Ph: 301.948.4700 (Main), Fx: 301.948.6256, www.rodgers.com

DESIGN TEAM

Owner / Developer:

Toll Mid-Atlantic LP Company, Inc.
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:

Lerch Early Brewer
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Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

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SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2025"

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

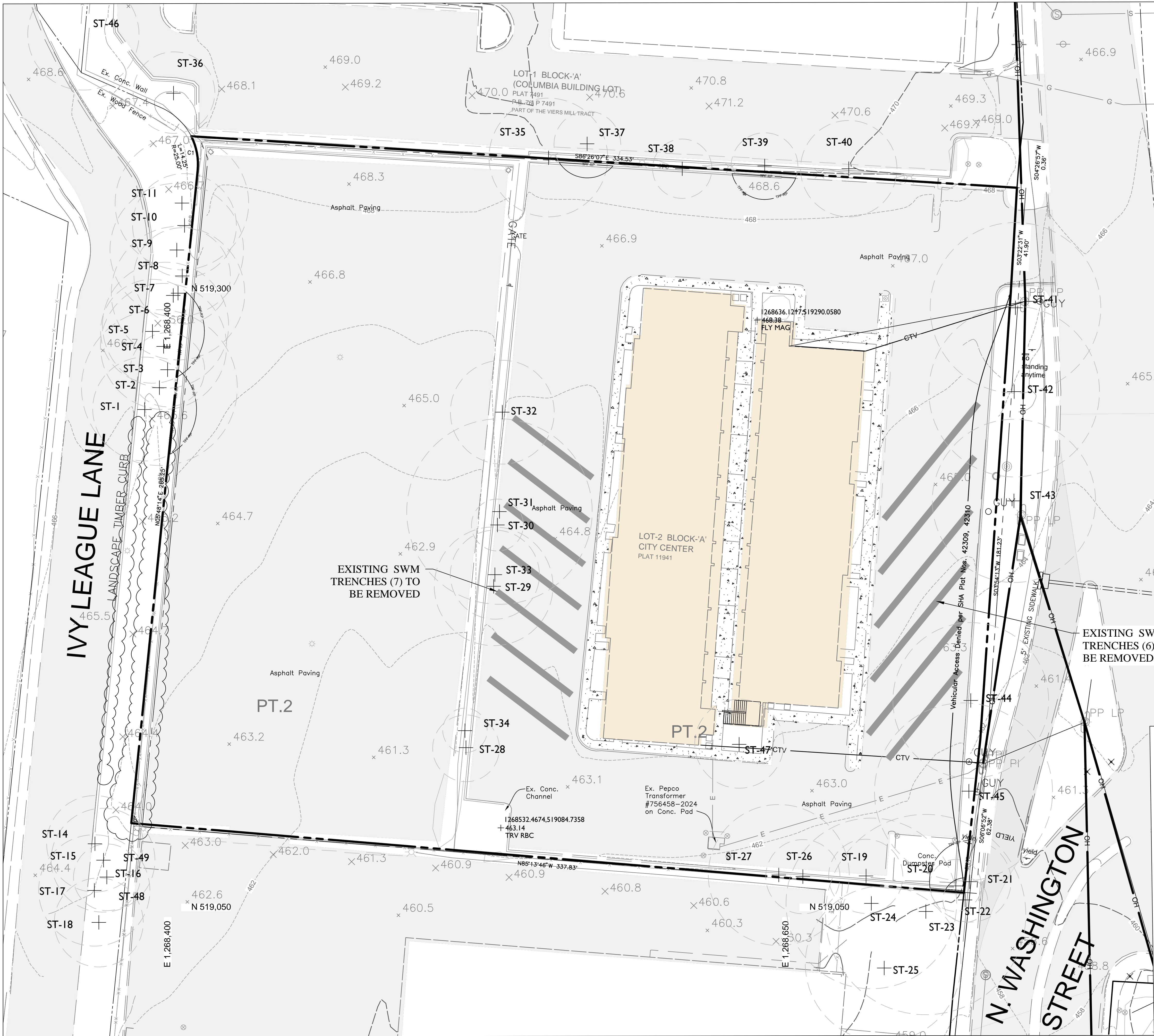
ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 30'
DRAWING TITLE	COVER SHEET

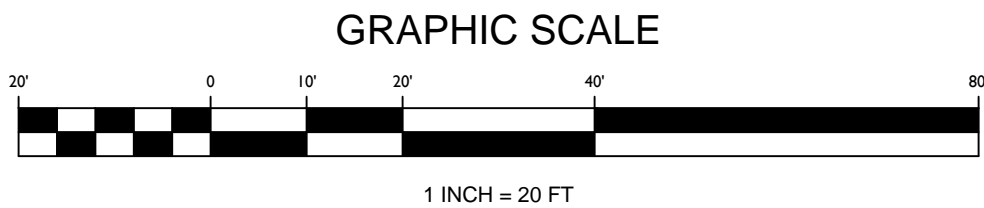
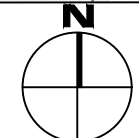
DRAWING NUMBER

SP-00



Existing Conditions Plan

SCALE: 1" = 20'



NOTES:

- The subject property is comprised of Parcels N547 & N548 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
- The site is ± 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
- The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
- Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.

Curve Table					
Curve	Radius	Length	Tangent	Chord	Bearing
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W
					32°39'53"

LEGEND	
	PROPERTY BOUNDARY
	EXISTING CONTOUR
	EXISTING STORM DRAIN
	EXISTING BUILDING
	EXISTING ON-SITE PAVEMENT
	EXISTING ROAD
	EXISTING SPECIMEN TREE & CRITICAL ROOT ZONE



CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

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WASHINGTON SQUARE

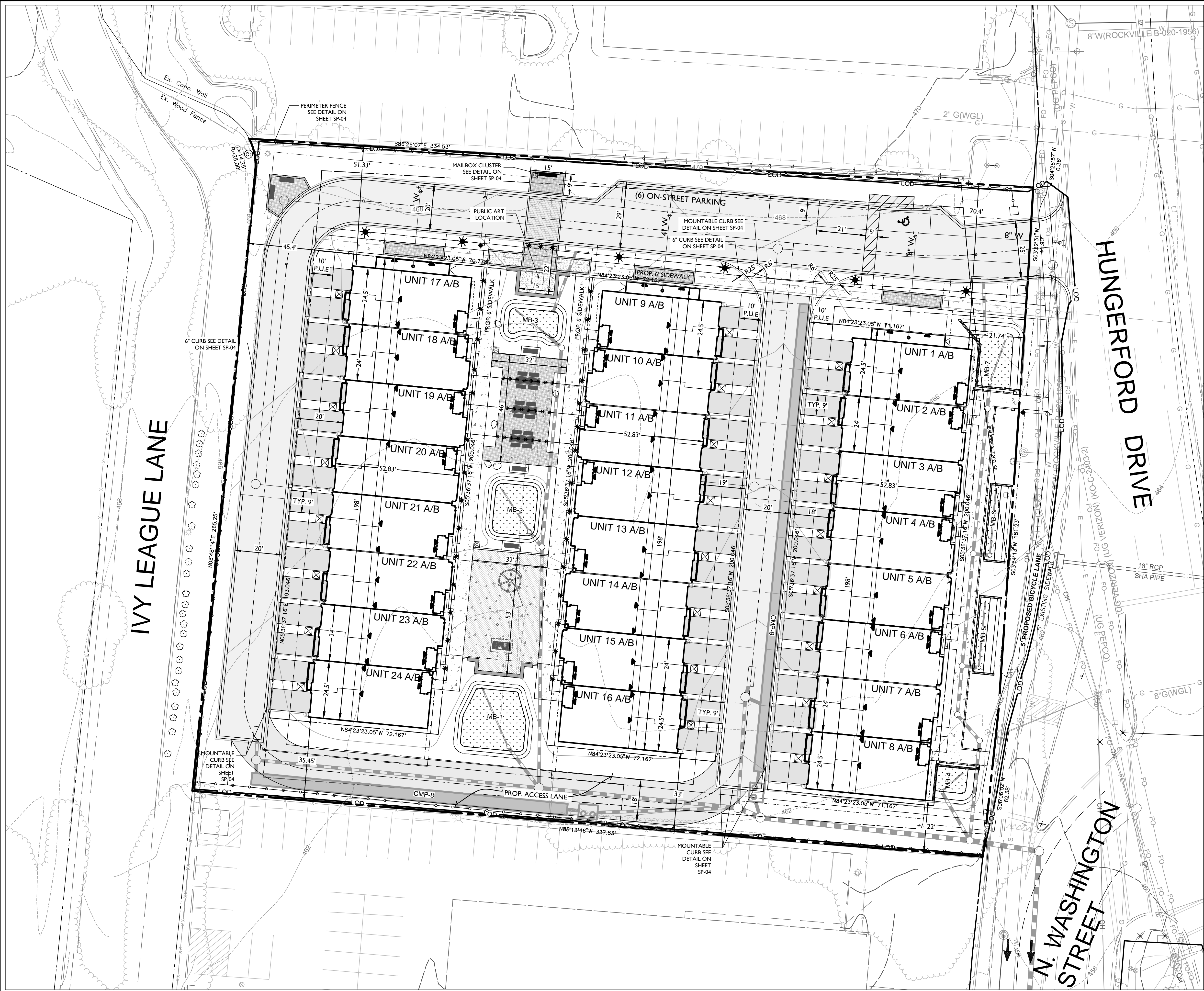
Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.04.25
SCALE	#####
DRAWING TITLE	EXISTING CONDITIONS
DRAWING NUMBER	SP-01

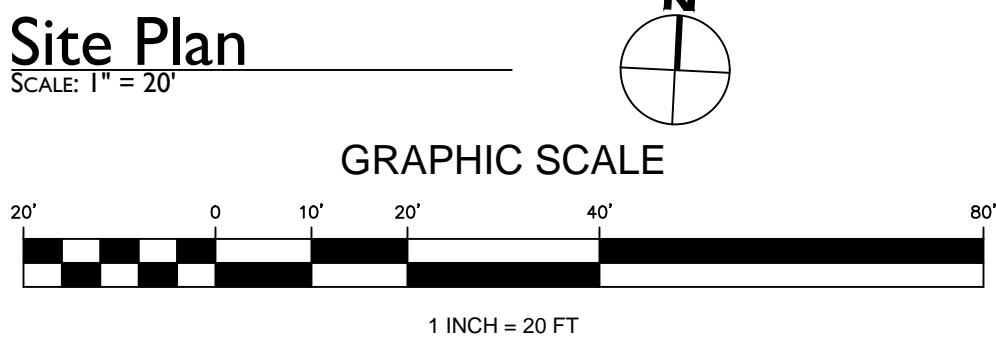


- NOTES:**
- The site is located in the Planned OCRM - Office Commercial Residential Mix.
 - The site is located in Planning Area - Town Center I.
 - The site is zoned MXNC - Mixed Use Neighborhood Commercial.
 - The subject property is comprised of Parcels N547 & N548 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
 - The site is ± 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
 - The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
 - Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.
 - The site's water service is within the City of Rockville.
 - The subject site is located within the Cabin John Creek Watershed.
 - The subject site is not located within a 100-year floodplain, per FEMA FIRM Map #24031C0334D.
 - There are no streams or wetlands located on or within 200 feet of the site, per site investigation by Rodgers Consulting, Inc. August 2023.
 - No rare, threatened or endangered species were observed during field visits. A request for possible state/federal listed rare, threatened, or endangered species within the project area was submitted to MDNR wildlife and heritage service Sept. 2023.
 - The site does not have any structures listed on the National Register for Historic Places nor does it have any MHT Preservation Easements.
 - The site soils are 400-Urban Land, taken from the USDA Natural Resource Conservation Service for Montgomery County Maryland, 2014.
 - There are no forest stands onsite, as defined in the Forest and Tree Preservation City Code.
 - The site contains 16 significant trees, as shown on the NRI/FSD.

Curve Table					
Curve	Radius	Length	Tangent	Chord	Bearing
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W

Community Planning & Development Services
Received
April 30, 2024

DEVELOPMENT TABLE:		
Property Information		
Zoning	MXNC	
Tract Area	94,673 sq. ft.	2.17 ac.
Proposed Dedications	0 sq. ft.	0.00 ac.
Site Area	94,673 sq. ft.	2.17 ac.
Development Program		
Residential Units	48	
Rear Loaded Multi-Family (2 over 2)	48	
MPDUs		
Less than 50 dwelling units proposed	0	0
Build-to-line - 25.13.05.a.2(d)		
Principal Arterial	70%	n/a
Building restrictio lines & Build-to-lines - 25.17.08		
2 over 2	85 ft.	Proposed
Building Height - 25.13.05.b.2(c)		
2 over 2	Maximum Allowed	Proposed
Flat Roof	65 ft. **	
Gable roof	+/- 46 ft	+/- 52 ft
Building Setbacks - Sec 25.13.05.b.1.		
Minimum width at Front line	10 ft.	Proposed
Setback abutting Right-of-Way	0 ft. or 10 ft. min. if provided	n/a
Setback abutting Lot	0 ft.	0 ft.
Side abutting Residential	25 ft. or height of building, whichever is greater	n/a
Side abutting Non-Residential	0 ft. or 10 ft. min. if provided	0 ft.
Rear abutting Residential	25 ft. or height of building, whichever is greater	n/a
Rear abutting Non-Residential	0 ft. or 10 ft. min. if provided	0 ft.
Special Reg's-Sec.25.13.05.b.2(d)		
Open Space - Sec 25.13.05.b.2(c)		
Open Area (Includes Public Use Space)	15% 14,201 sq. ft.	24% 22,638 sq. ft.
Public Use Space	10% 9,468 sq. ft.	13% 12,943 sq. ft.
Parking - Sec 25.16.03(d)		
2 over 2, 48 rear load units (2 per unit)	Minimum Required 96	Proposed 96
Excess / Visitor Parking		
On-Street Parking		6
Total Parking		102
Accessible Parking		
Townhomes	Minimum Required 1	Proposed 1
Bicycle Parking		
Short term Parking	Minimum Required 0	Proposed 0
Long term Parking	0	0



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48 Hours Before Start Of Construction

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Preliminary Not For Construction

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Attn: Randall Rentfro



WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER
DATE 2024.04.26
SCALE 1" = 20'
DRAWING TITLE
SITE PLAN

DRAWING NUMBER
2024.04.26 - 04.11 PPS

SP-02



Grading Plan

SCALE: 1" = 20'

GRAPHIC SCALE

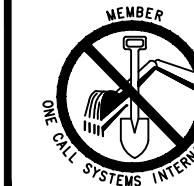


1 INCH = 20 FT

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48 Hours Before Start Of Construction



Community Planning & Development Services
Received
April 30, 2024



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WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

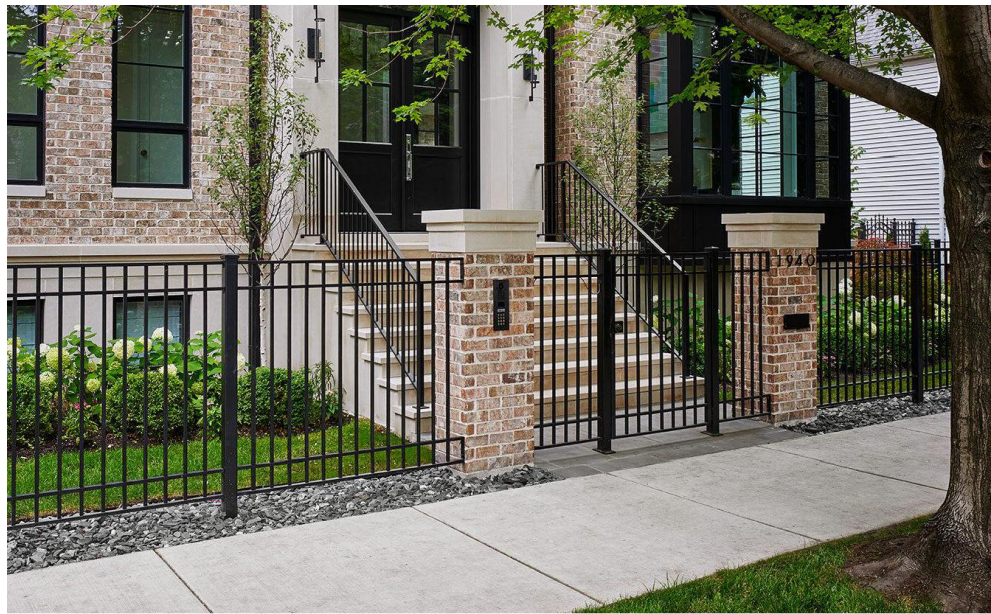
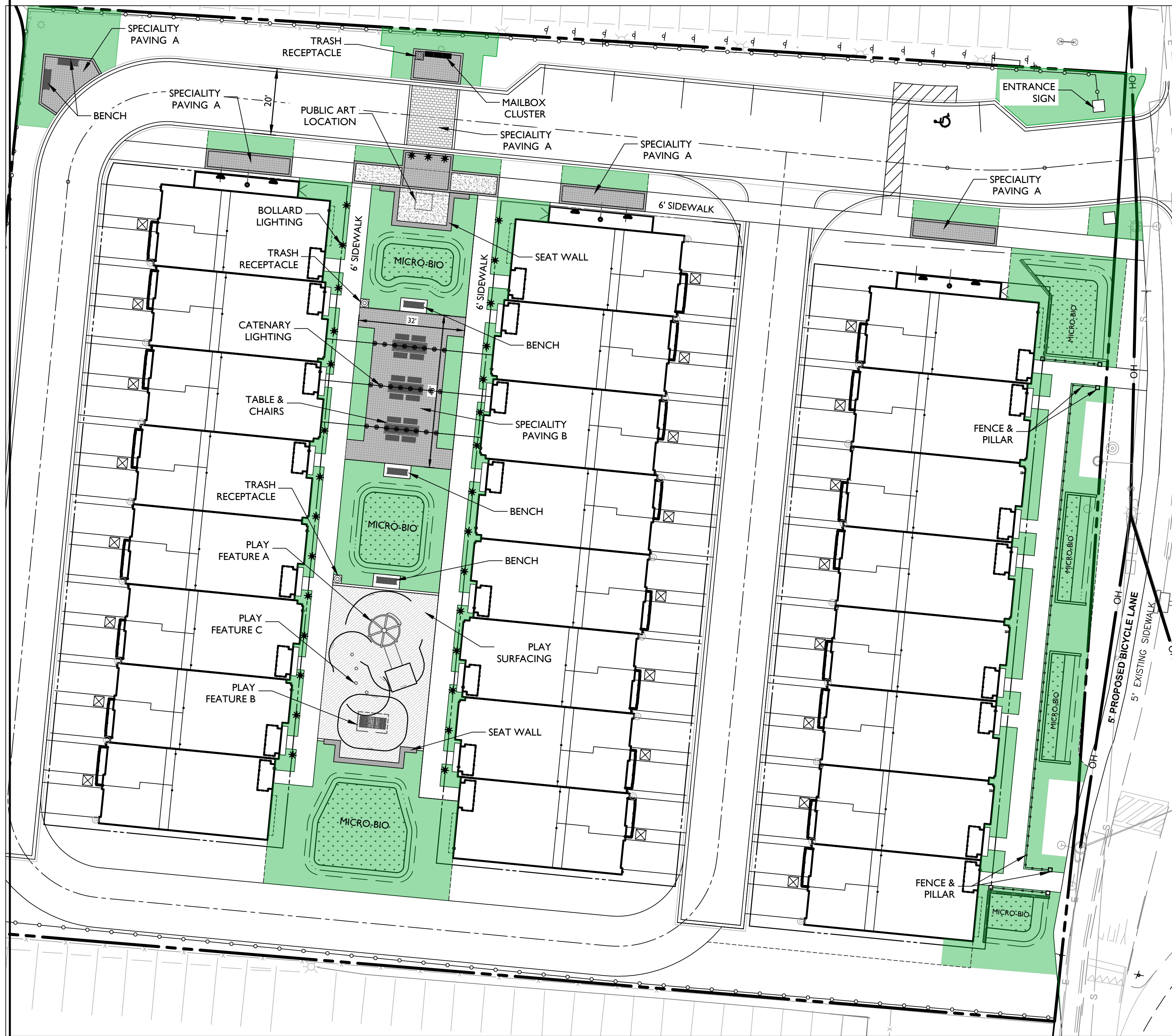
ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	GRADING PLAN

DRAWING NUMBER

SP-03



FRONTAGE FENCE & PILLARS (OR EQUAL)
SCALE: NTS



TRASH RECEPTACLE (OR EQUAL)
SCALE: NTS



TABLE & BENCH (OR EQUAL)
SCALE: NTS



SEAT WALL (OR EQUAL)
SCALE: NTS



SPECIALTY PAVING (OR EQUAL)
SCALE: NTS



PLAY FEATURE B (OR EQUAL)
SCALE: NTS



PLAY FEATURE C (OR EQUAL)
SCALE: NTS



BENCH (OR EQUAL)
SCALE: NTS



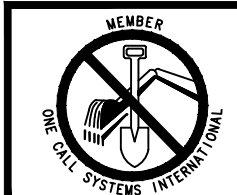
PLAY FEATURE A (OR EQUAL)
SCALE: NTS



ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	SITE AMENITY DETAILS



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1-800257-7777
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Preliminary Not For Construction



LEGEND

Open Area

Public Use Space

Subject Site Property Line

Open Space - Sec 25.13.05.b.2 (c)	Minimum Required*	Proposed	
Open Area (includes Public Use Space)	15%	14,201 sq. ft.	22,638 sq. ft.
Public Use Space	10%	9,468 sq. ft.	12,943 sq. ft.

* MXNC zone. Building height may be increased up to a maximum of sixty-five (65) feet in accordance with the plan. If the plan makes no other recommendation, development between forty-five (45) feet and sixty-five (65) feet must provide fifteen (15) percent open area, of which ten (10) percent must be public use space.

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WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
--------------	------	-------------

PROJECT NUMBER

DATE

SCALE

DRAWING TITLE

OPEN AREA & PUBLIC USE SPACE

DRAWING NUMBER

SP-06

Open Area - Public Use

SCALE: 1" = 20'

GRAPHIC SCALE

20' 0 10' 20' 40' 80'

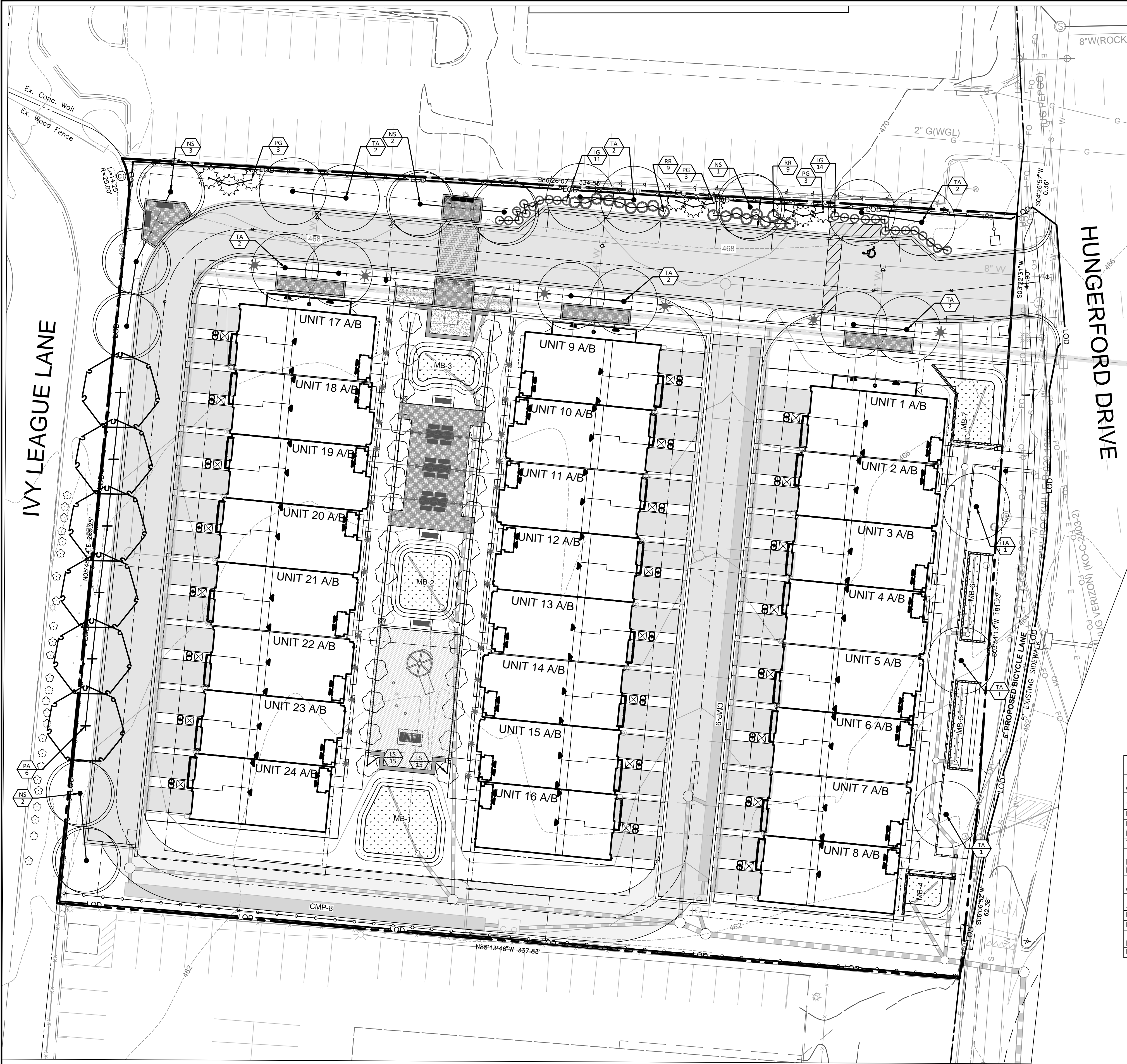
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N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Plot Plans\Site Plan\SP-03 Open Area-Public Use.dwg 2024.04.26 - 02:26 PM



LEGEND

- PROPOSED PAVING
- PROPOSED MICRO-BIORETENTION
- PROPOSED CMP
- PROPOSED PERIMETER FENCE
- PROPERTY BOUNDARY
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING VEGETATION
- PROPOSED TREES
- PROPOSED SHRUB
- PROPOSED LIGHT

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER
TREES					
LS	30	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	-	2"-2.5" CAL
NS	8	NYSSA SYLVATICA	SOUR GUM	-	2"-2.5" CAL
PA	6	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	-	2"-2.5" CAL
TA	15	TILIA AMERICANA	AMERICAN LINDEN	-	2"-2.5" CAL
EVERGREEN TREES					
PG	9	PICEA PUNGENS 'GLAUCA GLOBOSA'	COLORADO SPRUCE	B & B	
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE
SHRUBS					
BL	48	BUXUS SEMPERVIRENS 'GREEN PILLAR'	GREEN PILLAR COMMON BOXWOOD	5 GAL	
RR	18	ROSA X 'KNOCKOUT' TM	ROSE	#3 CONT	
EVERGREEN SHRUBS					
IG	25	ILEX GLABRA	INKBERRY HOLLY	5 GAL	

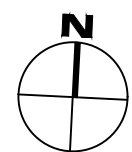
Landscape Plan

SCALE: 1" = 20'

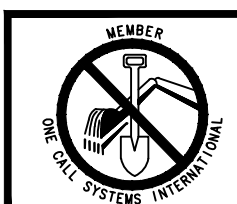
GRAPHIC SCALE



1 INCH = 20 FT



Community Planning & Development Services
Received
April 30, 2024



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N:\MD-Montgomery-City of Rockville\Washington Square\AutoCAD\Plot Plans\Site Plan\LSP-01 Landscape Plan.dwg

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WASHINGTON SQUARE
Landscape Plan

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	LANDSCAPE PLAN

DRAWING NUMBER

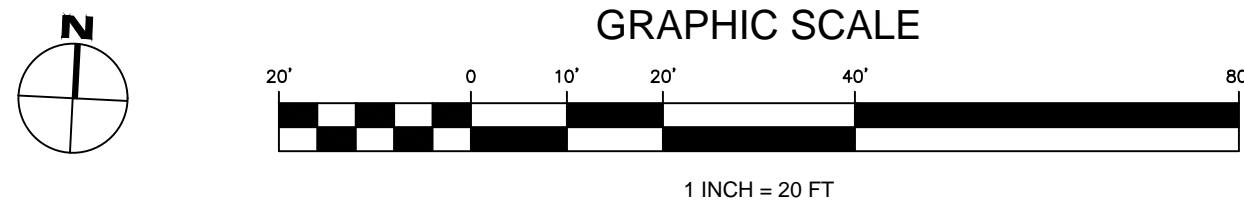
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L-01

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04



Lighting Plan
SCALE: 1" = 20'



LEGEND

- EXISTING IMPERVIOUS AREA
- PROPOSED IMPERVIOUS AREA
- PROPOSED MICRO-BIORETENTION
- PROPOSED CMP
- PROPERTY BOUNDARY
- PROPOSED PERIMETER FENCE
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN

- EXISTING VEGETATION
- PROPOSED PLANTING
- PROPOSED LIGHT

Luminaire Schedule					
Qty	Type	Symbol	Description	LLF	
6	STREET	[Symbol]	VP-1-160L-100-4K7-3	0.800	
29	BOLLARD	[Symbol]	FN1-24LU-5K-XX	0.800	

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Object_1_Top	Illuminance	Fc	3.56	10.8	0.0
Object_2_Top	Illuminance	Fc	8.53	22.0	0.2
Object_3_Top	Illuminance	Fc	9.19	22.5	0.3

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Preliminary Not For Construction

BEACON

VIPER Area/Site

DATE: 03/20/2024 LOCATION: 6731 Columbia Gateway Drive, Suite 120, Germantown, Maryland 21046

PROJECT: 2024-04-26-02-43-PP

STATUS: 03/20/2024

FEATURES

- Low voltage LED outdoor luminaires with a variety of LED technologies for lighting applications including landscape, street, and building.
- Available in various colors and finishes.
- Available in various sizes and shapes.
- Available in various mounting heights.
- Available in various mounting styles.
- Available in various mounting locations.
- Available in various mounting orientations.
- Available in various mounting angles.
- Available in various mounting depths.
- Available in various mounting widths.
- Available in various mounting heights.
- Available in various mounting styles.
- Available in various mounting locations.
- Available in various mounting orientations.
- Available in various mounting angles.
- Available in various mounting depths.
- Available in various mounting widths.

IP65

CONTROL TECHNOLOGY

SERVICE PROGRAMS

STOCK

OS10

CONSTRUCTION

ELECTRICAL

CHANGES

REVISIONS

NOTES

BEACON

VIPER Area/Site

DATE: 03/20/2024 LOCATION: 6731 Columbia Gateway Drive, Suite 120, Germantown, Maryland 21046

PROJECT: 2024-04-26-02-43-PP

STATUS: 03/20/2024

FEATURES

- Low voltage LED outdoor luminaires with a variety of LED technologies for lighting applications including landscape, street, and building.
- Available in various colors and finishes.
- Available in various sizes and shapes.
- Available in various mounting heights.
- Available in various mounting styles.
- Available in various mounting locations.
- Available in various mounting orientations.
- Available in various mounting angles.
- Available in various mounting depths.
- Available in various mounting widths.
- Available in various mounting heights.
- Available in various mounting styles.
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IP65

CONTROL TECHNOLOGY

SERVICE PROGRAMS

STOCK

OS10

CONSTRUCTION

ELECTRICAL

CHANGES

REVISIONS

NOTES

STREET LIGHT (OR EQUAL)
SCALE: NTS

HUBBELL

FRESNO Series

DATE: 03/20/2024 LOCATION: 6731 Columbia Gateway Drive, Suite 120, Germantown, Maryland 21046

PROJECT: 2024-04-26-02-43-PP

STATUS: 03/20/2024

FEATURES

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IP65

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FRESNO Series

DATE: 03/20/2024 LOCATION: 6731 Columbia Gateway Drive, Suite 120, Germantown, Maryland 21046

PROJECT: 2024-04-26-02-43-PP

STATUS: 03/20/2024

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IP65

CONTROL TECHNOLOGY

SERVICE PROGRAMS

STOCK

OS10

CONSTRUCTION

ELECTRICAL

CHANGES

REVISIONS

NOTES

BOLLARD LIGHT (OR EQUAL)
SCALE: NTS

PENDO

Catenary Suspended Luminaire

DATE: 03/20/2024 LOCATION: 6731 Columbia Gateway Drive, Suite 120, Germantown, Maryland 21046

PROJECT: 2024-04-26-02-43-PP

STATUS: 03/20/2024

DESCRIPTION

The PENDO Catenary Suspended Luminaire is a modern, minimalist design that provides a wide area of illumination. It is available in various sizes and finishes, and is suitable for use in a variety of outdoor settings.

ORDERING INFORMATION

Model: PENDO-1-160L-100-4K7-3

Quantity: 6

Notes: See drawing for details.

PENDO

Catenary Suspended Luminaire

DATE: 03/20/2024 LOCATION: 6731 Columbia Gateway Drive, Suite 120, Germantown, Maryland 21046

PROJECT: 2024-04-26-02-43-PP

STATUS: 03/20/2024

DESCRIPTION

The PENDO Catenary Suspended Luminaire is a modern, minimalist design that provides a wide area of illumination. It is available in various sizes and finishes, and is suitable for use in a variety of outdoor settings.

ORDERING INFORMATION

Model: PENDO-1-160L-100-4K7-3

Quantity: 6

Notes: See drawing for details.

CATENARY LIGHT (OR EQUAL)
SCALE: NTS

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DESIGN TEAM:

Owner / Developer:

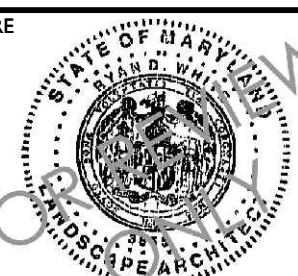
Toll Mid-Atlantic LP Company, Inc.
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Land Planning / Landscape Architect / Civil Engineering:
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301.948.4700
Attn: Randall Rentfro

SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION
"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-25-2025"

WASHINGTON SQUARE

Landscape Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DATE	DESCRIPTION
#1	2023.03.27	REVISION
#2		
#3		
#4		

REVISIONS	NO	DATE	DESCRIPTION
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PROJECT NUMBER: 2024.04.26
DATE: 2024.04.26
SCALE: 1" = 20'

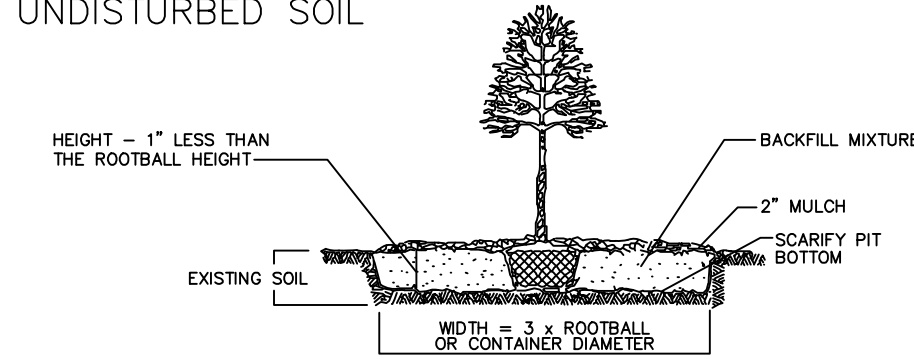
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DRAWING NUMBER: L-03

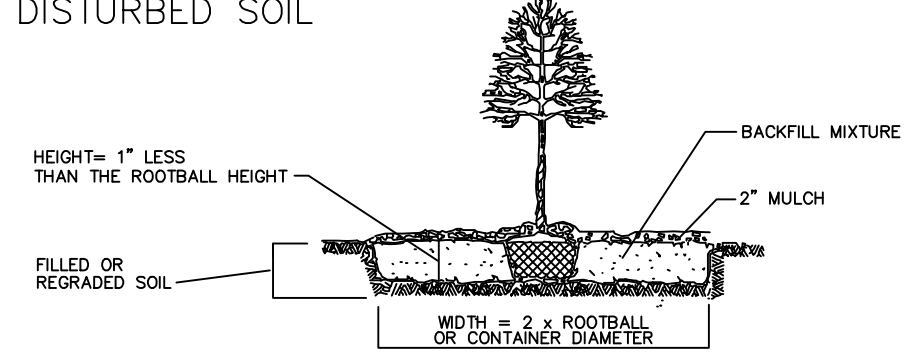
LANDSCAPE NOTES

1. Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to site, growth, and size of ball and density of branch structure. Contractor to insure conformance to national and local building codes and ordinances.
2. All plants (B&B or container) shall be properly identified by weatherproof labels securely attached hereto before delivery to project site. Labels shall identify plants by name, species and size. Labels shall not be removed until the final inspection by the owners representative.
3. Any material and/or work may be rejected by the owners representative if it does not meet the requirements of the specifications. The contractor shall remove all rejected materials from the site.
4. The contractor shall furnish all plants in quantities and sizes to complete the work as specified in plant schedule. The landscape contractor shall be responsible to verify all plant quantities on the plans prior to commencement of work. Quantities in the plant schedule are for the contractors convenience only and do not constitute the final count.
5. Substitutions in plant species shall be permitted with the written approval of the owners representative per the plant substitution list shown.
6. Plants shall be located as shown on the drawings and by scaling or as designated in the field by the owners representative. All locations are to be approved by the owners representative before excavation.
7. Contractor shall locate and mark all underground utility lines and irrigation systems prior to excavating plant beds or pits. All utility easement areas where no planting shall take place shall also be marked on the site, prior to locating and digging the tree pits. If utility lines are encountered in excavation of tree pits, other locations for the trees shall be selected by the owners representative. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the owners representative.
8. All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.
9. During planting operations, excess and waste materials shall be promptly and frequently removed from the site.
10. All plant shrub beds are to be dug to a minimum of 24" deep and all existing soil, construction debris, roots and other foreign material are to be removed and discarded off site. All plant shrub beds are to be excavated to the width shown on the plans.
11. All tree pits are to be excavated to a minimum depth to allow the tree root ball to be a minimum of 4" higher than finish grade. The tree root ball is to rest on undisturbed soil, or a compacted bed must be prepared for the tree root ball to rest on and which will not subside causing the tree to sink below finish grade. All tree pits are to be a minimum of 12" larger on every side of the trees root ball.
12. The planter beds are to be entirely cleaned out to the undisturbed soil level. All existing soil, construction debris, roots and other foreign material are to be removed and discarded offsite.
13. The topsoil to be used to fill the tree pits, shrub beds and planters is to be plant specific. The topsoil for the trees, shrubs and planter shall consist of a maximum 2/3 existing or imported topsoil from the site, which is cleaned and free of clay and a minimum of 1/3 peat moss, or other approved organic material. All of these materials are to be mixed prior to placing in the planter or backfilling when planting.
14. The contractor is responsible to ensure that all tree pits, shrub beds and planters are well drained. The landscape contractor, without cost to the owner, will replace all plant material which is affected by poor drainage.
15. All lawn areas are to be seeded with grass seed appropriate for each of the sunlight conditions, which exist on the site.
16. All lawn areas are to be tilled to a depth of 6" and all foreign material removed which will inhibit the healthy growth of the lawn. All old grass and grass roots are to be removed from the site. New topsoil of a minimum 4" is to be placed over the areas to be sodded. The grass areas are to be fine graded to ensure that no undulations occur in the lawn. The lawns are to be graded in such a way as to appear perfectly well tailored and even. The lawn topsoil is to be rolled and lightly irrigated prior to placing of the seed. The seed is not to be laid on frozen or soaked soil.
17. The existing trees are to be protected during the preparation of the lawn areas. The roots of the trees are to be undisturbed during the cleaning of the topsoil.
18. The trees and shrubs are to be handled with the best care and attention to ensure that the plants are not bruised, broken, torn, or damaged in any way, which will affect the plants general appearance and well being.
19. The trees and shrubs are to be planted with the accepted standards of the American Association of Nurserymen. The plants are to be properly watered and backfilled during the planting. All care must be taken to ensure that the plants are upright, a plant's best side is exposed to the point of the plants greatest visibility.
20. The trees must be staked in accordance with acceptable nursery practice to ensure that they are secure in the ground and will grow straight and uniform. The trees are to be wrapped, if the contractor deems it necessary, to protect the trees from sun scald or insect attack.
21. The Landscape Contractor is to provide a 1-year guarantee for all plant material and other work done on site.
22. Large growing plants are not to be planted in front of windows, under building overhangs, or in drainage swales. Shrubs planted near H.V.A.C units to be located so that shrubs at maturity will maintain 1 foot airspace between unit and plant.
23. Contractor to slightly adjust plant locations in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as not to impede drainage away from buildings.
24. Trees shall be located a minimum of 3 feet from walls and walks.
25. Quantities as shown on the plan shall govern over plant list quantities. Contractor to verify plant list totals with quantities shown on plan.
26. Groups of shrubs shall be placed in a continuous raised mulch bed with smooth continuous lines. All mulched bed edges shall be curvilinear in shape following the contour of the plant mass. Trees located within 4 feet of shrub beds shall share some mulch bed.
27. Contractor shall provide luminaries, poles, footings, and conduit.
28. Contractor to provide conduit as requested by Potomac Edison.
29. All landscaping within SWM easements will be reviewed, approved and inspected by City of Rockville Water Resources Staff. Refer to SWM Landscape Drawing Set.

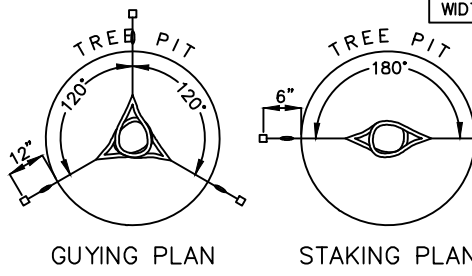
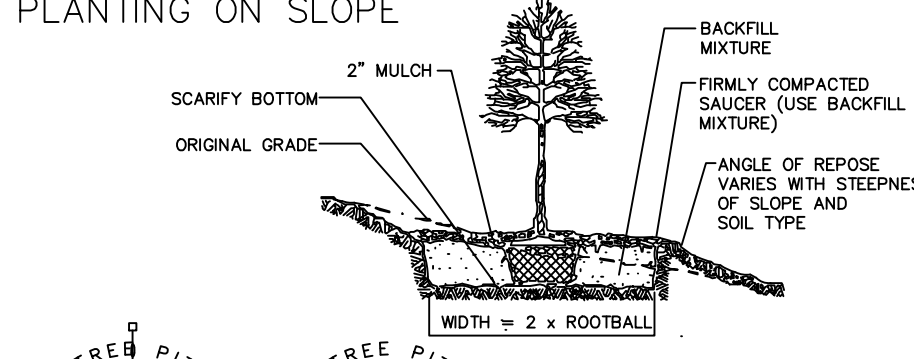
UNDISTURBED SOIL



DISTURBED SOIL



PLANTING ON SLOPE

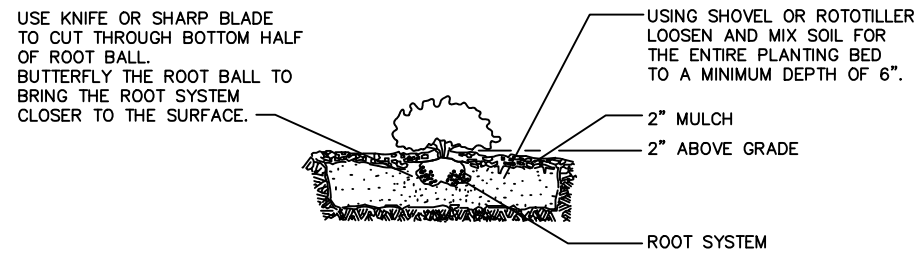


NOTE:
Tree pit to be five times the rootball in poor soil.

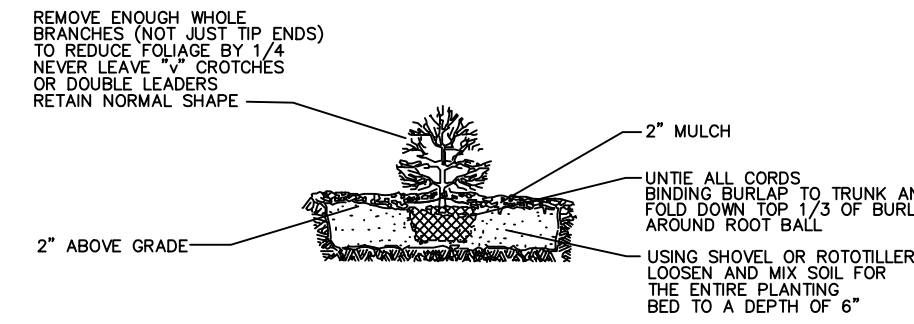
SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

DECIDUOUS TREE PLANTING
CONTAINER GROWN AND BALLED & BURLAPPED STOCK

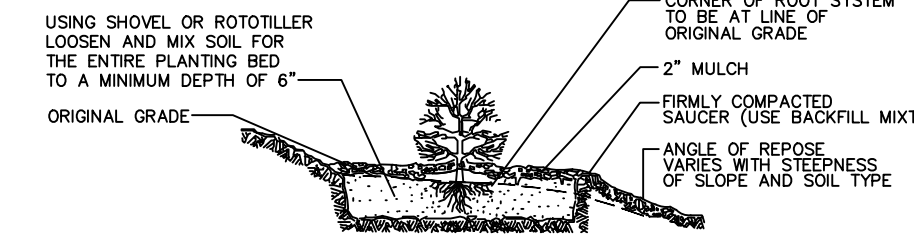
CONTAINER GROWN



BALLED & BURLAPPED



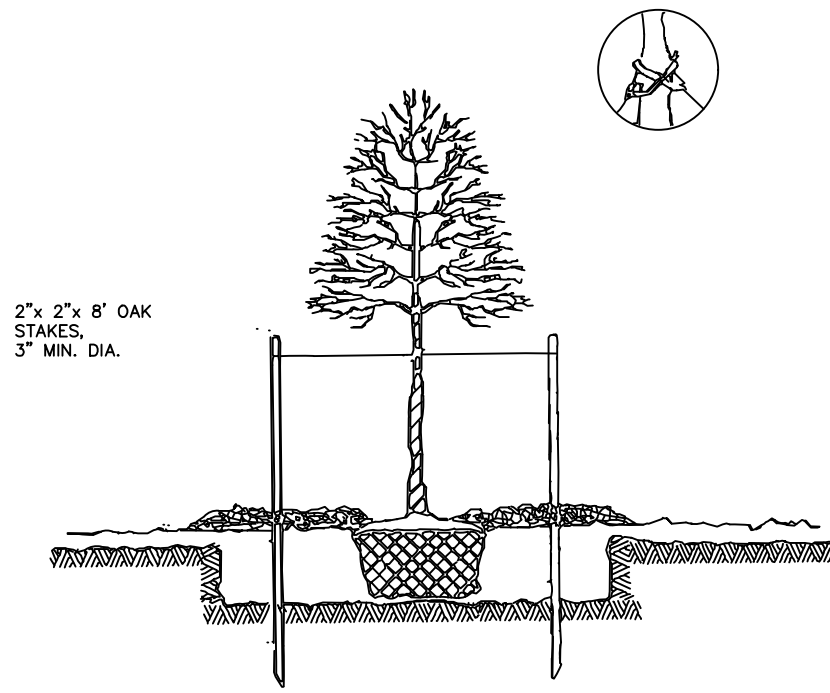
PLANTING ON A SLOPE



NOTES:
1. Minimum root spread to be in accordance with "American Standards for Nursery Stock."
2. Prune all damaged, diseased or weak limbs and roots.
3. Clearly prune all damaged root ends.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

SHRUB PLANTING



NOTES:
1. The staking of trees may be used only when specified on the planting plan.
2. Stakes and wires must be removed no later than 12 months after planting.
3. Tree pit preferred to be five times the rootball size, particularly in poor soil.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

STAKED TREE SPECIFICATION (2)

TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" DBH OR GREATER												
PLANTING SEEDLINGS, WHIPS												
MINIMUM MONITORING												
FERTILIZER* (F NEEDED)												
WATER **												
PRUNING												

KEY
+ ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS
• DEPENDENT UPON SITE CONDITIONS
** DEPENDENT UPON SITE CONDITIONS: WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"
GREATLY RECOMMENDED
RECOMMENDED WITH ADDITIONAL CARE
RECOMMENDED

NOTE:
The planting and care of trees is most successful when coordinated with the local climatic conditions. This calendar summarizes some of the recommended time frames for basic reforestation and stress reduction activities.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

TREE PLANTING AND MAINTENANCE CALENDAR

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19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
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DESIGN TEAM

Owner / Developer:

Toll Mid-Atlantic LP Company, Inc.
6711 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:

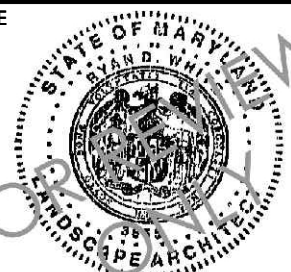
Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:

Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700

Attn: Randall Rentfro

SEAL & SIGNATURE



"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2026"

WASHINGTON SQUARE

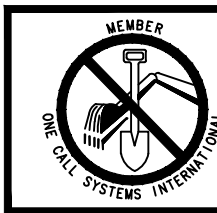
Landscape Plan

WSSC Grid: 219NW07, #####
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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Community Planning & Development Services
Received
April 30, 2024



CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\PMD-Montgomery-City of Rockville\Washington Square\usacsd\Plot Plant\Site Plan\LP-02 Landscape Details.dwg 2024.04.26 - 02:40 PM

PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	

LANDSCAPE DETAILS

DRAWING NUMBER

L-02



NOTE: ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY

Community Planning & Development Services
Received
April 30, 2024



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Preliminary Not For Construction

N:\MD\Montgomery-City of Rockville\Washington Square\Issued\Plot Plans\Site Plan\A-01 Illustrative Architecture.dwg

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SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
-	-
-	-
-	-

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	NTS
DRAWING TITLE	Illustrative Architecture

DRAWING NUMBER	A-01
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WASHINGTON SQUARE

Site Plan
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
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REVISIONS NO	DATE	DESCRIPTION
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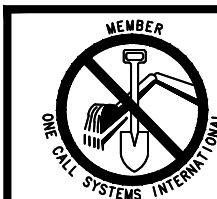
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DATE	2024.04.25
SCALE	NTS
DRAWING TITLE	Arch Elevation - Front



Front Elevation

SCALE: NTS

Community Planning & Development Services
Received
April 30, 2024



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WASHINGTON SQUARE

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City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
-	-
-	-
-	-
-	-

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PROJECT NUMBER	----
DATE	2024.04.25
SCALE	NTS

DRAWING TITLE
Arch Elevation - Side
Utility Closet

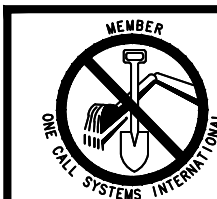
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A-04



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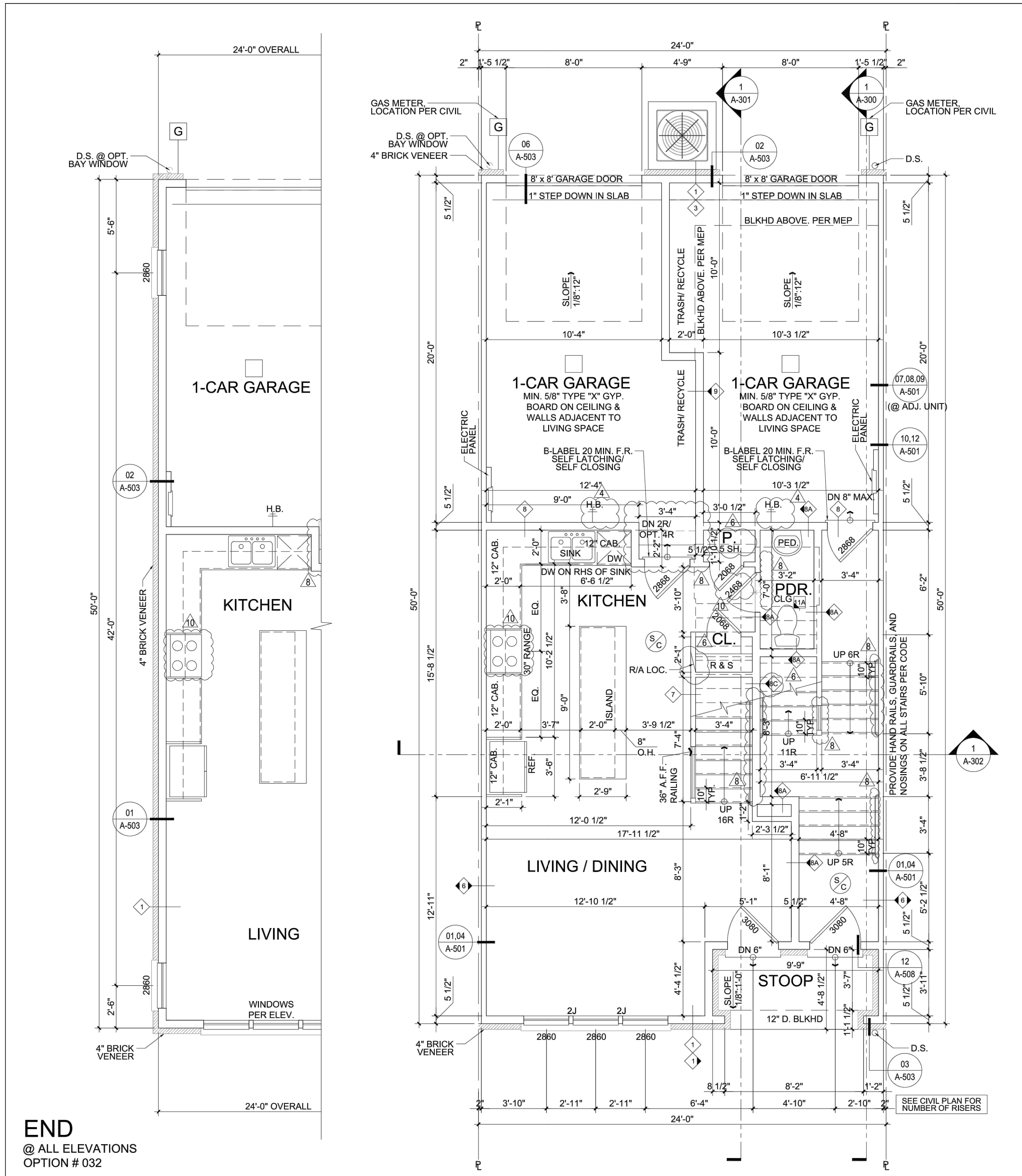
Community Planning & Development Services
Received
April 30, 2024



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1-800257-7777**
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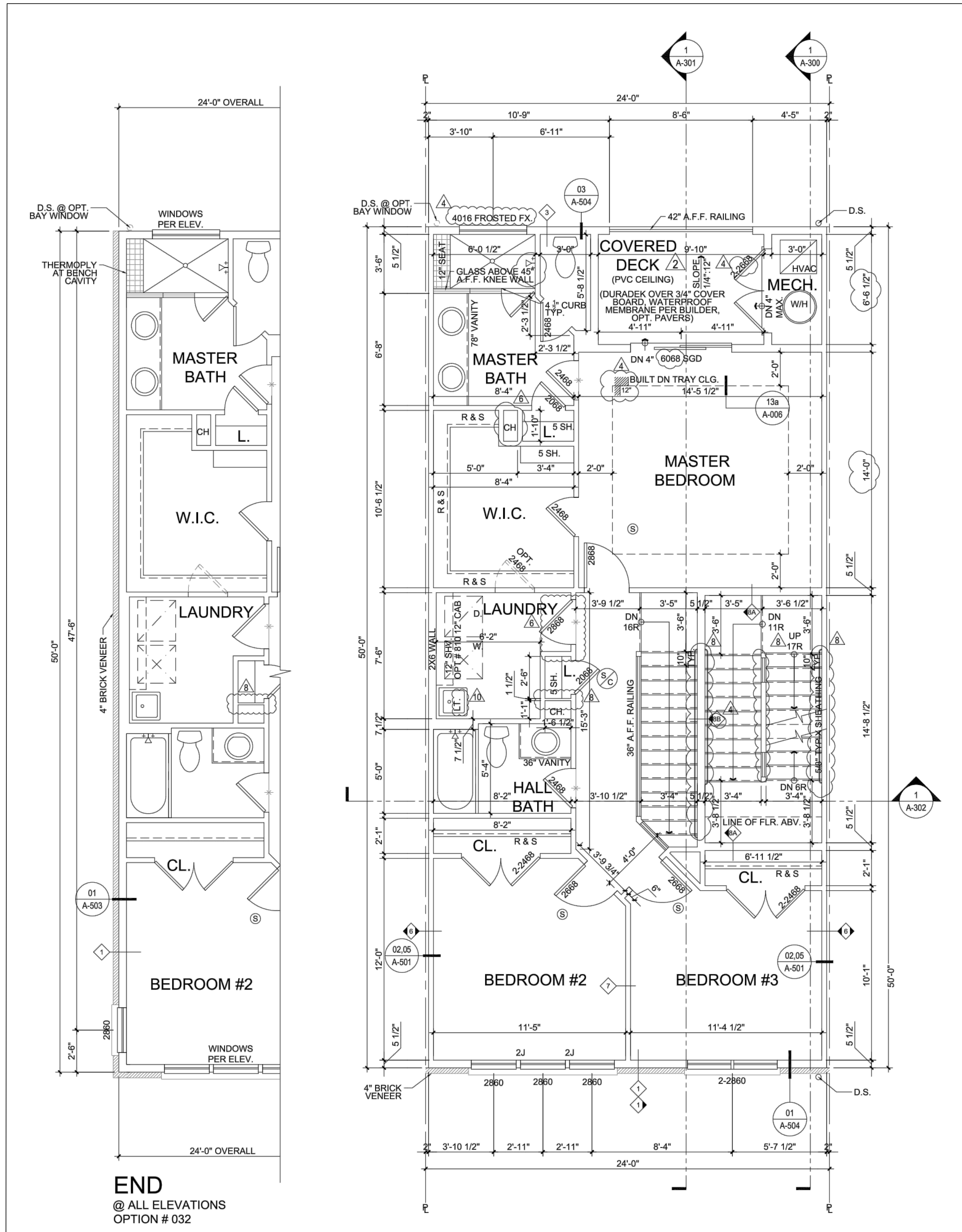
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Preliminary Not For Construction



1st Floor Plan

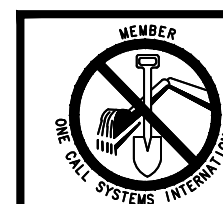
SCALE: NTS



2nd Floor Plan

SCALE: NTS

Community Planning & Development Services
Received
April 30, 2024



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Preliminary Not For Construction

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SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23

City Of Rockville, MD, Rockville, Election District 04

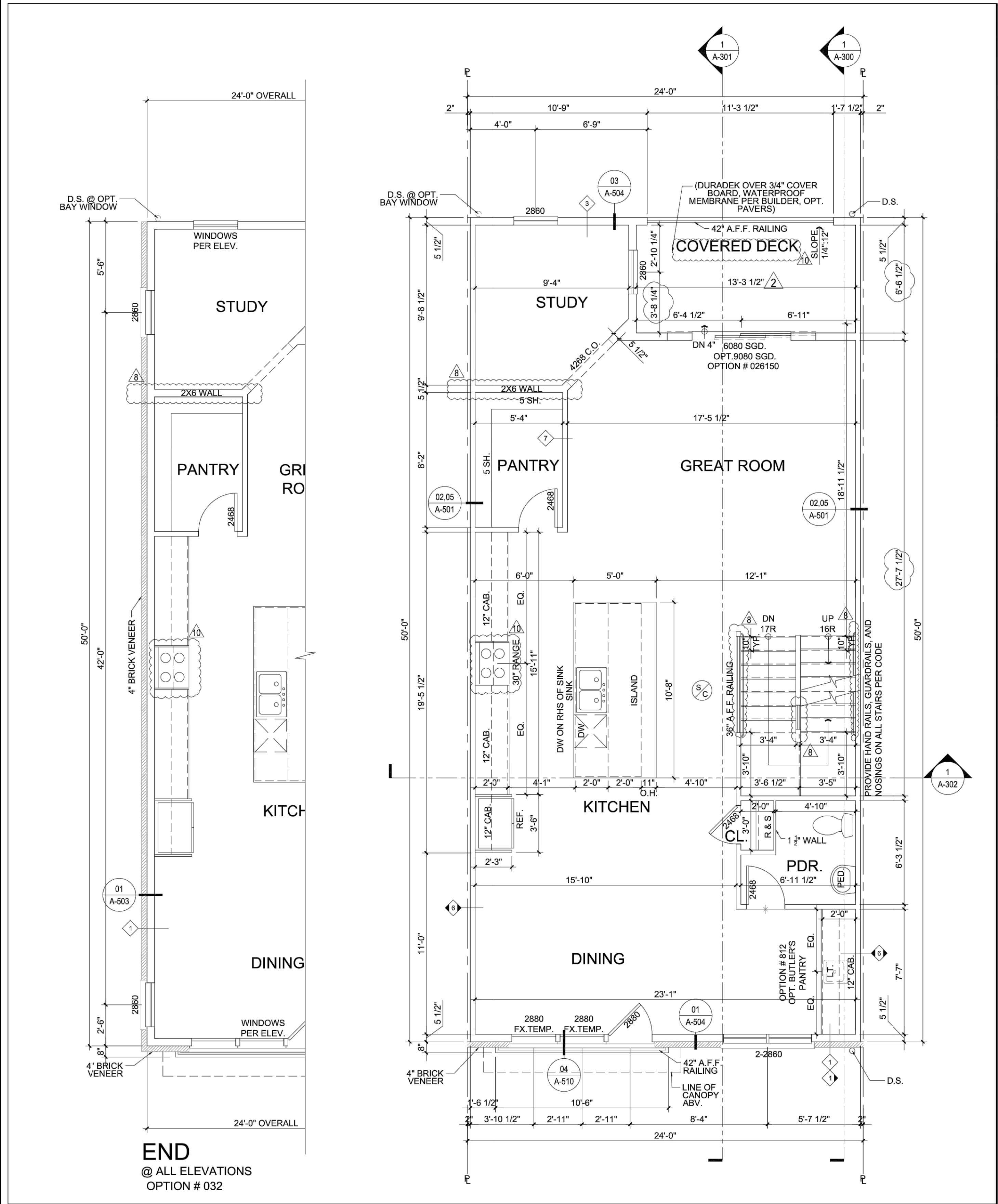
ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

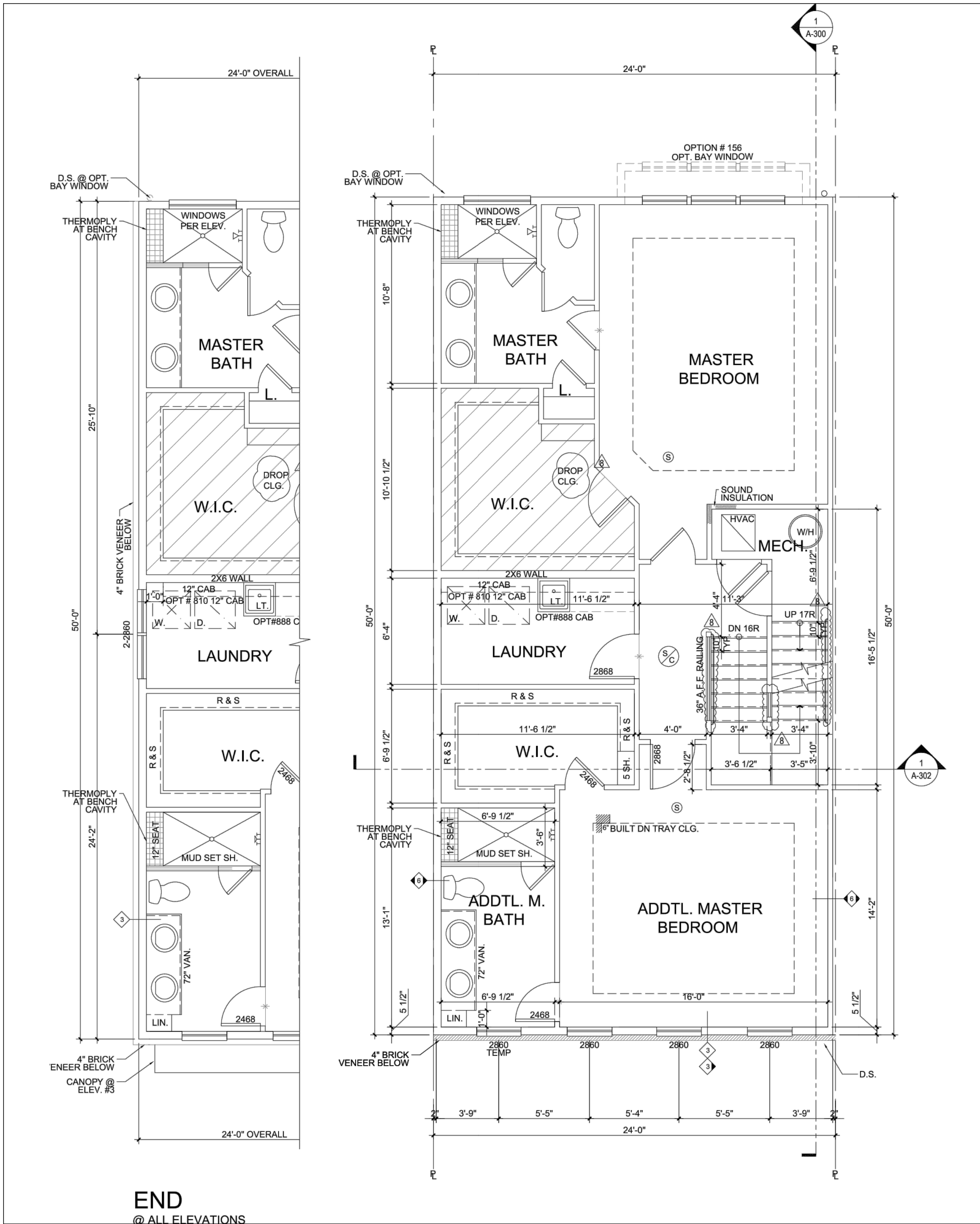
PROJECT NUMBER	----
DATE	2024.04.25
SCALE	NTS
DRAWING TITLE	Arch Floor Plans - I & 2

DRAWING NUMBER

A-06



3rd Floor Plan
SCALE: NTS



4th Floor Plan
SCALE: NTS



CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MPD-Montgomery-City of Rockville\Washington Square\usacsd\Plot Plans\Site Plan\A-06-08 Arch Floor Plans.dwg 2024.04.25 - 02:19 PM

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WASHINGTON SQUARE

Site Plan

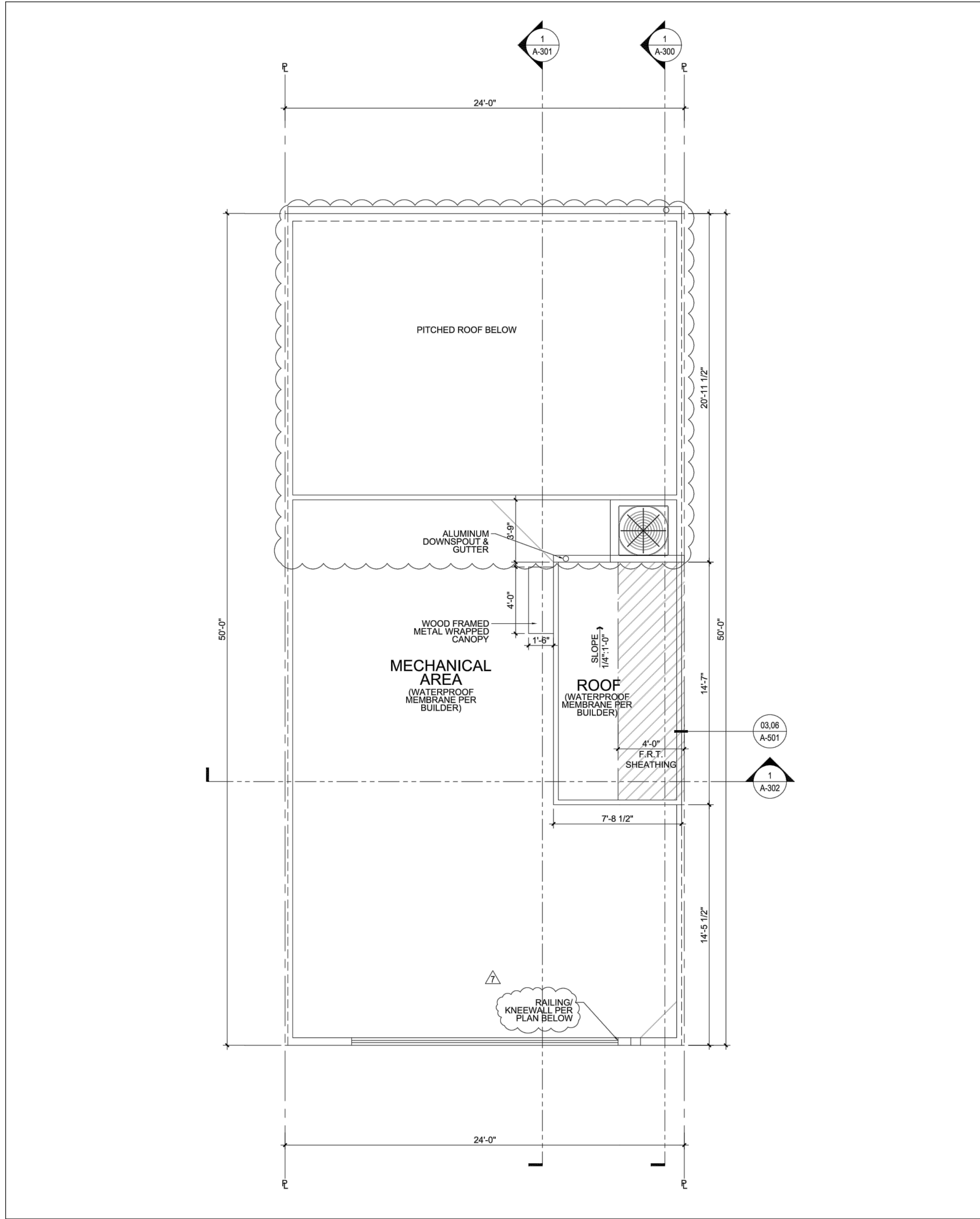
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	

REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.04.25
SCALE	NTS
DRAWING TITLE	Arch Floor Plans - 3 & 4



Roof Plan
SCALE: NTS

Community Planning & Development Services
Received
April 30, 2024

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\usccadPloc Plans\Site Plans\A-06-08 Arch Floor Plans.dwg

DESIGN TEAM

Owner / Developer:

Toll Mid-Atlantic LP Company, Inc.
6731 Columbia Gateway Drive, Suite 120
Columbia, Maryland 21046
410.381.3263
Attn: Jeffery S. Driscoll

Legal:

Lerch Early Brewer
7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
301.347.3756
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:
Rodgers Consulting, Inc.
19847 Century Boulevard, Suite 200
Germantown, Maryland 20878
301.948.4700

Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	
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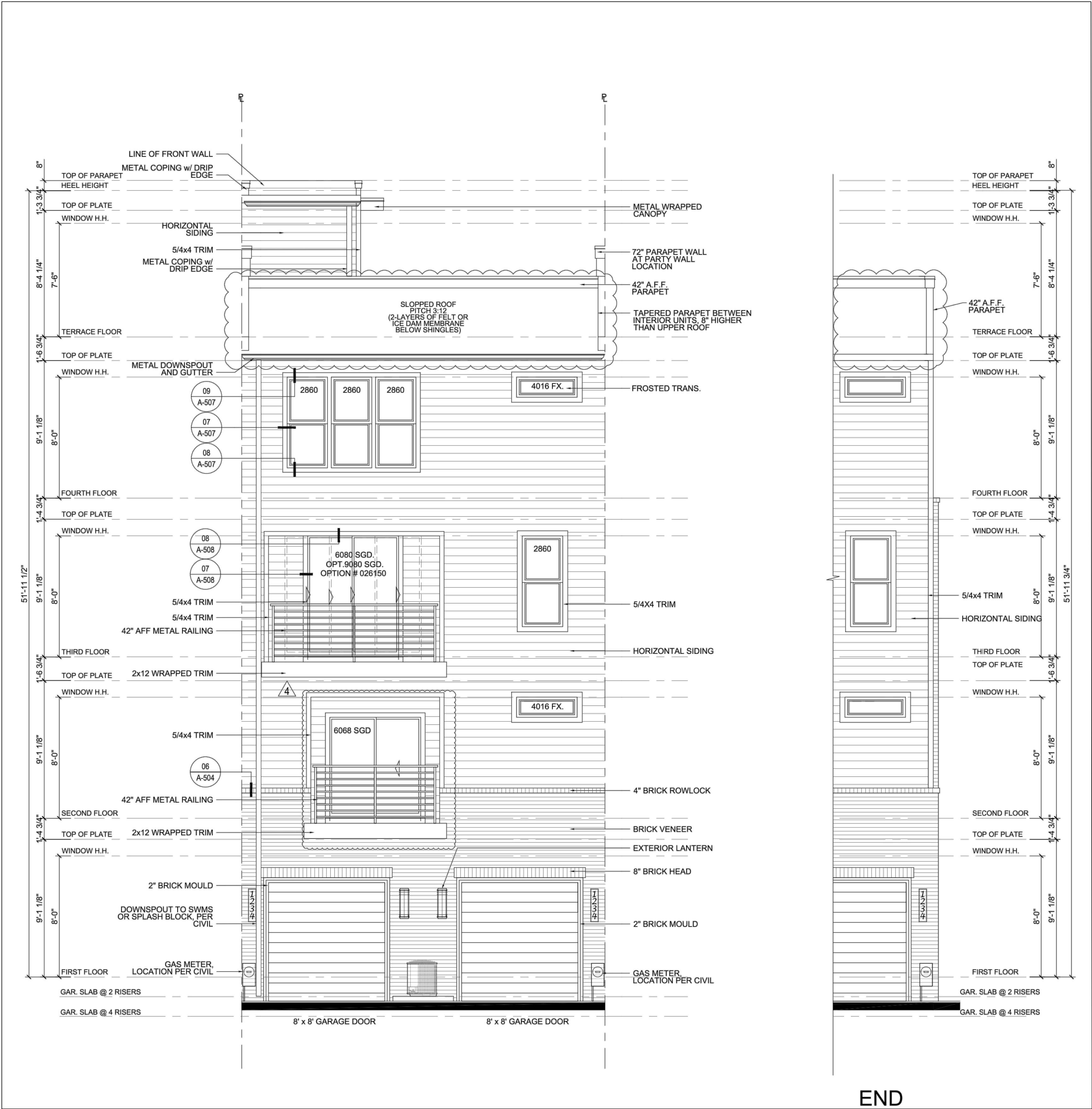
REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.04.25
SCALE	NTS
DRAWING TITLE	Arch Floor Plan - Roof

DRAWING NUMBER

2024.04.25 - 02/19 PPH

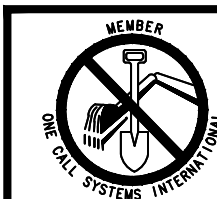
A-08



Rear Elevation

SCALE: NTS

Community Planning & Development Services
Received
April 30, 2024



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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\usacsd\Plot Plans\Site Plan\A-05 Arch Elevation.dwg

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WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
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.	.
.	.

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.25
SCALE	NTS
DRAWING TITLE	Arch Elevation - Rear

DRAWING NUMBER

2024.04.25 - 0218 PPS

A-05

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WASHINGTON SQUARE

Site Plan
Architecture Plan

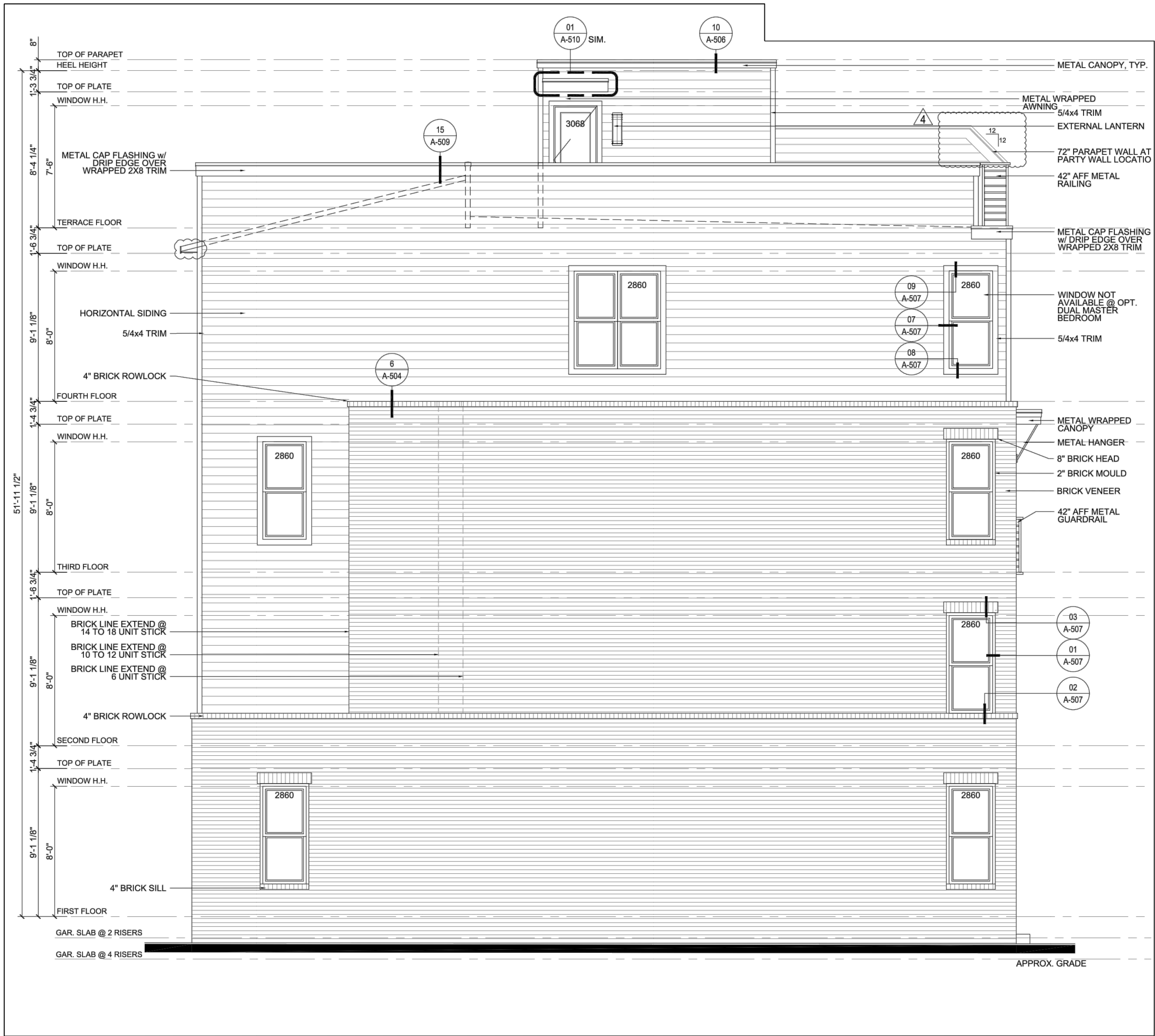
WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
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.	.
.	.

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.25
SCALE	NTS
DRAWING TITLE	Arch Elevation - Typ Side

DRAWING NUMBER	A-03
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Typ. Side Elevation
SCALE: NTS

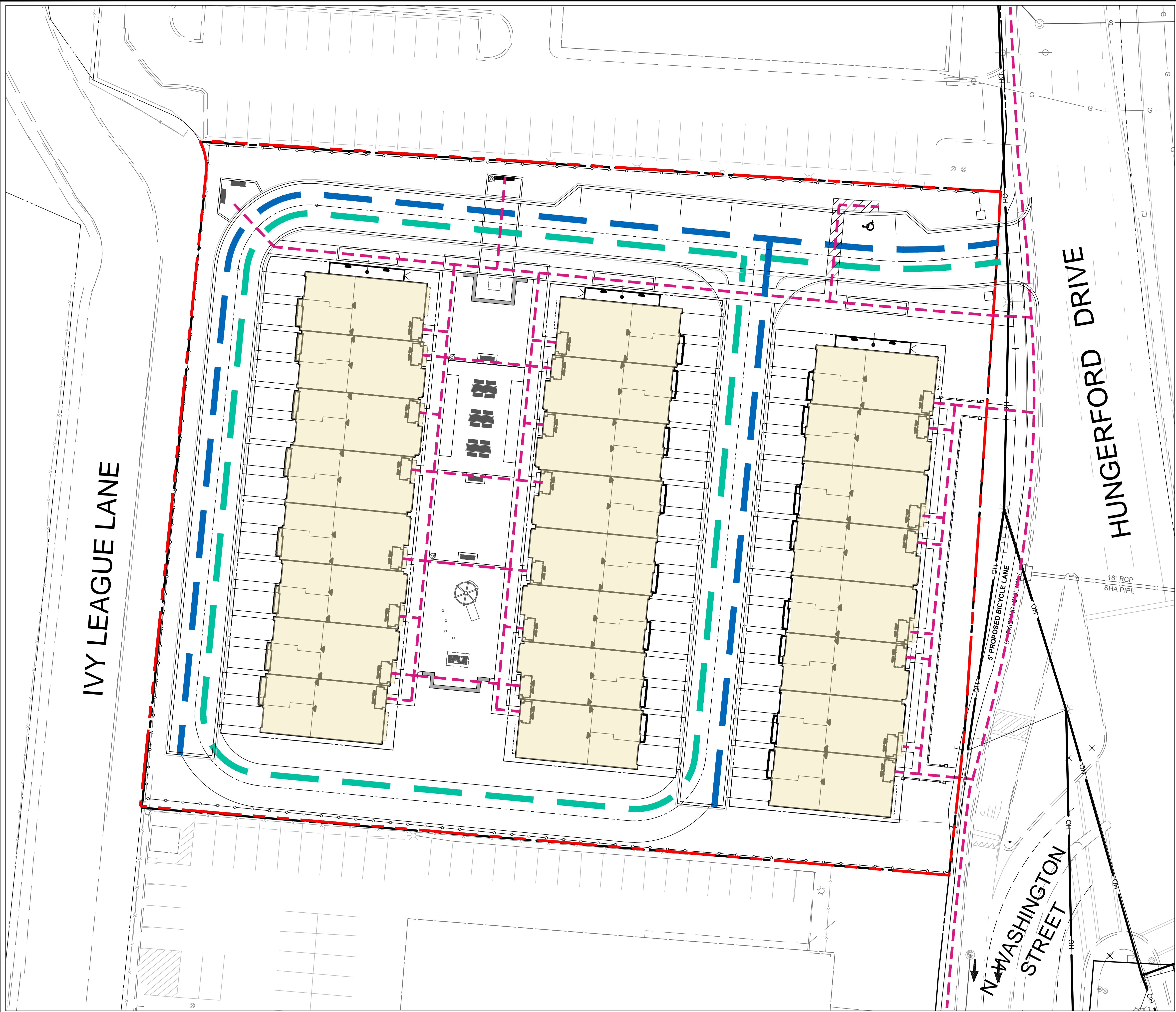
Community Planning & Development Services
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April 30, 2024

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Preliminary Not For Construction

DRAWING NUMBER **EAB-01**



LEGEND

Vehicular - Residential

Vehicular - Fire Lane / Deliveries/
Waste Management

Pedestrian

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SEAL & SIGNATURE

PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2025"

WASHINGTON SQUARE

Site Plan

Support Exhibit

WSSC Grid: 219NW07, Tax Map: HN23

City Of Rockville, MD, Rockville, Election District 04

ISSUE		DESCRIPTION
DATE	2023.03.27	Initial Submission
REVISIONS		DESCRIPTION
NO	DATE	
PROJECT NUMBER	-----	
DATE	26.04.2024	
SCALE	1" = 20'	
DRAWING TITLE	Circulation Plan	
DRAWING NUMBER	EXB-02	

Circulation Plan

SCALE: 1" = 20'

0204080

Feet

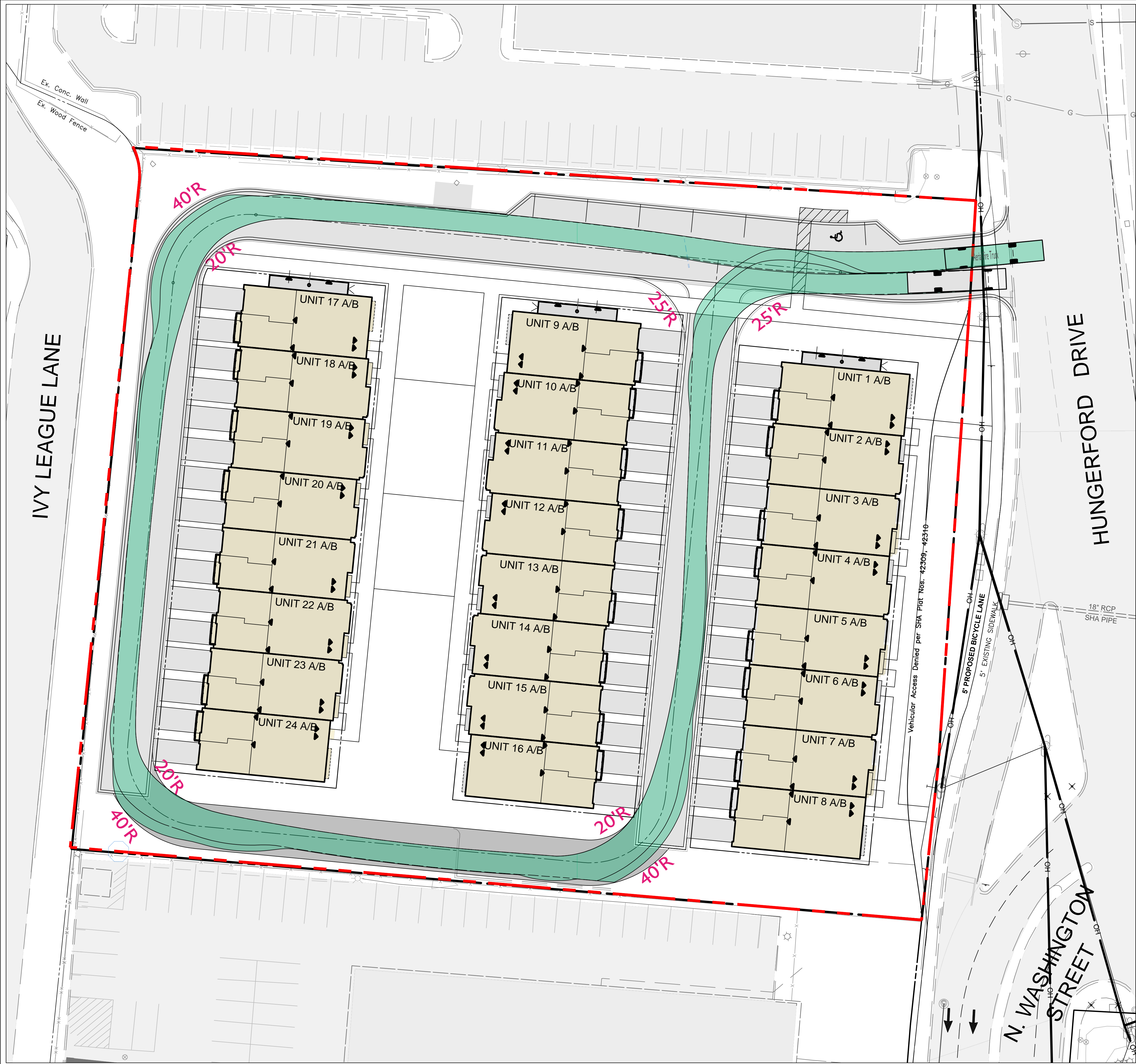
1" = 20'

CALL "MISS UTILITY" AT
1-800257-7777
48 Hours Before Start Of Construction

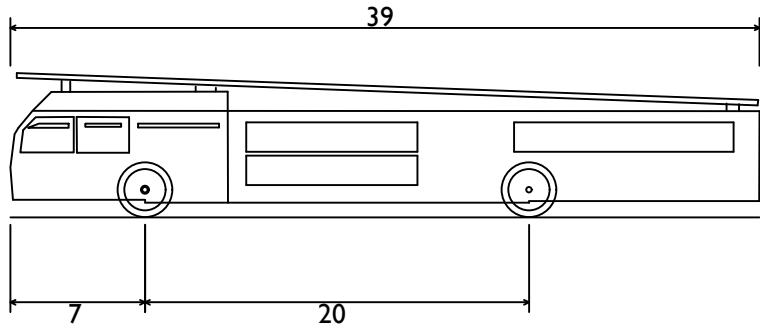
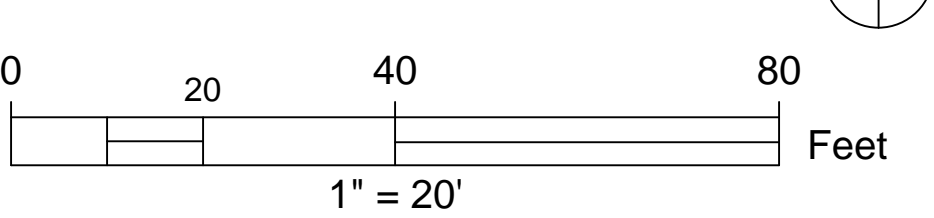
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\autoCAD\Plot Plan\Site Plan\EXB-02 Circulation Plan.dwg 2024.04.26 - 03:10 PM



Fire Truck Movement



Aerial Fire Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

39.000ft
8.167ft
7.500ft
0.750ft
8.167ft
5.00s
45.00°

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April 30, 2024



CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Site Plan\Site Plan\EXB-03 Truck Turning Movement.dwg

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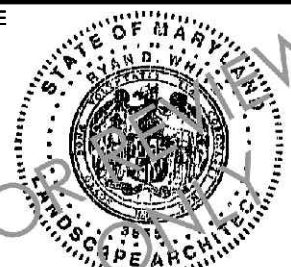
Legal:

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7600 Wisconsin Avenue, Suite 700
Bethesda, Maryland 20814
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Site Plan

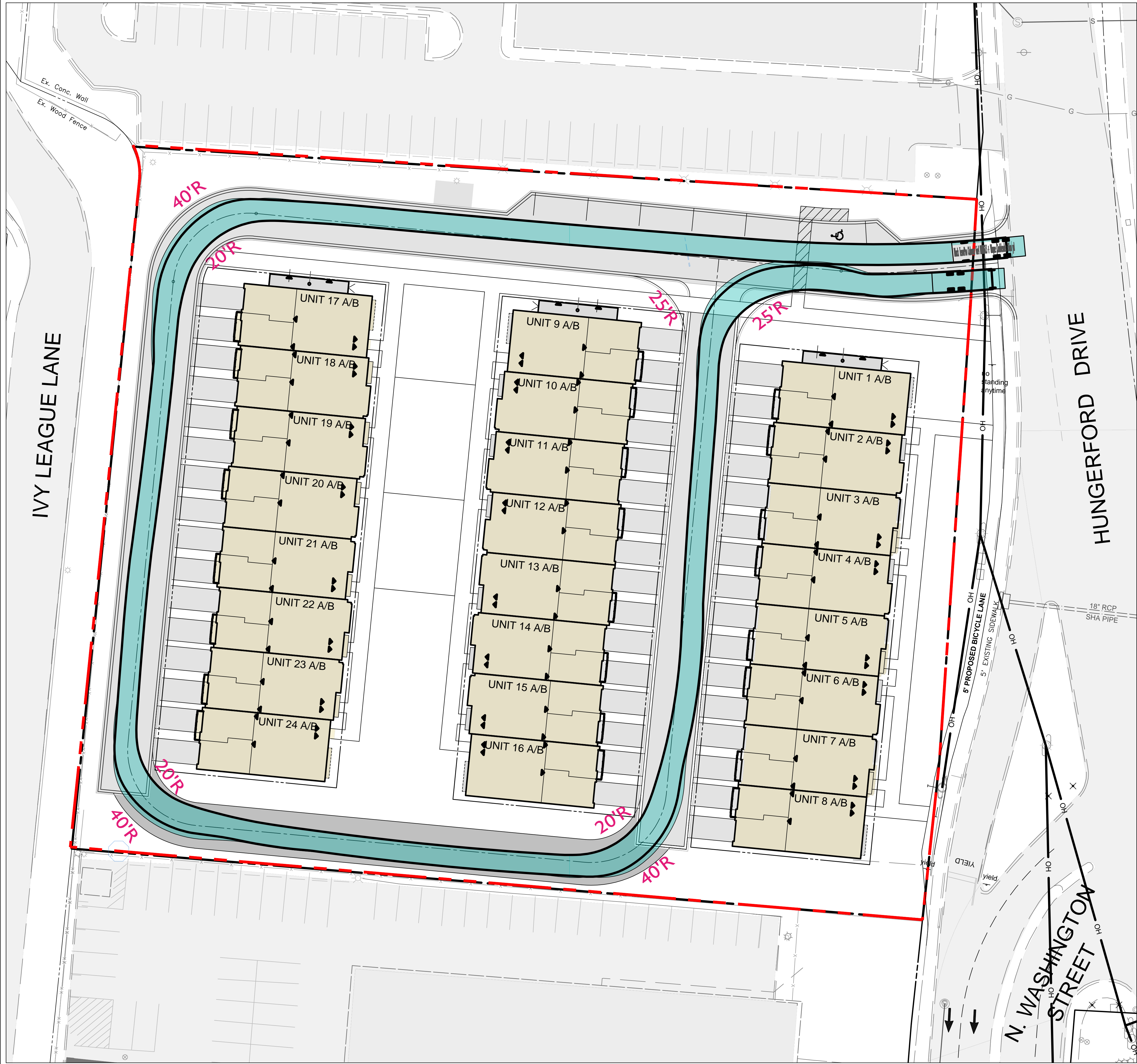
Support Exhibit

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	Fire Truck Turning Movement
DRAWING NUMBER	EXB-03

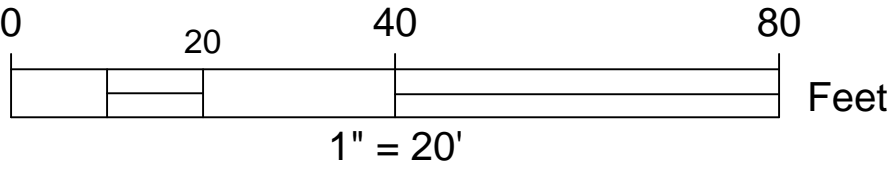


Mack TerraPro Cabover 6x4 MRU613 +
Wayne Curbtender 31cu yd

Overall Length	28.613ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	33.500ft

Garbage Truck Movement

SCALE: 1" = 20'



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1-800257-7777
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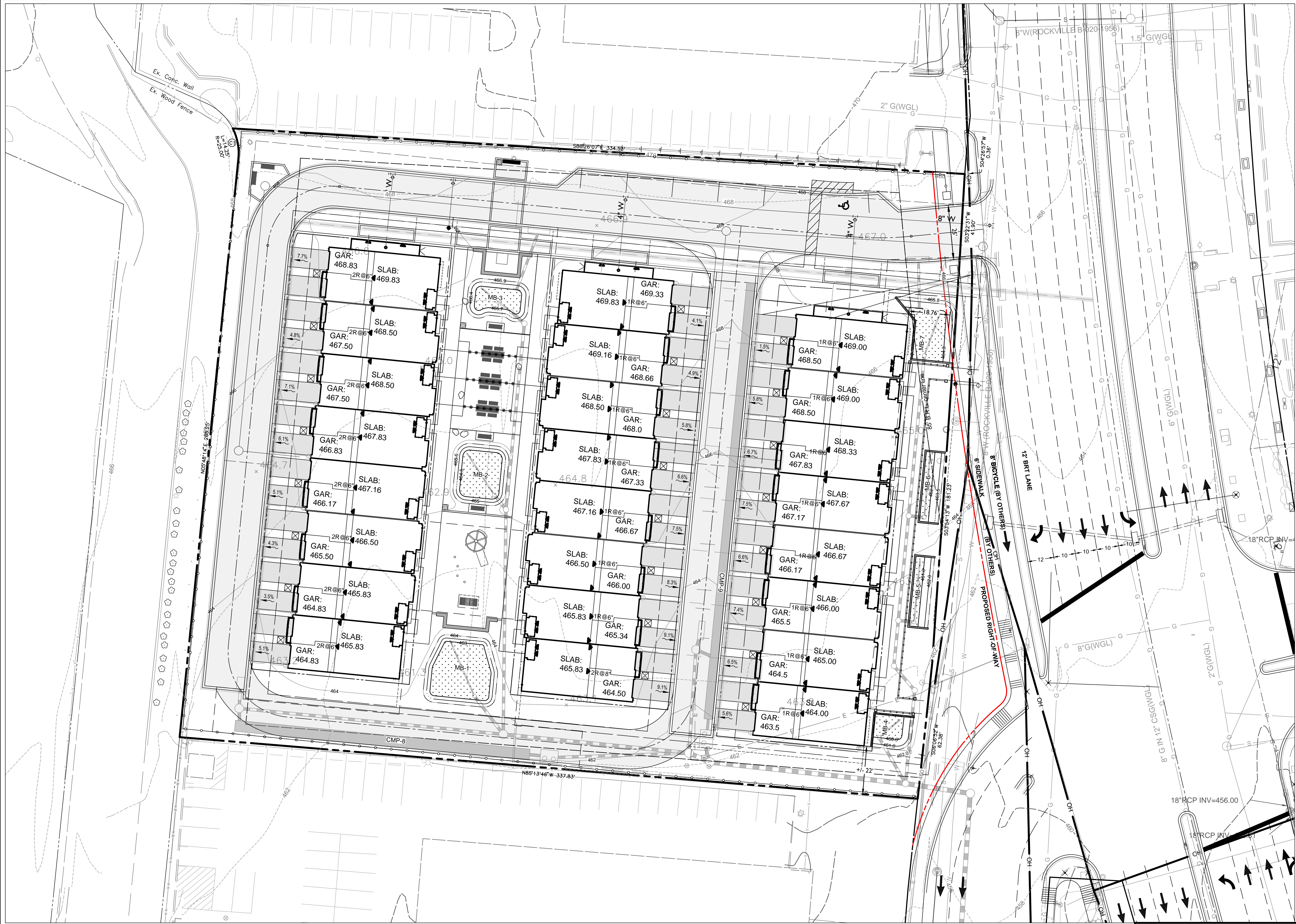
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2029

WASHINGTON SQUARE

Site Plan
Support Exhibit

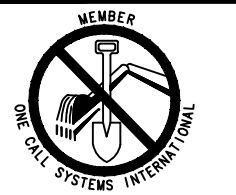
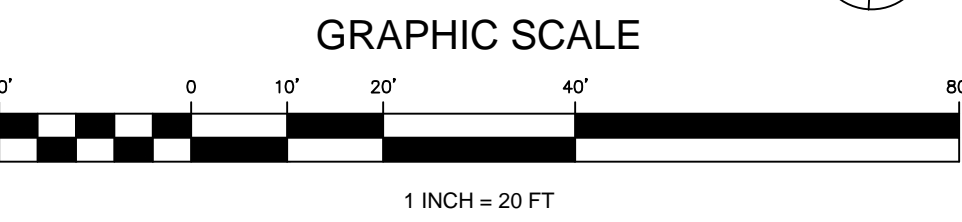
WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE		DESCRIPTION
DATE	2023.03.27	Initial Submission
REVISIONS		DESCRIPTION
NO	DATE	DESCRIPTION
PROJECT NUMBER	----	
DATE	2024.04.26	
SCALE	1" = 20'	
DRAWING TITLE	Garbage Truck Movement	
DRAWING NUMBER	EXB-04	



Community Planning & Development Services
Received
April 30, 2024

BRT - Ultimate Condition
SCALE: 1" = 20'



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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Plan Files\Site Plan\EXB BRT Ultimate Condition.dwg

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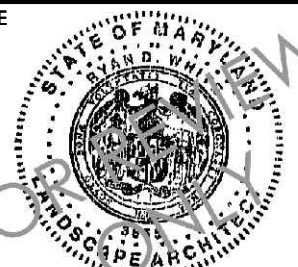
19847 Century Boulevard, Suite 200

Germantown, Maryland 20878

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Attn: Randall Rentfro

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WASHINGTON SQUARE

**Site Plan
Support Exhibit**

WSSC Grid: 219NW07, Tax Map: HN23
City Of Rockville, MD, Rockville, Election District 04

ISSUE

DATE

2023.03.27

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DESCRIPTION

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REVISIONS

NO

DATE

DESCRIPTION

PROJECT NUMBER

DATE

2024.04.26

SCALE

1" = 20'

DRAWING TITLE

BRT Ultimate Condition

DRAWING NUMBER

EXB-05