



111 Maryland Avenue | Rockville, Maryland 20850-2364 | 240-314-5000  
[www.rockvillemd.gov](http://www.rockvillemd.gov)

# Development Review Comments

June 18, 2024

STP2024-00490

1<sup>st</sup> Submission Review Comments

622 Hungerford Drive – Washington Square

The following are Development Review comments from City of Rockville staff related to the project submission.

## Reviewing Staff

### Planning & Development Services (CPDS)

**Project Manager:**

Chris Davis (CRD), Senior Planner  
[cdavis@rockvillemd.gov](mailto:cdavis@rockvillemd.gov)

**Comprehensive Planning:**

Katie Gerbes (KG), Comprehensive Planning Manager  
[kgerbes@rockvillemd.gov](mailto:kgerbes@rockvillemd.gov)

**Forestry Reviewer:**

Shayda Musavi (SM), Principal Planner, Landscape Architect  
[smusavi@rockvillemd.gov](mailto:smusavi@rockvillemd.gov)

**Fire Reviewers:**

Shannon Patrick (SP), Fire Protection Engineer  
[spatrick@rockvillemd.gov](mailto:spatrick@rockvillemd.gov)

Charles Biggus (CB), Fire Plans Examiner  
[cbiggus@rockvillemd.gov](mailto:cbiggus@rockvillemd.gov)

**Building Reviewer:**

Chris Dempwolf (CD), Buildings Plan Examiner Supervisor  
[cdempwolf@rockvillemd.gov](mailto:cdempwolf@rockvillemd.gov)

### Dept. of Public Works (DPW)

**Engineering Reviewer:**

Sean Murphy (SM), Principal Civil Engineer  
[smurphy@rockvillemd.gov](mailto:smurphy@rockvillemd.gov)

**Traffic and Transportation Reviewers:**

Andrew Luetkemeier (AWL), Principal Transportation Engineer  
[aluetkemier@rockvillemd.gov](mailto:aluetkemier@rockvillemd.gov)

Faramarz Mokhtari (FM), Senior Transportation Planner

[fmokhtari@rockvillemd.gov](mailto:fmokhtari@rockvillemd.gov)

## **Housing and Community Development (HCD)**

### **Housing Reviewer:**

Punam Thukral (PT), Housing Specialist

[pthukral@rockvillemd.gov](mailto:pthukral@rockvillemd.gov)

## **Recreation and Parks (RPD)**

### **Publicly Accessible Art in Private**

### **Development (AIPD) Reviewer:**

### **Parks Reviewer:**

Christine Henry (CH), Acting Director

[chenry@rockvillemd.gov](mailto:chenry@rockvillemd.gov)

## CPDS Comments

### Development & Zoning (CRD)

1. Located at the northwest corner of the intersection of Hungerford Drive (MD355) and N. Washington Street.
  - a. Zoning District: MXNC (Mixed-Use Neighborhood Commercial)
  - b. Land Use: OCRM (Office Commercial Residential Mix)
  - c. Per Zoning Ordinance Sec. 25.13.03 “multiple-unit dwelling” is a permitted use in the MXNC zone. See Comprehensive Planning comments below for compliance with the Comprehensive Plan.
2. Using the corresponding Montgomery County Student Generation Rates, the proposed development will generate three (3) students at the elementary school level (Beall); one (1) at the middle school level (Julius West); and two (2) students at the high school level (Richard Montgomery).
3. Per request of MDSHA, please submit roadway improvement plans showing the changes to the existing driveway, proposed sidewalk/ bicycle lane, and MOT for the proposed improvements.
4. Provide further details on the proposed community and wayfinding signage mentioned in the justification statement, including their proposed locations on-site.
5. As it appears subdivision is proposed for the anticipated development, please provide a lotting plan. Please demonstrate how the project will meet the required setbacks of the MXNC zone with the proposed lotting.
6. Further subdivision of the property will require approval of a record plat application by the Planning Commission in accordance with Article 21 of the Zoning Ordinance.
7. Per Sec. 25.16.04.a, all off-street required parking must be located on and entirely within the same record lot with that use. Parking for the proposed units must be accommodated within the proposed subdivided lots.
8. See Site Plan markups for additional comments.

### Comprehensive Planning (KG)

1. This application is compliant with the City’s Comprehensive Plan. The application is located within Planning Area 1. The subject property is not identified by the Comprehensive Plan as a Focus Area or location of a City Project, however the application does forward the general policy recommendation for the planning area to “Increase the number of residents and housing density in Town Center, to provide additional housing options

for residents across the full range of income levels and to provide additional demand for the commercial uses in this mixed-use environment.” - page 263. The application is also consistent with many of the broader objectives and goals within the housing element of the Comprehensive Plan.

2. Per Section 25.14.01 of the Rockville Zoning Ordinance, any structure in Rockville proposed for demolition must undergo an Evaluation of Significance by the Historic District Commission prior to demolition. The applicant received an approval letter for demolition of the existing building from the Historic District Commission following the HDC’s Evaluation of Significance on March 22, 2024.

**Forestry (SM)**

1. See site plan markups for comments.

**Fire (CB)**

1. See site plan markup for comments.

**Building (CD)**

1. No comments.

**DPW Comments**

**Engineering (SM)**

1. Please see comments on site plan markup.
2. Review comments for Stormwater, Sediment Control and Safe Conveyance concept plans are provided separately.

**Traffic and Transportation (AWL/FM)**

1. Please see comments on site plan markup.
2. Applicant will need to pay fees for scoping intake form and on site transportation report review, \$200 and \$1000, respectively.



## HCD Comments

### Housing (PT)

1. The applicant is proposing the construction of 48 two over two condominiums units, this project doesn't require to comply with MPDU regulations chapter 13.5.

## RPD Comments

### Parks (CH)

1. No comments from RPD

### Publicly Accessible Art in Private Development (AIPD) (CH)

1. While the location of the artwork is included on the site plan documents, the applicant should also provide city staff with a conceptual description of the art and qualifications of the artist with the submission of any application for a site plan or project plan approval.
2. Any changes to the art location may require a Site Plan Amendment. Artworks that contain a foundation, lighting/wiring, or the like and/or artworks in the right of way or blocking a route, etc. may require additional city staff review and approvals. It is the responsibility of the applicant to determine additional reviews and approvals that may be required for any art.
3. A final plan and application must be approved prior to issuance of a building permit.
4. If the applicant includes art on the site plan, they may include a note that states "the artwork and the location shown are conceptual and may change."
5. The Publicly Accessible Art in Private Development Implementation Manual, city ordinance, and application are located here:

<https://www.rockvillemd.gov/2081/Publicly-Accessible-Art>

**Note: At the time of the next submittal, the applicant will need to provide a point-by-point response letter noting how the staff review comments have been addressed. Comments provided in letter format can be addressed letter format. Comments provided in the plans should be addressed via plan markups rather than letter format. See attached example.**



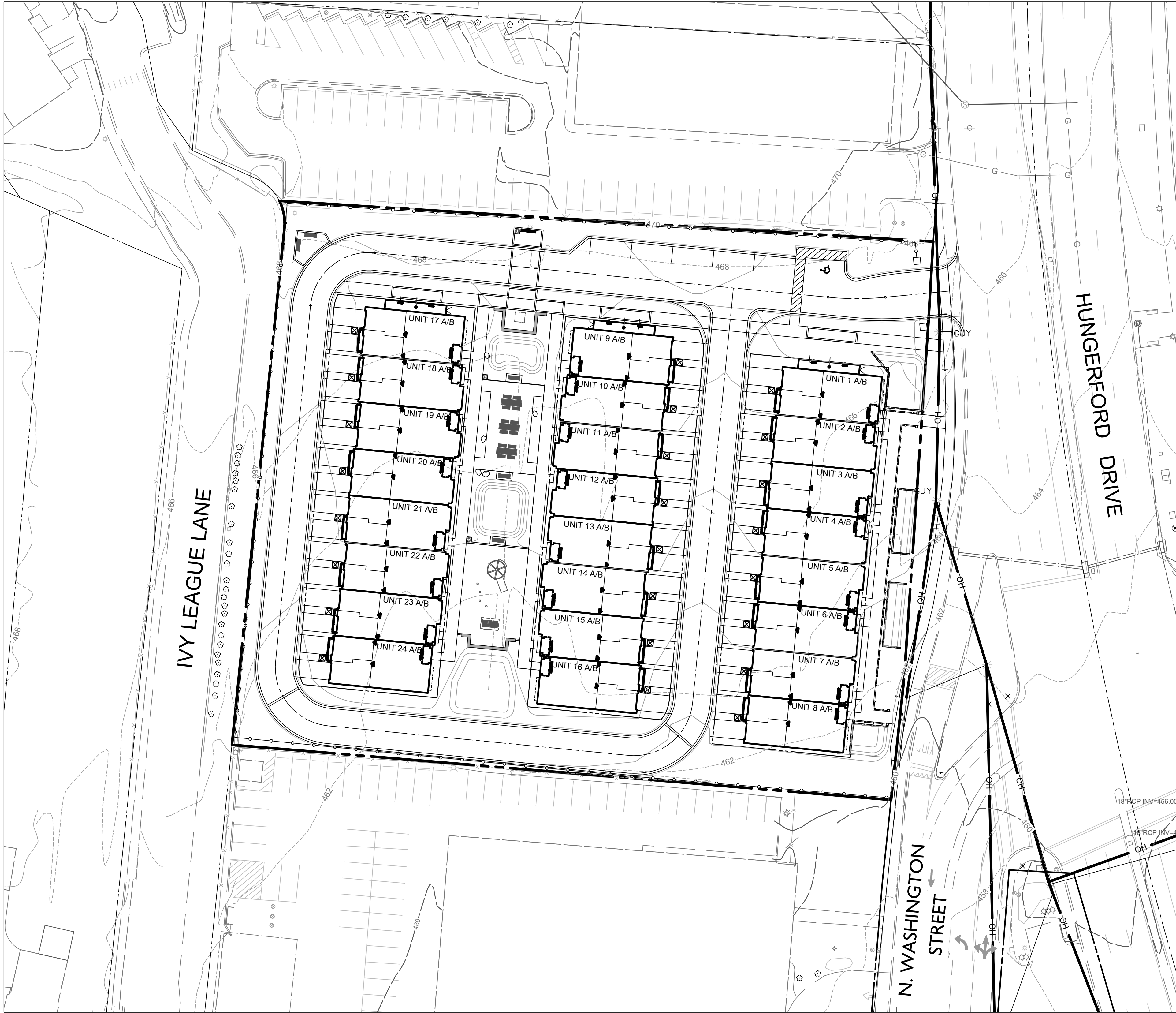
Comments provided in letter format can be addressed in letter format. Comments provided on the plans must be addressed via plan markup responses rather than letter format.

# WASHINGTON SQUARE

## TYPE 2 SITE PLAN

### CITY OF ROCKVILLE, MARYLAND

STP2024-00490



#### Dry Utilities

Provide layout per ordinance 25.17.03a. All underground lines and cables shall be placed in a public utility easement, or otherwise on private property. No utilities may be placed in the public right-of-way or on City property without the express written permission of the City, and subject to such terms and conditions that the City may require.

Dry utilities may cross the ROW perpendicular  
Applicant shall submit a conceptual dry utility plan to be approved by both the utility companies and DPW.

#### SHEET INDEX

- SITE PLAN -  
SP-00 - COVER  
SP-01 - EXISTING CONDITIONS  
SP-02 - SITE PLAN  
SP-03 - GRADING PLAN  
SP-04 - SITE PLAN DETAILS  
SP-05 - SITE AMENITY DETAILS  
SP-06 - OPEN AREA & PUBLIC USE EXHIBIT

#### Provide lotting plan

- LANDSCAPE & LIGHTING PLAN -  
L-01 - LANDSCAPE PLAN  
L-02 - LANDSCAPE NOTES & DETAILS  
L-03 - LIGHTING PLAN & DETAILS

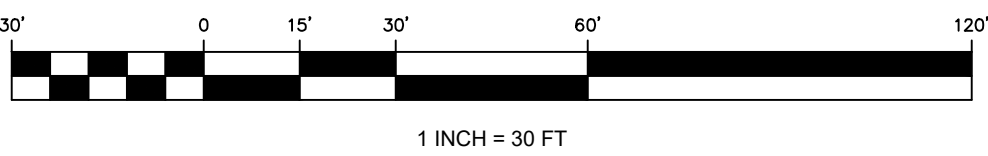
- ARCHITECTURAL -  
A-01 - ILLUSTRATIVE ARCHITECTURE  
A-02 - FRONT ELEVATION  
A-03 - BLANK SHEET  
A-04 - SIDE ELEVATION  
A-05 - REAR ELEVATION  
A-06 - FLOOR PLAN

- SUPPORTING EXHIBITS -  
EXB-01 - FIRE PROTECTION PLAN  
EXB-02 - CIRCULATION PLAN  
EXB-03 - FIRE TRUCK TURNING MOVEMENT  
EXB-04 - GARBAGE TRUCK TURNING MOVEMENT  
EXB-05 - BRT ULTIMATE CONDITION

Community Planning and Development Services  
Received  
May 13, 2024

Cover Sheet  
SCALE: 1" = 30'

GRAPHIC SCALE



CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Plan\Site Plan\SP-00 Cover Sheet.dwg

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#### DESIGN TEAM

Owner / Developer:

**Toll Mid-Atlantic LP Company, Inc.**  
6731 Columbia Gateway Drive, Suite 120  
Columbia, Maryland 21046  
410.381.3263  
Attn: Jeffery S. Driscoll

#### Legal:

**Lerch Early Brewer**  
7600 Wisconsin Avenue, Suite 700  
Bethesda, Maryland 20814  
301.347.3756  
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:  
**Rodgers Consulting, Inc.**  
19847 Century Boulevard, Suite 200  
Germantown, Maryland 20878  
301.948.4700  
Attn: Randall Rentfro

#### SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2029"

WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#
#	#

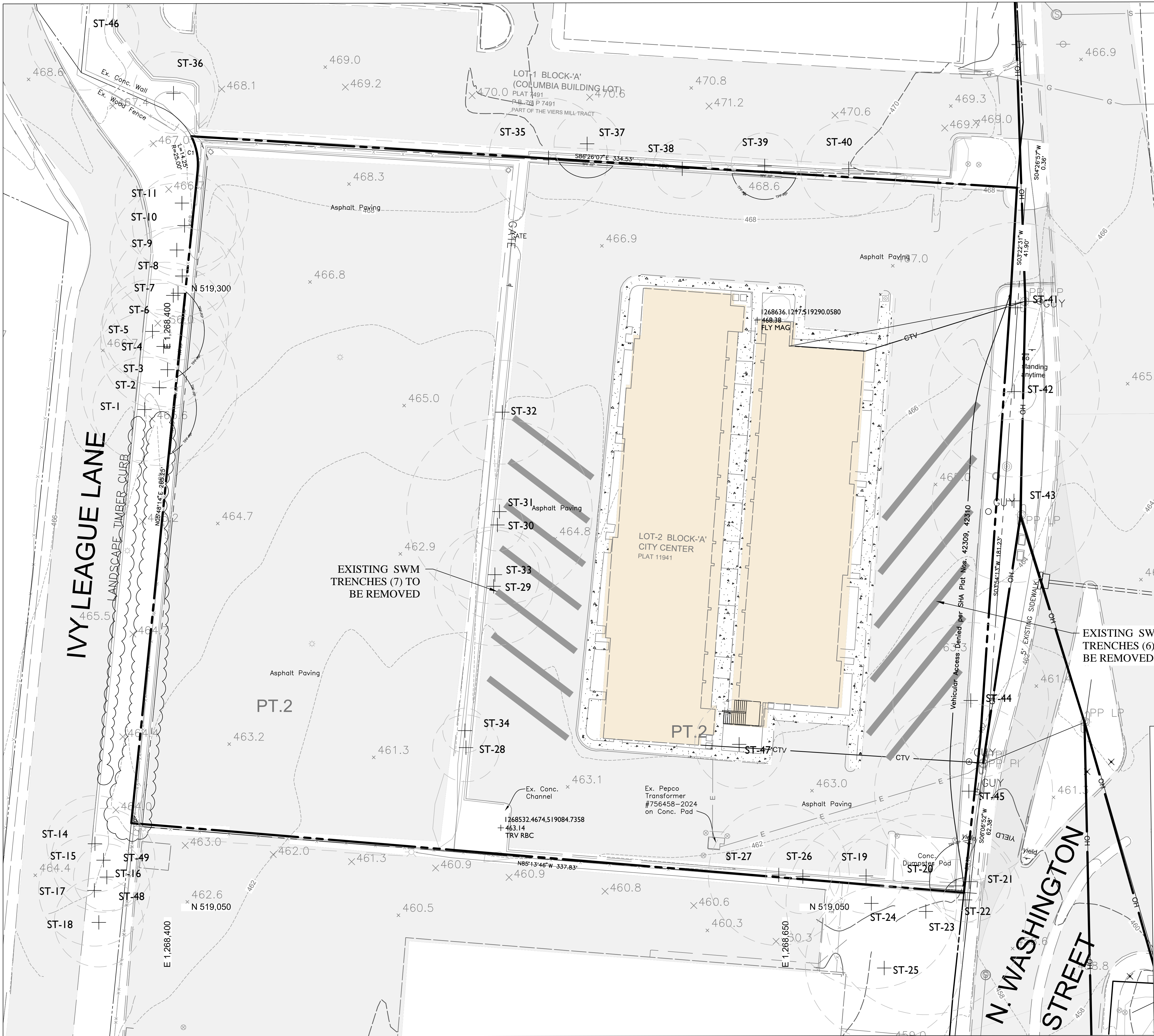
REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.05.10
SCALE	1" = 30'
DRAWING TITLE	COVER SHEET

DRAWING NUMBER

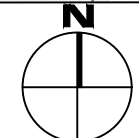
SP-00



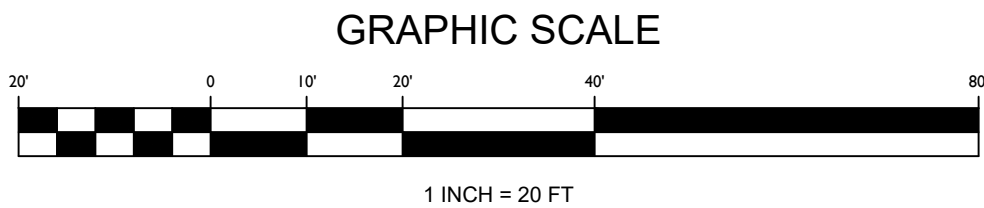


Existing Conditions Plan

SCALE: 1" = 20'



NAD 83  
NGVD 88



NOTES:

- The subject property is comprised of Parcels N547 & N548 and is located at 622 Hungerford Drive, Rockville, Maryland 20850, found on Tax Map GR 33.
- The site is ± 2.17 acres, found on Subdivision Plat No. 11941 - City Center, Lot 2, Block A, recorded at Liber 51091 Folio 65.
- The site is shown in Maryland Coordinate System NAD83(2011), State Plane Coordinate System zone 1900 (MD), US survey feet.
- Existing site improvements shown hereon are taken from an aerial photogrammetry survey flown on August 30, 2023 and compiled by Rodgers Consulting, Inc., and a field run survey by Rodgers Consulting, Inc., in August-September 2023.

Curve Table					
Curve	Radius	Length	Tangent	Chord	Bearing
C1	25.00'	14.25'	7.33'	14.06'	N10°32'21"W
					32°39'53"

LEGEND	
	PROPERTY BOUNDARY
	EXISTING CONTOUR
	EXISTING STORM DRAIN
	EXISTING BUILDING
	EXISTING ON-SITE PAVEMENT
	EXISTING ROAD
	EXISTING SPECIMEN TREE & CRITICAL ROOT ZONE



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Preliminary Not For Construction

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WASHINGTON SQUARE

Site Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.04.25
SCALE	#####
DRAWING TITLE	EXISTING CONDITIONS
DRAWING NUMBER	SP-01



Sec. 24-32. - Conditions for service lines and connections.  
(a) For all permit applications for a new water service under chapter 5 and/or chapter 21, each record lot, parcel, or ownership lot, shall have one (1) City water service line and City meter connecting to the City water main, except as otherwise provided in this section. For all permit applications for a new sewer service under chapter 5 and/or chapter 21, each record lot, parcel, or ownership lot shall have one (1) City sewer service line connecting to the City sewer main, except as otherwise provided in this section...

(d) Multiple buildings on one (1) record lot, parcel, or ownership lots shall comply with the following:  
(1) Each building must be sub-metered separately. The sub-meter shall be owned and maintained by the property owner.

(2) For all new development and re-development, the private property owner must execute a declaration of covenants in a manner acceptable to the City. The document must:

a. Require the owner to install separate water and sewer City service lines connecting to the City water and sewer main in the event the owner seeks to create multiple lots, parcels or ownership lots.

b. Require each lot, parcel or ownership lot to be served by separate water and sewer City service lines connecting to the City water and sewer main.

c. Require each lot, parcel or ownership lot to be separately metered.

d. Be binding on all subsequent property owners of land served by the water or sewer systems.

e. Be recorded by and at the expense of the owner, in the land records of Montgomery County, prior to the issuance of a building permit unless otherwise the Director otherwise allows the recordation at another time.

to clarify PAM comment, single proposed record lot will not be subject to Chapter 21 and no public/private roads are required - subdivision creates lots that must be connected by a public roadway, subject to right-of-way standards. Secondary residential road required with parking and sidewalks on both sides 62' ROW (City detail 45A). DPW will not support a waived section

baseline radius of a public road is min. 150'. provide an intersection with private alley

dead-end water mains will not be allowed

relocate mailbox onto private property, outside of ROW. recommend it be placed on opposite side of the road to reduce the number of pedestrian/vehicle crossing conflicts

Ensure that all roadway horizontal curves meet the city's roadway standards.

Provide a typical section for the proposed Hungerford Drive and for the proposed secondary residential street.

Sec. 25.21.18. - Easements and rights-of-way.

a. Easements or rights-of-way across lots must not be less than ten (10) feet in width, or of such greater width as may reasonably be required by the Commission.

c. The public utility improvements (water, sewer and storm drains) must comply with the Department of Public Works Standard Details for Construction for City Utility Easements or other applicable Washington Suburban Sanitary Commission (WSSC) and Montgomery County standards.

Property lines at street intersections must be rounded with a radius of twenty-five (25) feet or of greater radius where the Commission may reasonably deem it necessary. The Commission may permit comparable cutoffs or chords in place of rounded corners. (Sec. 25.21.16)

The Grade Establishment for the proposed roads (entire site) must be submitted for review with the Site Plan submission and must be conceptually approved prior to the Site Plan approval. (Sec. 25.21.16.6)

Provide adequate easement widths for W&S, SD, and SWM. Easement widths should be able to provide enough space to construct, maintain, and vehicle access. Widths must be able to meet OSHA excavation requirements.

12. No rare, threatened or endangered species were observed during field visits.
13. Cannot send runoff from public ROW to private property, revise SWM Concept to treat public ROW separately, recommend roadside microbio facilities that outfall to a public storm drain.
14. The public storm drain.
15. There are no forest stands onsite, as defined in the Forest and Tree Preservation City Code.
16. The site contains 16 significant trees, as shown on the NRI/FSD.

reconsider how pedestrian walkways connect to MD365 sidewalk. connections should be emphasized at locations close to existing crosswalks so as to deter jaywalking

a buffered shared use path is required for the interim condition, prior to ultimate BRT configuration, provide a min. 10' wide shared use path and min. 2' buffer, dependent on site/utility pole constraints.

right-of-way shall meet City standards and details, including sidewalk materials, private amenities, public art, specialty paving, etc. must be removed from public ROW

If not proceeding with subdivision, these internal drive aisles must be 24' wide per Sec. 25.16.06.a.(1).(a)

building sewer connection should be located in a common (HOA) space to allow maintenance with minimal disruption to any one residence

private alleys must meet City standards and detail and provide a Public Access Easement. alleys should not dead-end or have curb across the travel lane. provide a continuous 20' wide pavement with inverted crown (typ)

consider providing pedestrian connection closer to N Washington/Hungerford intersection

Community Planning and Development Services

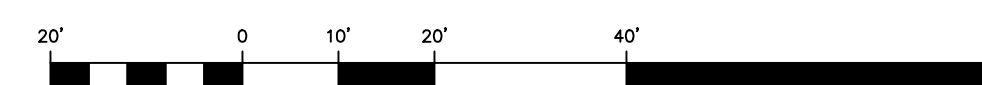
Received

May 13, 2024

Site Plan

SCALE: 1" = 20'

GRAPHIC SCALE



1 INCH = 20 FT



CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\MPD\Montgomery-City of Rockville\Washington Square\assocs\Site Plan\SP-02 Site Plan.dwg

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DESIGN TEAM:

Owner / Developer:

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Columbia, Maryland 21046  
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SEAL & SIGNATURE



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**WASHINGTON SQUARE**

**Site Plan**

Indicate proposed building setback from Hungerford Drive centerline.

Please specify maximum height. What is the margin?

Asterisk note?

Confirm "0ft" building setbacks. If different, please specify.

Asterisk note?

WSSC Grid: 219NW07, Tax Map: HN23  
City of Rockville, MD, Rockville, Election District 04

PROJECT NUMBER: 2024.05.10  
DATE: 2024.05.10  
SCALE: 1" = 20'  
DRAWING TITLE: SITE PLAN

DRAWING NUMBER

**SP-02**





Grading Plan

SCALE: 1" = 20'

GRAPHIC SCALE

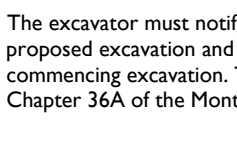


1 INCH = 20 FT



CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

Community Planning & Development Services  
Received  
April 30, 2024



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SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION

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# WASHINGTON SQUARE

## Site Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	GRADING PLAN

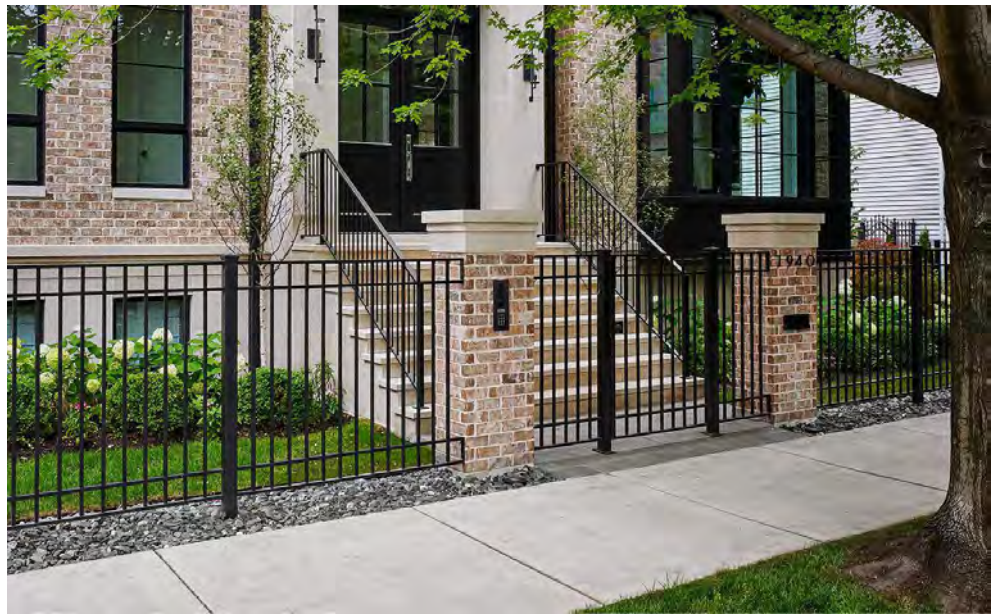
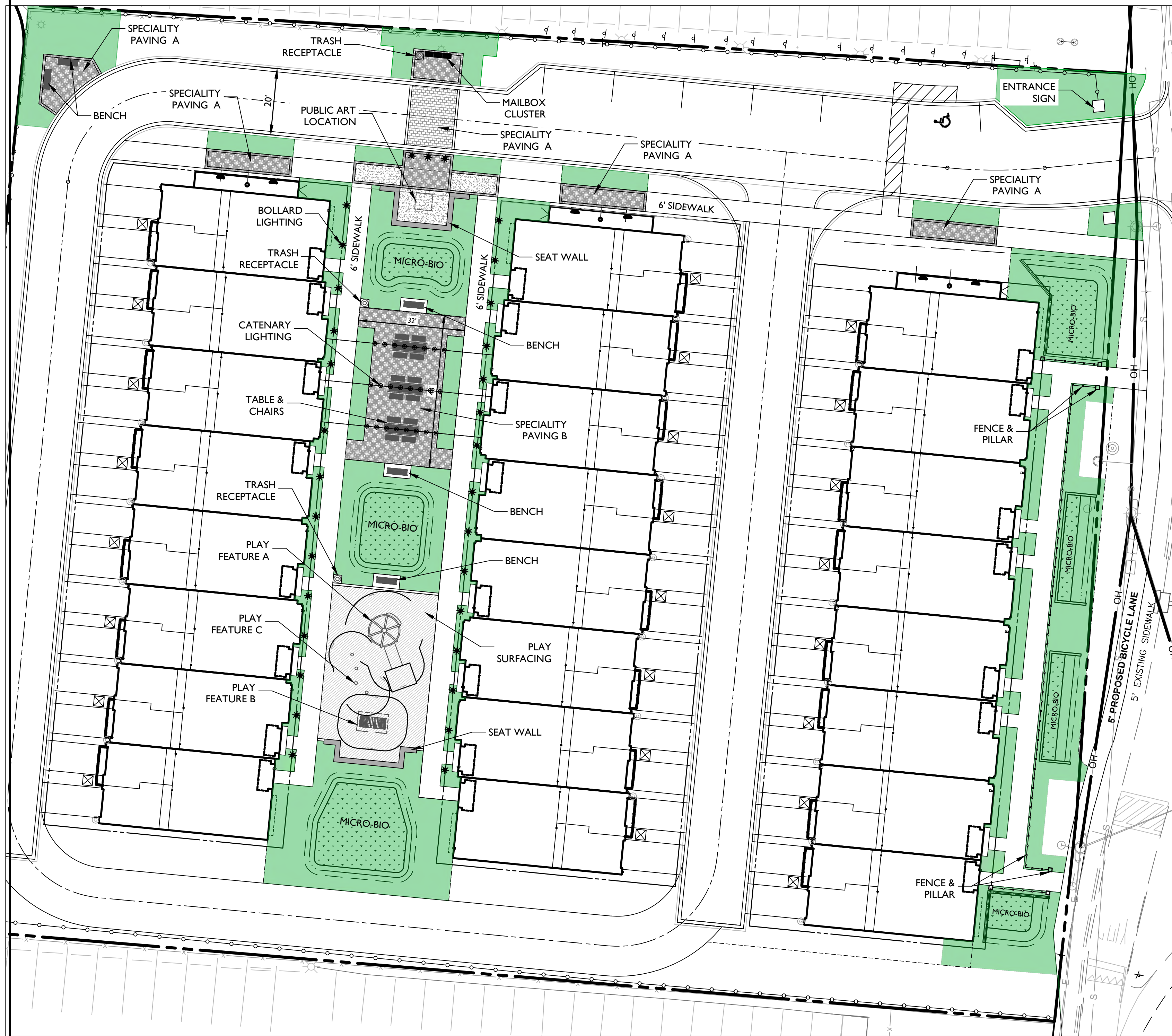
DRAWING NUMBER

**SP-03**









FRONTAGE FENCE & PILLARS (OR EQUAL)  
SCALE: NTS



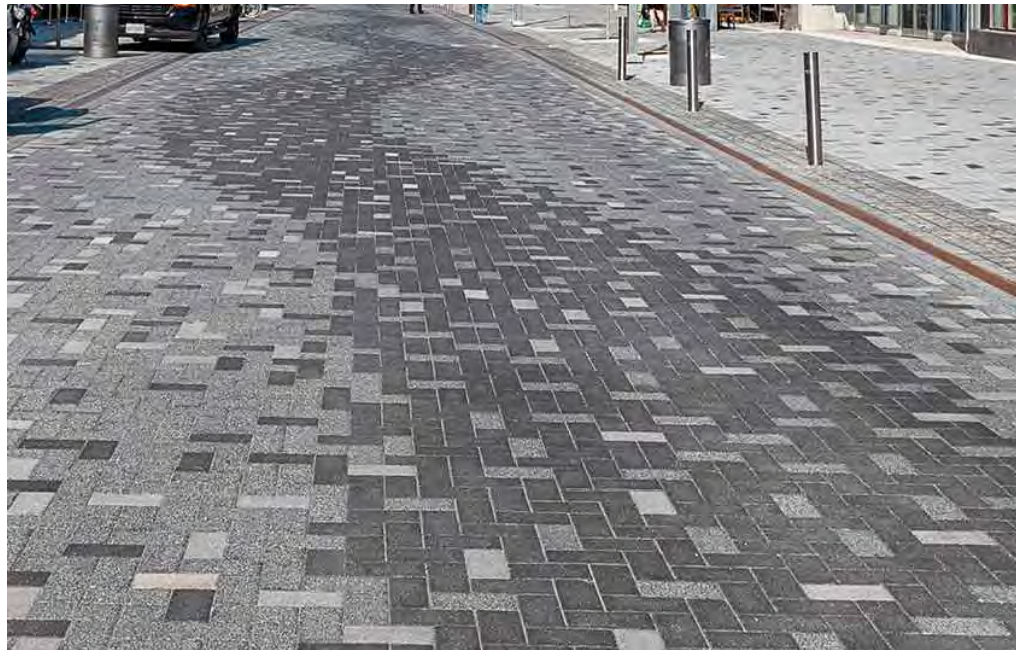
TRASH RECEPTACLE (OR EQUAL)  
SCALE: NTS



TABLE & BENCH (OR EQUAL)  
SCALE: NTS



SEAT WALL (OR EQUAL)  
SCALE: NTS



SPECIALTY PAVING (OR EQUAL)  
SCALE: NTS



PLAY FEATURE B (OR EQUAL)  
SCALE: NTS



BENCH (OR EQUAL)  
SCALE: NTS



PLAY FEATURE A (OR EQUAL)  
SCALE: NTS



PLAY FEATURE C (OR EQUAL)  
SCALE: NTS



SEAT WALL (OR EQUAL)  
SCALE: NTS



BENCH (OR EQUAL)  
SCALE: NTS



TRASH RECEPTACLE (OR EQUAL)  
SCALE: NTS



TABLE & BENCH (OR EQUAL)  
SCALE: NTS

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	SITE AMENITY DETAILS



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1-800257-7777  
48 Hours Before Start Of Construction

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Preliminary Not For Construction





**LEGEND**

Open Area

Public Use Space

Open Space - Sec 25.13.05.b.2 (c)	Minimum Required*	Proposed	
Open Area (includes Public Use Space)	15%	14,201 sq. ft.	22,638 sq. ft.
Public Use Space	10%	9,468 sq. ft.	12,943 sq. ft.

\* MXNC zone. Building height may be increased up to a maximum of sixty-five (65) feet in accordance with the plan. If the plan makes no other recommendation, development between forty-five (45) feet and sixty-five (65) feet must provide fifteen (15) percent open area, of which ten (10) percent must be public use space.

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Attn: Randall Rentfro

SEAL & SIGNATURE

PROFESSIONAL CERTIFICATION

\*I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2026\*

**WASHINGTON SQUARE**  
**Site Plan**

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER: -----

DATE: 2024.04.26

SCALE: 1" = 20'

DRAWING TITLE: **OPEN AREA & PUBLIC USE SPACE**

DRAWING NUMBER: **SP-06**

Open Area - Public Use

SCALE: 1" = 20'

GRAPHIC SCALE

20' 0 10' 20' 40' 80'

1 INCH = 20 FT

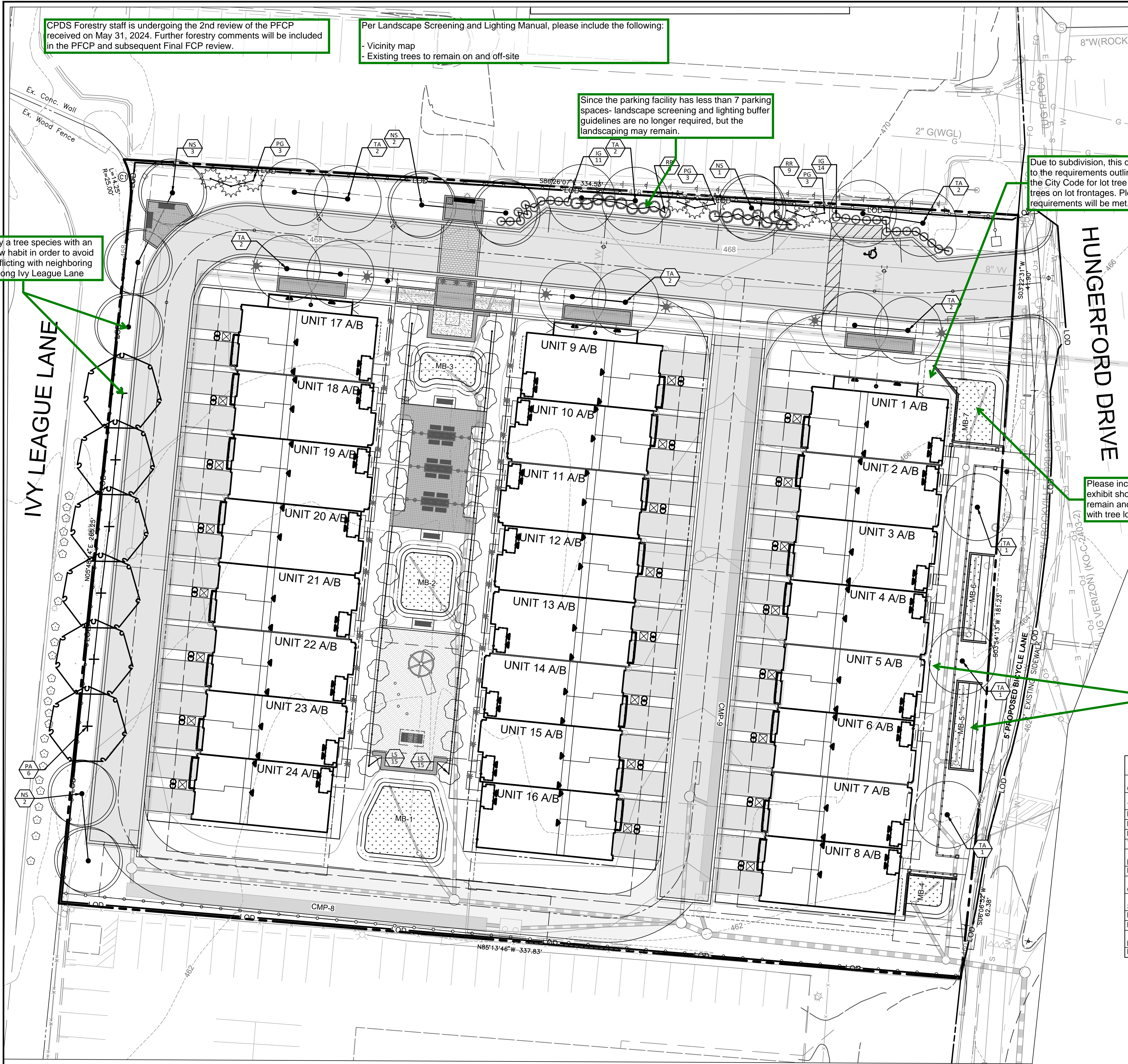
CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Plot Plans\Site Plan\SP-03 Open Area-Public Use.dwg 2024.04.26 - 02:26 PM





CPDS Forestry staff is undergoing the 2nd review of the PFCP received on May 31, 2024. Further forestry comments will be included in the PFCP and subsequent Final FCP review.

Per Landscape Screening and Lighting Manual, please include the following:

- Vicinity map
- Existing trees to remain on and off-site

Since the parking facility has less than 7 parking spaces- landscape screening and lighting buffer guidelines are no longer required, but the landscaping may remain.

Due to subdivision, this development will be subject to the requirements outlined in Chapter 25.21.21 of the City Code for lot tree requirements and street trees on lot frontages. Please exhibit how these requirements will be met.

Please specify a tree species with an upright, narrow habit in order to avoid branches conflicting with neighboring buffer trees along Ivy League Lane

Please include a color-coded exhibit showing all existing to remain and proposed easements with tree locations

CPDS Forestry has coordinated with DPW and R&P to allow for relocation of microbio-retention pits to be between the front walkway and the buildings. This should allow for a 7' buffer between the curb and the 10' shared used path (5' sidewalk plus 5' bike lane) and installation of street trees in the interim design prior to the BRT plan implemented

LEGEND

PROPOSED PAVING

PROPOSED MICRO-BIORETENTION

PROPOSED CMP

PROPOSED PERIMETER FENCE

PROPERTY BOUNDARY

PROPOSED LIMIT OF DISTURBANCE

EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING STORM DRAIN

PROPOSED STORM DRAIN

EXISTING VEGETATION

PROPOSED TREES

PROPOSED SHRUB

PROPOSED LIGHT

PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER
TREES					
LS	30	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	-	2"-2.5" CAL
NS	8	NYSSA SYLVATICA	SOUR GUM	-	2"-2.5" CAL
PA	6	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	-	2"-2.5" CAL
TA	15	TILIA AMERICANA	AMERICAN LINDEN	-	2"-2.5" CAL
EVERGREEN TREES					
PG	9	PICEA PUNGENS 'GLAUCA GLOBOSA'	COLORADO SPRUCE	B & B	
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE
SHRUBS					
BL	48	BUXUS SEMPERVIRENS 'GREEN PILLAR'	GREEN PILLAR COMMON BOXWOOD	5 GAL	
RR	18	ROSA X 'KNOCKOUT' TM	ROSE	#3 CONT	
EVERGREEN SHRUBS					
IG	25	ILEX GLABRA	INKBERRY HOLLY	5 GAL	

CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

Community Planning & Development Services  
Received  
April 30, 2024

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction

# WASHINGTON SQUARE

## Landscape Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
#	#
#	#

REVISIONS NO	DATE	DESCRIPTION
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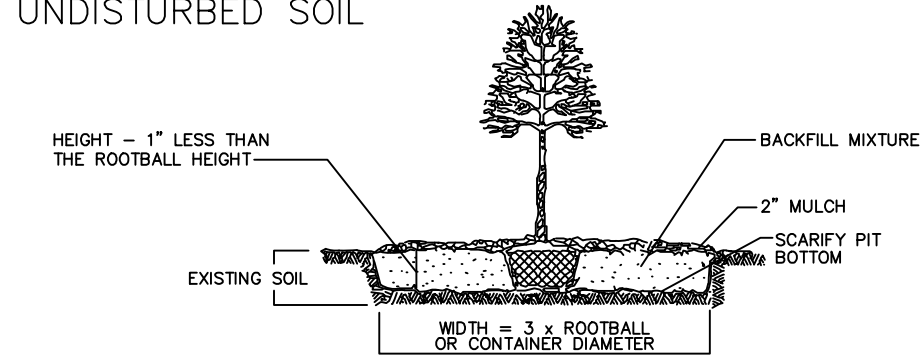
PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	LANDSCAPE PLAN



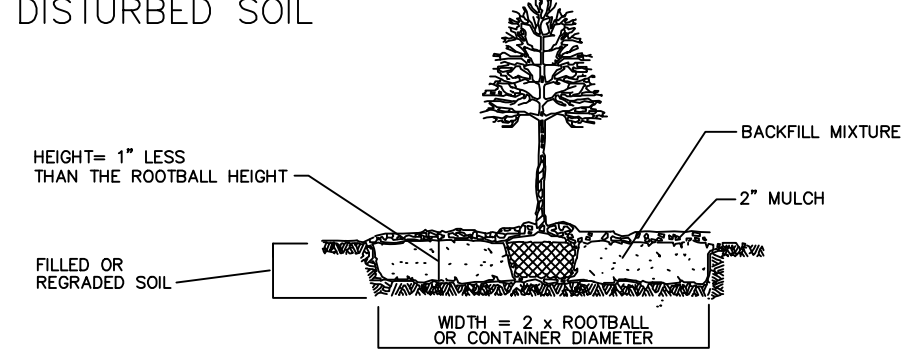
LANDSCAPE NOTES

1. Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to site, growth, and size of ball and density of branch structure. Contractor to insure conformance to national and local building codes and ordinances.
2. All plants (B&B or container) shall be properly identified by weatherproof labels securely attached hereto before delivery to project site. Labels shall identify plants by name, species and size. Labels shall not be removed until the final inspection by the owners representative.
3. Any material and/or work may be rejected by the owners representative if it does not meet the requirements of the specifications. The contractor shall remove all rejected materials from the site.
4. The contractor shall furnish all plants in quantities and sizes to complete the work as specified in plant schedule. The landscape contractor shall be responsible to verify all plant quantities on the plans prior to commencement of work. Quantities in the plant schedule are for the contractors convenience only and do not constitute the final count.
5. Substitutions in plant species shall be permitted with the written approval of the owners representative per the plant substitution list shown.
6. Plants shall be located as shown on the drawings and by scaling or as designated in the field by the owners representative. All locations are to be approved by the owners representative before excavation.
7. Contractor shall locate and mark all underground utility lines and irrigation systems prior to excavating plant beds or pits. All utility easement areas where no planting shall take place shall also be marked on the site, prior to locating and digging the tree pits. If utility lines are encountered in excavation of tree pits, other locations for the trees shall be selected by the owners representative. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the owners representative.
8. All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.
9. During planting operations, excess and waste materials shall be promptly and frequently removed from the site.
10. All plant shrub beds are to be dug to a minimum of 24" deep and all existing soil, construction debris, roots and other foreign material are to be removed and discarded off site. All plant shrub beds are to be excavated to the width shown on the plans.
11. All tree pits are to be excavated to a minimum depth to allow the tree root ball to be a minimum of 4" higher than finish grade. The tree root ball is to rest on undisturbed soil, or a compacted bed must be prepared for the tree root ball to rest on and which will not subside causing the tree to sink below finish grade. All tree pits are to be a minimum of 12" larger on every side of the trees root ball.
12. The planter beds are to be entirely cleaned out to the undisturbed soil level. All existing soil, construction debris, roots and other foreign material are to be removed and discarded offsite.
13. The topsoil to be used to fill the tree pits, shrub beds and planters is to be plant specific. The topsoil for the trees, shrubs and planter shall consist of a maximum 2/3 existing or imported topsoil from the site, which is cleaned and free of clay and a minimum of 1/3 peat moss, or other approved organic material. All of these materials are to be mixed prior to placing in the planter or backfilling when planting.
14. The contractor is responsible to ensure that all tree pits, shrub beds and planters are well drained. The landscape contractor, without cost to the owner, will replace all plant material which is affected by poor drainage.
15. All lawn areas are to be seeded with grass seed appropriate for each of the sunlight conditions, which exist on the site.
16. All lawn areas are to be tilled to a depth of 6" and all foreign material removed which will inhibit the healthy growth of the lawn. All old grass and grass roots are to be removed from the site. New topsoil of a minimum 4" is to be placed over the areas to be sodded. The grass areas are to be fine graded to ensure that no undulations occur in the lawn. The lawns are to be graded in such a way as to appear perfectly well tailored and even. The lawn topsoil is to be rolled and lightly irrigated prior to placing of the seed. The seed is not to be laid on frozen or soaked soil.
17. The existing trees are to be protected during the preparation of the lawn areas. The roots of the trees are to be undisturbed during the cleaning of the topsoil.
18. The trees and shrubs are to be handled with the best care and attention to ensure that the plants are not bruised, broken, torn, or damaged in any way, which will affect the plants general appearance and well being.
19. The trees and shrubs are to be planted with the accepted standards of the American Association of Nurserymen. The plants are to be properly watered and backfilled during the planting. All care must be taken to ensure that the plants are upright, a plant's best side is exposed to the point of the plants greatest visibility.
20. The trees must be staked in accordance with acceptable nursery practice to ensure that they are secure in the ground and will grow straight and uniform. The trees are to be wrapped, if the contractor deems it necessary, to protect the trees from sun scald or insect attack.
21. The Landscape Contractor is to provide a 1-year guarantee for all plant material and other work done on site.
22. Large growing plants are not to be planted in front of windows, under building overhangs, or in drainage swales. Shrubs planted near H.V.A.C units to be located so that shrubs at maturity will maintain 1 foot airspace between unit and plant.
23. Contractor to slightly adjust plant locations in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as not to impede drainage away from buildings.
24. Trees shall be located a minimum of 3 feet from walls and walks.
25. Quantities as shown on the plan shall govern over plant list quantities. Contractor to verify plant list totals with quantities shown on plan.
26. Groups of shrubs shall be placed in a continuous raised mulch bed with smooth continuous lines. All mulched bed edges shall be curvilinear in shape following the contour of the plant mass. Trees located within 4 feet of shrub beds shall share same mulch bed.
27. Contractor shall provide luminaries, poles, footings, and conduit.
28. Contractor to provide conduit as requested by Potomac Edison.
29. All landscaping within SWM easements will be reviewed, approved and inspected by City of Rockville Water Resources Staff. Refer to SWM Landscape Drawing Set.

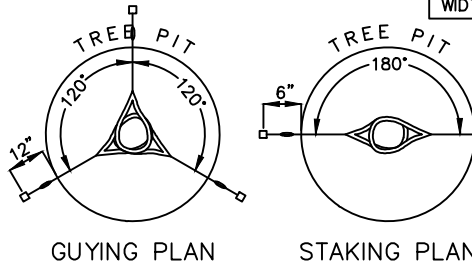
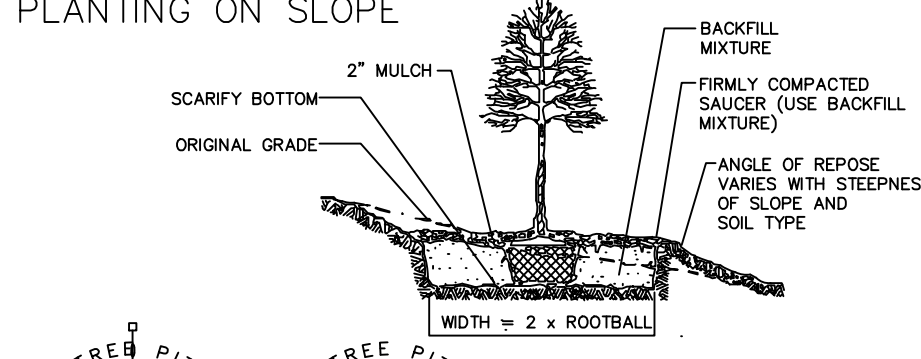
UNDISTURBED SOIL



DISTURBED SOIL



PLANTING ON SLOPE

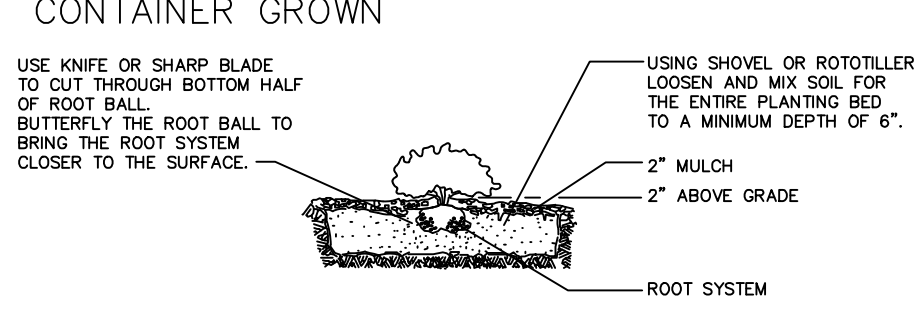


NOTE:  
Tree pit to be five times the rootball in poor soil.

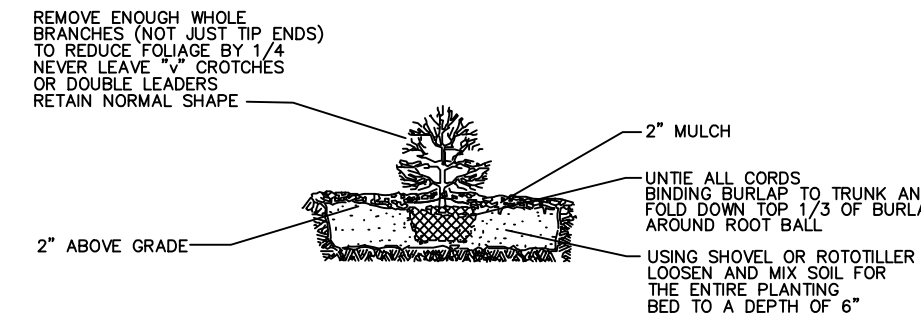
SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

DECIDUOUS TREE PLANTING  
CONTAINER GROWN AND BALLED & BURLAPPED STOCK

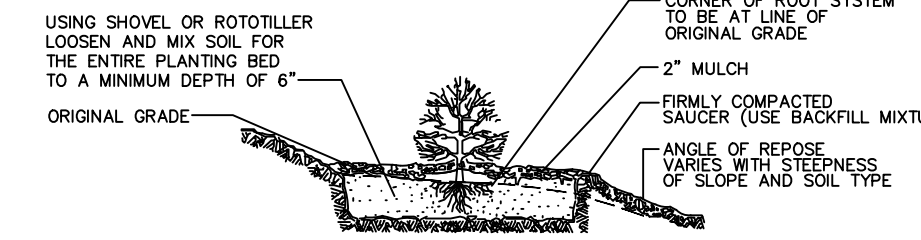
CONTAINER GROWN



BALLED & BURLAPPED



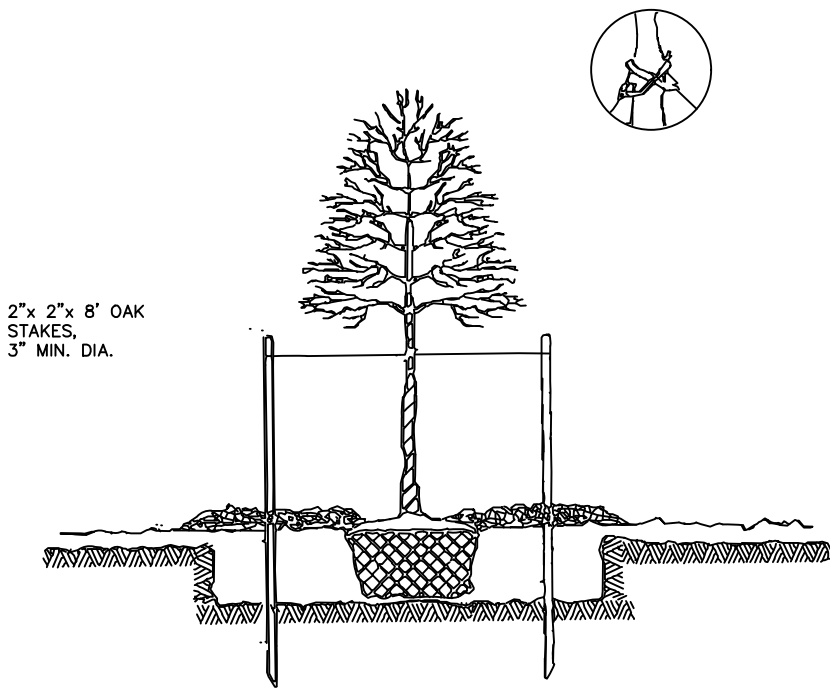
PLANTING ON A SLOPE



NOTES:  
1. Minimum root spread to be in accordance with "American Standards for Nursery Stock."  
2. Prune all damaged, diseased or weak limbs and roots.  
3. Cleanly prune all damaged root ends.

pttre081.dwg  
SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

SHRUB PLANTING



NOTES:  
1. The staking of trees may be used only when specified on the planting plan.  
2. Stakes and wires must be removed no later than 12 months after planting.  
3. Tree pit preferred to be five times the rootball size, particularly in poor soil.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

STAKED TREE SPECIFICATION (2)

TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" DBH OR GREATER												
PLANTING SEEDLINGS, WHIPS												
MINIMUM MONITORING												
FERTILIZER* (F NEEDED)												
WATER **												
PRUNING												

KEY  
+ ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS  
• DEPENDENT UPON SITE CONDITIONS  
\*\* DEPENDENT UPON SITE CONDITIONS: WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"  
GREATLY RECOMMENDED  
RECOMMENDED WITH ADDITIONAL CARE  
RECOMMENDED

NOTE:  
The planting and care of trees is most successful when coordinated with the local climatic conditions. This calendar summarizes some of the recommended time frames for basic reforestation and stress reduction activities.

SOURCE: Adapted from Maryland State FOREST CONSERVATION MANUAL

TREE PLANTING AND MAINTENANCE CALENDAR

Toll Brothers  
AMERICA'S LUXURY HOME BUILDER®

RODGERS  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 (Plan), Fx: 301.948.6256, www.rodgers.com

DESIGN TEAM

Owner / Developer:

Toll Mid-Atlantic LP Company, Inc.  
6701 Columbia Gateway Drive, Suite 120  
Columbia, Maryland 21046  
410.381.3263  
Attn: Jeffery S. Driscoll

Legal:

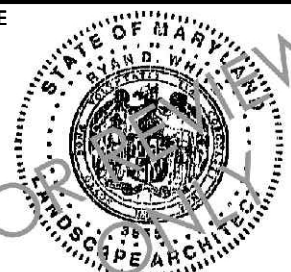
Lerch Early Brewer  
7600 Wisconsin Avenue, Suite 700  
Bethesda, Maryland 20814  
301.347.3756  
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:  
Rodgers Consulting, Inc.

19847 Century Boulevard, Suite 200  
Germantown, Maryland 20878  
301.948.4700

Attn: Randall Rentfro

SEAL & SIGNATURE



\*I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2026\*

WASHINGTON SQUARE

Landscape Plan

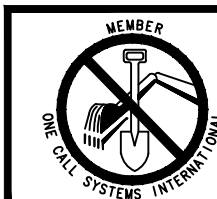
WSSC Grid: 219NW07, #####

City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	#####
#	#
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REVISIONS NO	DATE	DESCRIPTION
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Community Planning & Development Services  
Received  
April 30, 2024



CALL "MISS UTILITY" AT  
1-800-257-7777  
48 Hours Before Start Of Construction

Preliminary Not For Construction

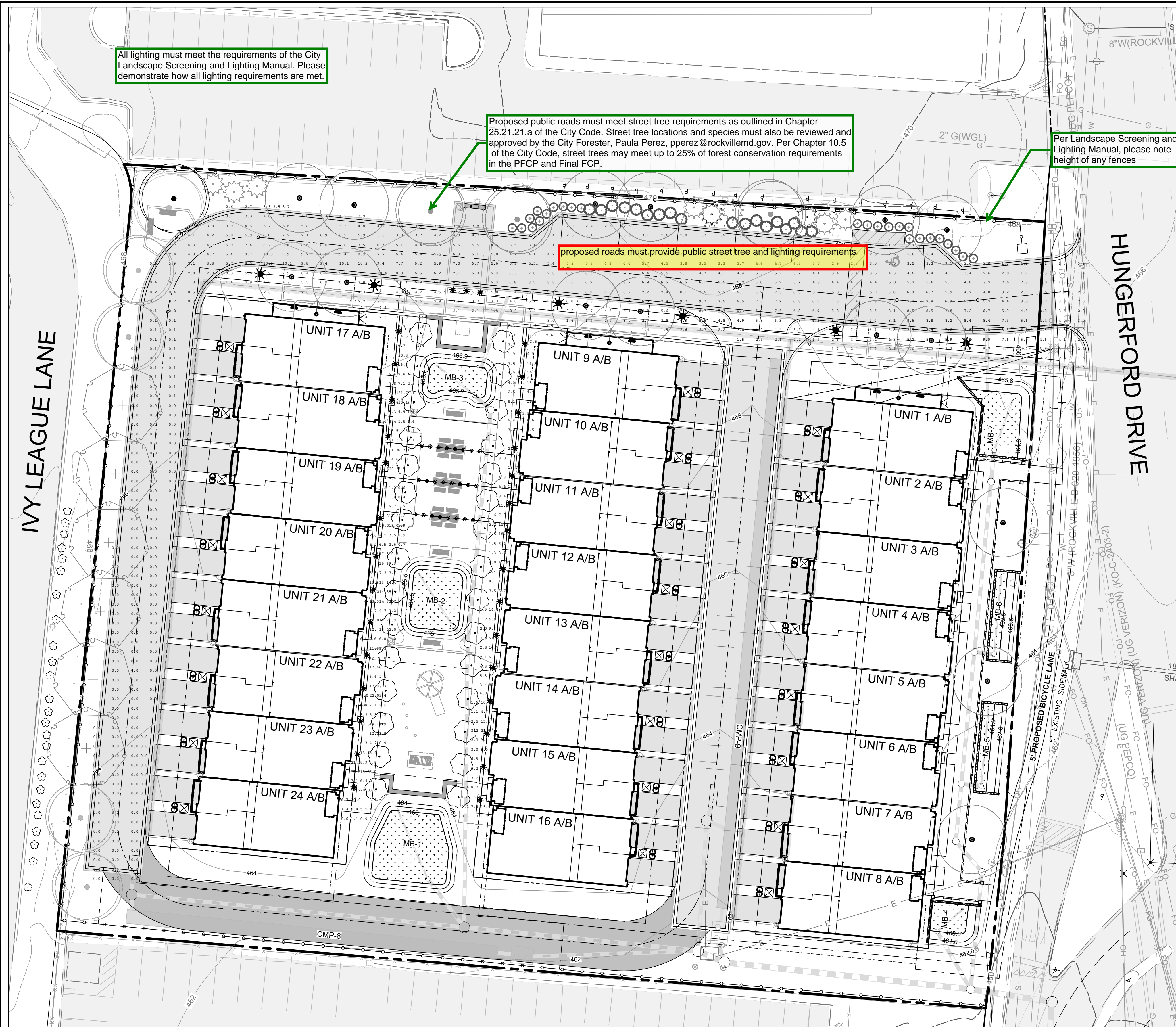
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PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	LANDSCAPE DETAILS

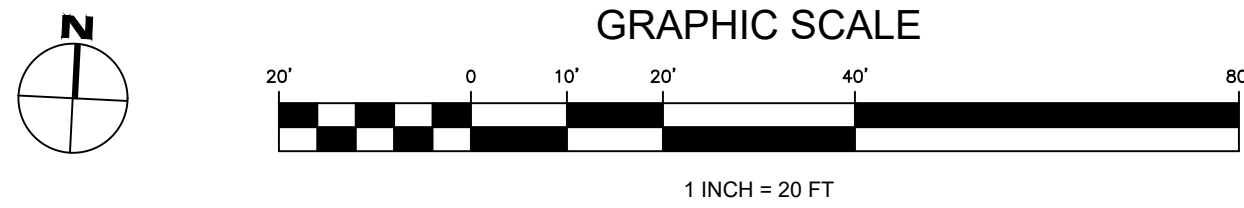
DRAWING NUMBER

L-02





Lighting Plan  
SCALE: 1" = 20'



LEGEND	
	EXISTING IMPERVIOUS AREA
	PROPOSED IMPERVIOUS AREA
	PROPOSED MICRO-BIORETENTION
	PROPOSED CMP
	PROPERTY BOUNDARY
	PROPOSED PERIMETER FENCE
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN

- EXISTING VEGETATION
- PROPOSED PLANTING
- PROPOSED LIGHT

Please delineate between types of lights with different symbols for each on plan

Luminaire Schedule				
Qty	Type	Symbol	Description	LLF
6	STREET		VP-1-160L-100-4K7-3	0.800
29	BOLLARD		FN1-24LU-5K-XX	0.800

Calculation Summary				
Label	CalcType	Units	Avg	Max
Object_1_Top	Illuminance	Fc	3.56	10.8
Object_2_Top	Illuminance	Fc	8.53	22.0
Object_3_Top	Illuminance	Fc	9.19	22.5

**BEACON**  
VIPER Area/Site  
VIBRANT LIGHTING

DATE: 03/23/2024  
LOCATION: 219NW07  
PROJECT: WASHINGTON SQUARE  
SHEET: 03

**FEATURES**

- Low voltage LED landscape lighting with a variety of LED distributions for lighting landscape features and building exteriors.
- Low voltage LED landscape lighting with a variety of LED distributions for lighting landscape features and building exteriors.
- Low voltage LED landscape lighting with a variety of LED distributions for lighting landscape features and building exteriors.

**CONTROLS**

- Control system including photo eye, occupancy sensor, and "Lighting Control".
- Control system including photo eye, occupancy sensor, and "Lighting Control".
- Control system including photo eye, occupancy sensor, and "Lighting Control".

**INSTALLATION**

- Install all lighting fixtures in accordance with the manufacturer's instructions.
- Install all lighting fixtures in accordance with the manufacturer's instructions.
- Install all lighting fixtures in accordance with the manufacturer's instructions.

**BEACON**  
VIPER Area/Site  
VIBRANT LIGHTING

DATE: 03/23/2024  
LOCATION: 219NW07  
PROJECT: WASHINGTON SQUARE  
SHEET: 03

**ORDERING GUIDE**

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	VP-1-160L-100-4K7-3	6	STREET	133.33	799.98
2	FN1-24LU-5K-XX	29	BOLLARD	27.59	799.91

**NOTES**

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
2. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
3. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.

STREET LIGHT (OR EQUAL)  
SCALE: NTS

street light fixture must meet City standards and details

**HUBBELL**  
FRESNO Series

DATE: 03/23/2024  
LOCATION: 219NW07  
PROJECT: WASHINGTON SQUARE  
SHEET: 03

**FEATURES**

- Low voltage LED landscape lighting with a variety of LED distributions for lighting landscape features and building exteriors.
- Low voltage LED landscape lighting with a variety of LED distributions for lighting landscape features and building exteriors.
- Low voltage LED landscape lighting with a variety of LED distributions for lighting landscape features and building exteriors.

**CONTROLS**

- Control system including photo eye, occupancy sensor, and "Lighting Control".
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**HUBBELL**  
FRESNO Series

DATE: 03/23/2024  
LOCATION: 219NW07  
PROJECT: WASHINGTON SQUARE  
SHEET: 03

**ORDERING GUIDE**

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	VP-1-160L-100-4K7-3	6	STREET	133.33	799.98
2	FN1-24LU-5K-XX	29	BOLLARD	27.59	799.91

**NOTES**

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
2. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
3. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.

BOLLARD LIGHT (OR EQUAL)  
SCALE: NTS

bollard lighting must be on private property (typ)

**PENDO**  
Catenary Suspended Luminaire

DATE: 03/23/2024  
LOCATION: 219NW07  
PROJECT: WASHINGTON SQUARE  
SHEET: 03

**DESCRIPTION**

PENDO presents a traditional suspension design in a single post functional category luminaire. The luminaire features a traditional design and a modern, minimalist aesthetic. It is designed to provide a warm, ambient glow and is suitable for use in a variety of settings.

**ORDERING INFORMATION**

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	VP-1-160L-100-4K7-3	6	STREET	133.33	799.98
2	FN1-24LU-5K-XX	29	BOLLARD	27.59	799.91

**NOTES**

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2. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
3. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.

**PENDO**  
Catenary Suspended Luminaire

DATE: 03/23/2024  
LOCATION: 219NW07  
PROJECT: WASHINGTON SQUARE  
SHEET: 03

**ORDERING GUIDE**

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	VP-1-160L-100-4K7-3	6	STREET	133.33	799.98
2	FN1-24LU-5K-XX	29	BOLLARD	27.59	799.91

**NOTES**

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
2. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.
3. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.

CATENARY LIGHT (OR EQUAL)  
SCALE: NTS

**CALL "MISS UTILITY" AT 1-800-257-7777**  
48 Hours Before Start of Construction

**PROJECT NUMBER** 219NW07  
**DATE** 2024.04.26  
**SCALE** 1" = 20'  
**DRAWING TITLE** LIGHTING PLAN & DETAILS  
**DRAWING NUMBER** L-03

**Toll Brothers**  
AMERICA'S LUXURY HOME BUILDER

**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 (Plan), Fax: 301.948.6256, www.rodgers.com

**DESIGN TEAM**  
Owner / Developer:  
**Toll Mid-Atlantic LP Company, Inc.**  
6731 Columbia Gateway Drive, Suite 120  
Columbia, Maryland 21046  
410.381.3263  
Attn: Jeffery S. Driscoll

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Bethesda, Maryland 20814  
301.347.3756  
Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:  
**Rodgers Consulting, Inc.**  
19847 Century Boulevard, Suite 200  
Germantown, Maryland 20878  
301.948.4700  
Attn: Randall Rentfro

**SEAL & SIGNATURE**

**FOURTH ORDER PROFESSIONAL CERTIFICATION**

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-25-2025

**WASHINGTON SQUARE**  
Landscape Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DATE	DESCRIPTION
1	2023.03.27	Initial Issue
2		
3		
4		
5		

REVISIONS	NO	DATE	DESCRIPTION
1			
2			
3			
4			
5			





NOTE: ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY  
FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE  
AND SUBJECT TO CHANGE WITH FINAL DESIGN AND  
BUILDING PERMIT APPLICATIONS.

Community Planning and Development Services  
Received  
May 13, 2024



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1-800257-7777  
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\associated\Plot Plans\Site Plan\A-01 Illustrative Architecture.dwg

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AMERICA'S LUXURY HOME BUILDER®

RODGERS  
CONSULTING

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19847 Century Boulevard, Suite 200  
Germantown, Maryland 20878  
301.948.4700  
Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Illustrative Architecture

DRAWING NUMBER	A-01
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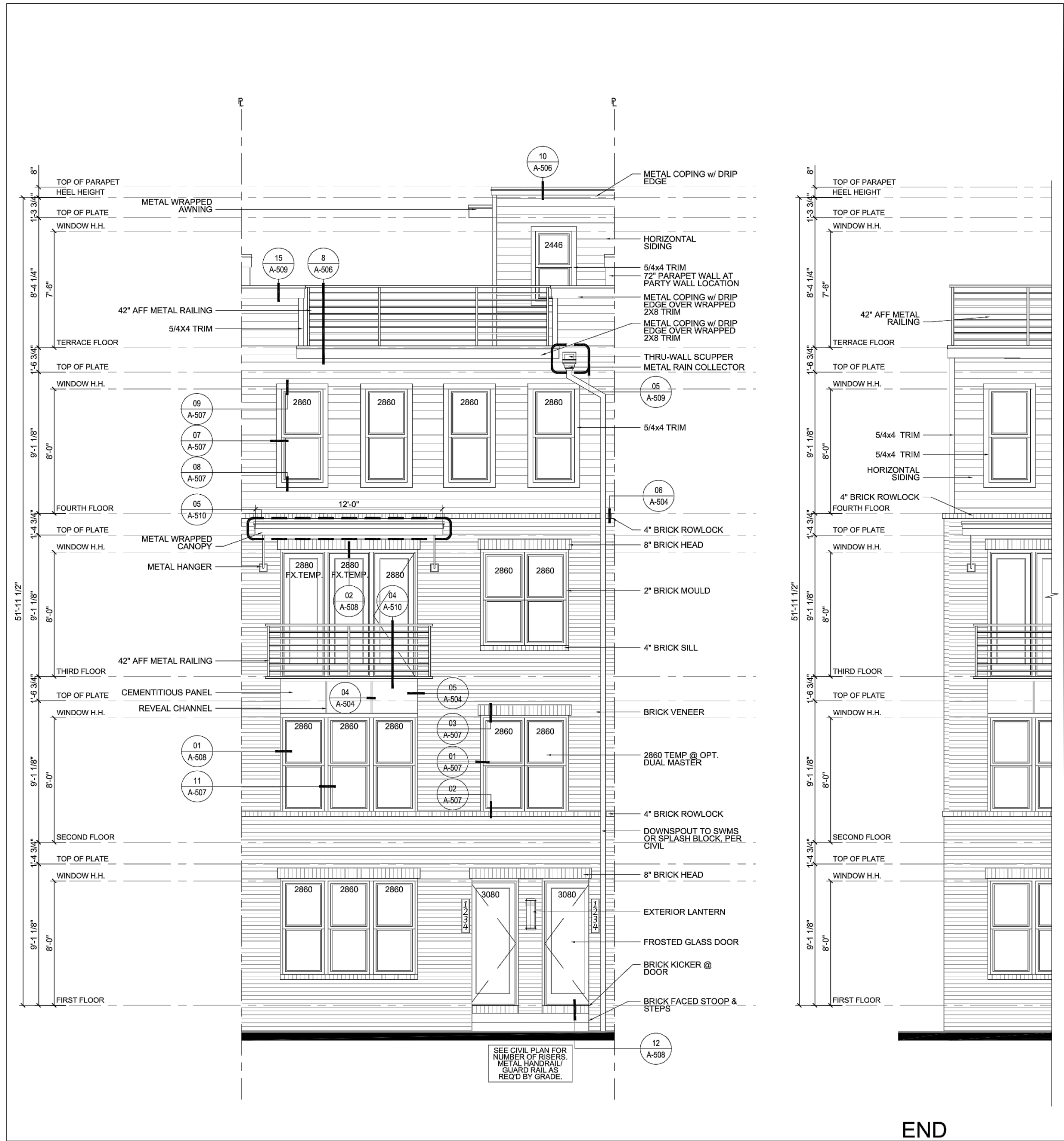


WASHINGTON SQUARE  
Site Plan  
Architecture Plan  
WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	
.	.
.	.
.	.

REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Arch Elevation - Front



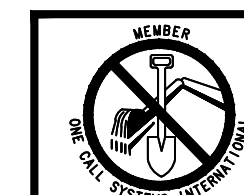
Front Elevation

SCALE: NTS

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE  
AND SUBJECT TO CHANGE WITH FINAL DESIGN AND  
BUILDING PERMIT APPLICATIONS.

Community Planning and Development Services  
Received  
May 13, 2024

CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction



The excavator must notify all public utility companies with underground facilities in the area of  
proposed excavation and have those facilities located by the utility companies prior to  
commencing excavation. The excavator is responsible for compliance with requirements of  
Chapter 36A of the Montgomery County Code.

Preliminary Not For Construction



19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 (Main), Fx: 301.948.6256, [www.rodgers.com](http://www.rodgers.com)

## DESIGN TEAM

**Owner / Developer:**

**Toll Mid-Atlantic LP Company, Inc.**  
4731 Columbia Gateway Drive, Suite 120

6731 Columbia Gateway Drive, Suite 120  
Columbia, Maryland 21046

Columbia, Maryland 21046  
410.381.3263

Attn: Jeffery S. Driscoll

**Legal:**

**Lerch Early Brewer**  
3600 W. 40th Avenue, S.

7600 Wisconsin Avenue, Suite 700  
Bethesda, Maryland 20814

Bethesda, Maryland 20814  
301.347.3756

Attn: Patricia Harris

Land Planning / Landscape Architect / Civil Engineering:  
**Rodgers Consulting, Inc.**

**Rodgers Consulting, Inc.**  
19847 Century Boulevard, Suite 200

Germantown, Maryland 20878

301.948.4700

Attn: Randall Rentfro

SEAL &amp; SIGNATURE

Community Planning and Development Services  
Received  
May 13, 2024



CALL "MISS UTILITY" AT

1-800257-7777

#### 48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\autocad\Plot Plans\Site Plan\A-03-04 Arch Elevation.dwg

# WASHINGTON SQUARE

# Site Plan

# Architecture Plan

**WSSC Grid: 219NW07, Tax Map: HN23**  
**City Of Rockville, MD, Rockville, Election District 04**

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission
-	-
-	-
-	-
-	-

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT NUMBER	
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	

**DRAWING NUMBER**  
2024.05.10 - 12:15 PM

2024.05.19 - 12:15 PM

**A-03**



SEAL & SIGNATURE

WASHINGTON SQUARE  
Site Plan  
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION
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PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Arch Elevation - Side Utility Closet
DRAWING NUMBER	A-04



Side Elevation Utility Closet

SCALE: NTS

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE  
AND SUBJECT TO CHANGE WITH FINAL DESIGN AND  
BUILDING PERMIT APPLICATIONS.

Community Planning and Development Services  
Received  
May 13, 2024



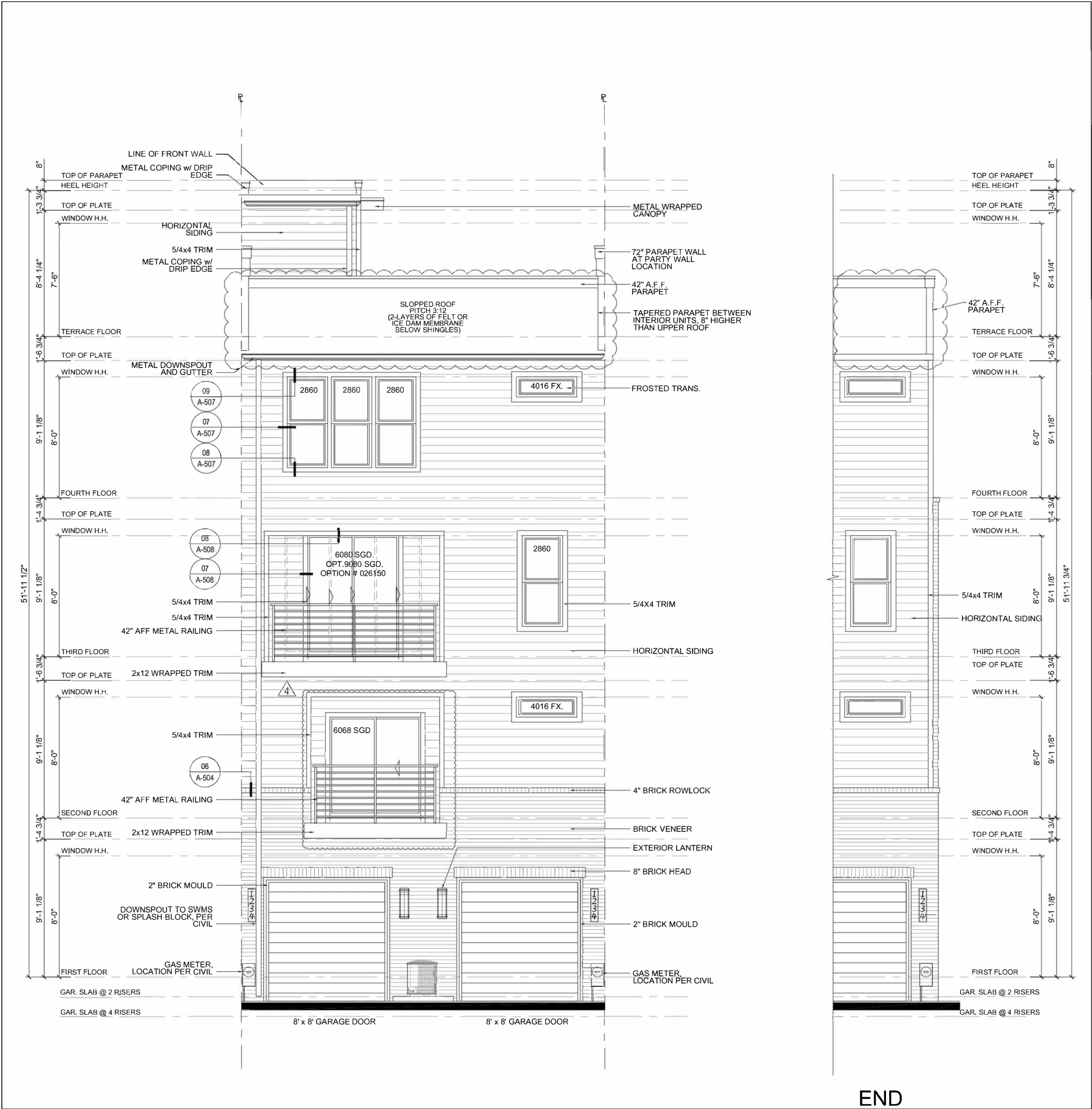
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1-800257-7777  
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Preliminary Not For Construction

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Rear Elevation  
SCALE: NTS

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE AND SUBJECT TO CHANGE WITH FINAL DESIGN AND BUILDING PERMIT APPLICATIONS.

Community Planning and Development Services  
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May 13, 2024



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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\aucaad\Plot Plans\She Plan\A-05 Arch Elevation.dwg

DESIGN TEAM  
Owner / Developer:  
Toll Mid-Atlantic LP Company, Inc.  
6731 Columbia Gateway Drive, Suite 120  
Columbia, Maryland 21046  
410.381.3263  
Attn: Jeffery S. Driscoll

Legal:  
Lerch Early Brewer  
7600 Wisconsin Avenue, Suite 700  
Bethesda, Maryland 20814  
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WASHINGTON SQUARE

Site Plan  
Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

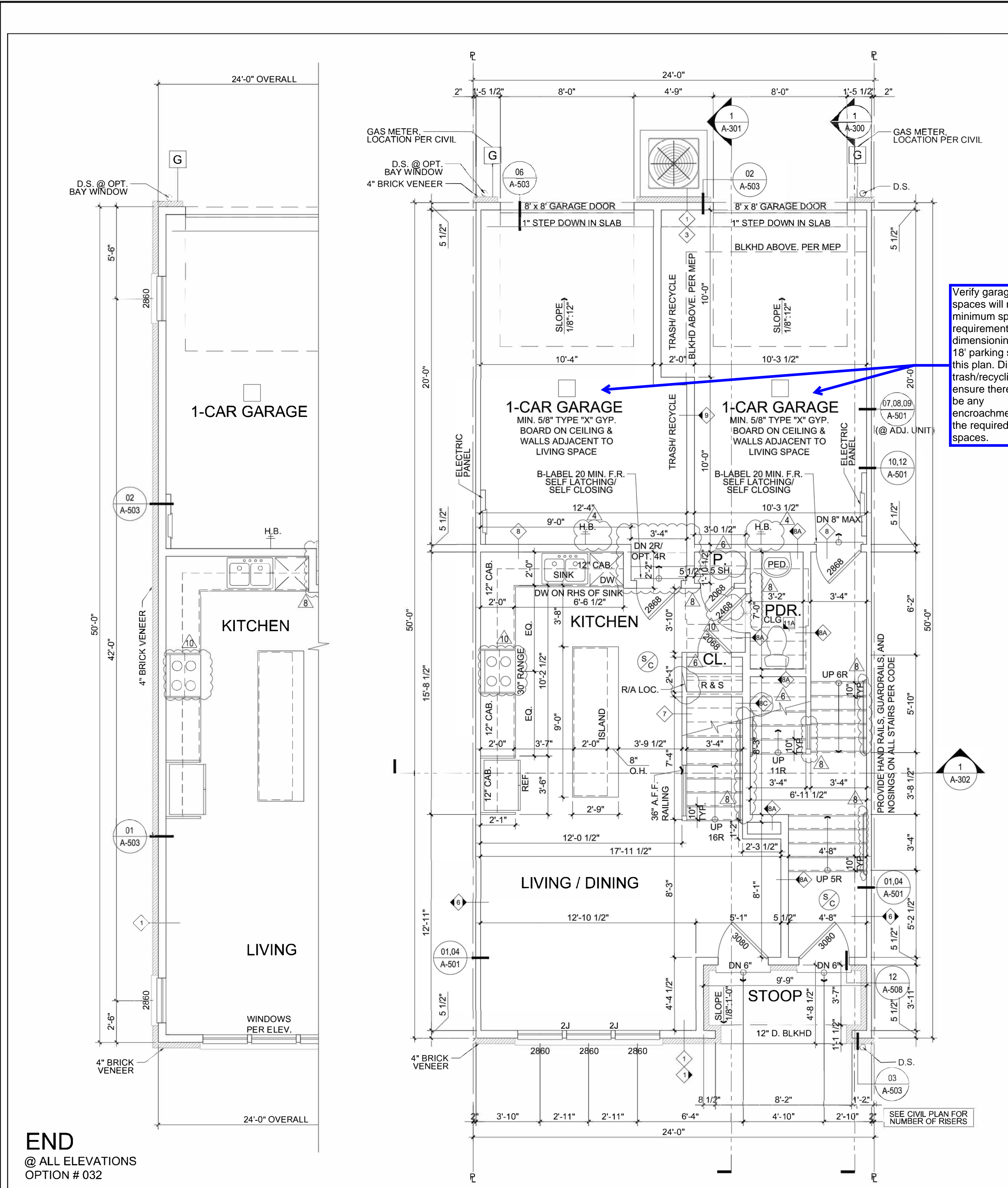
ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

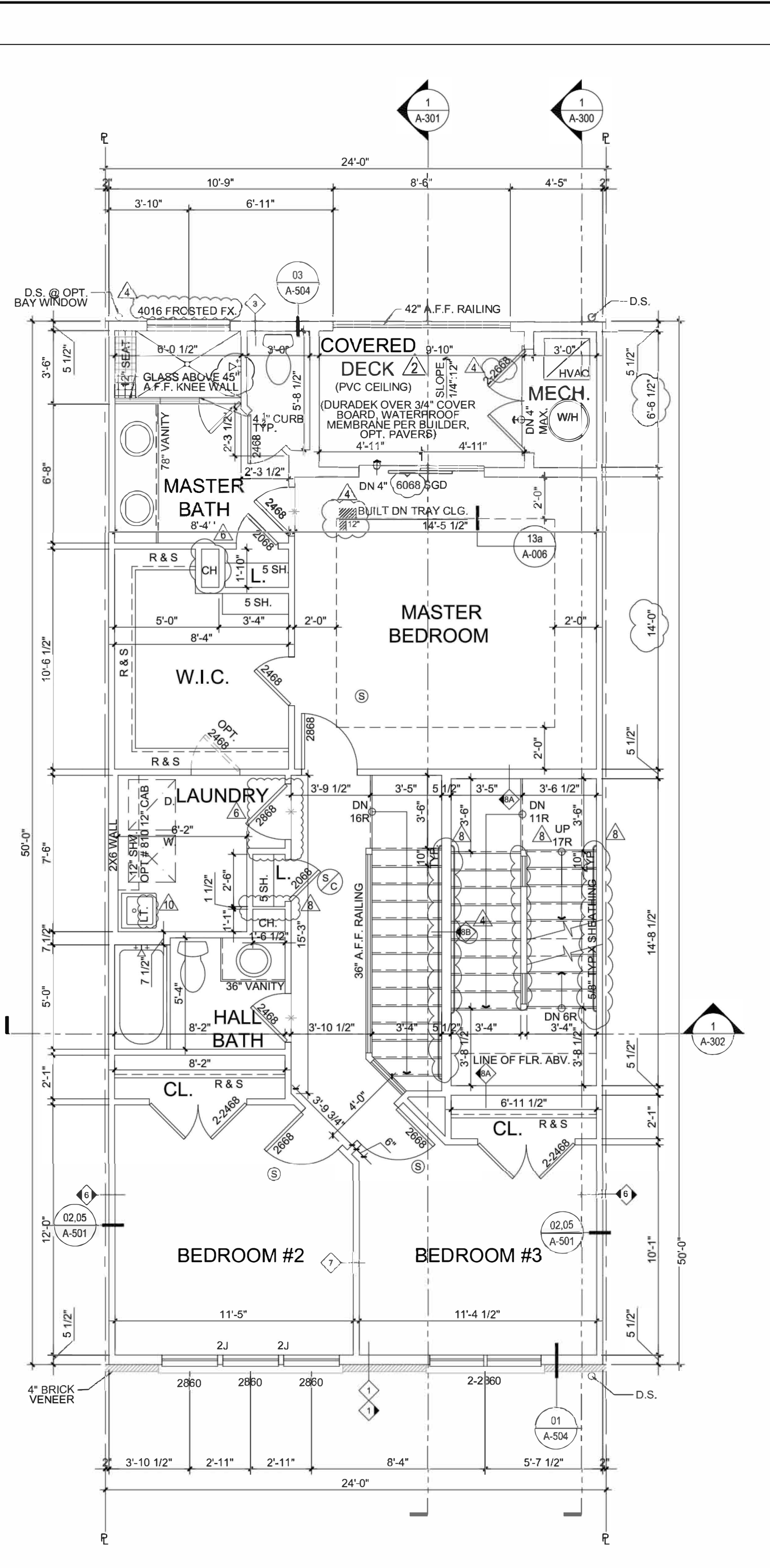
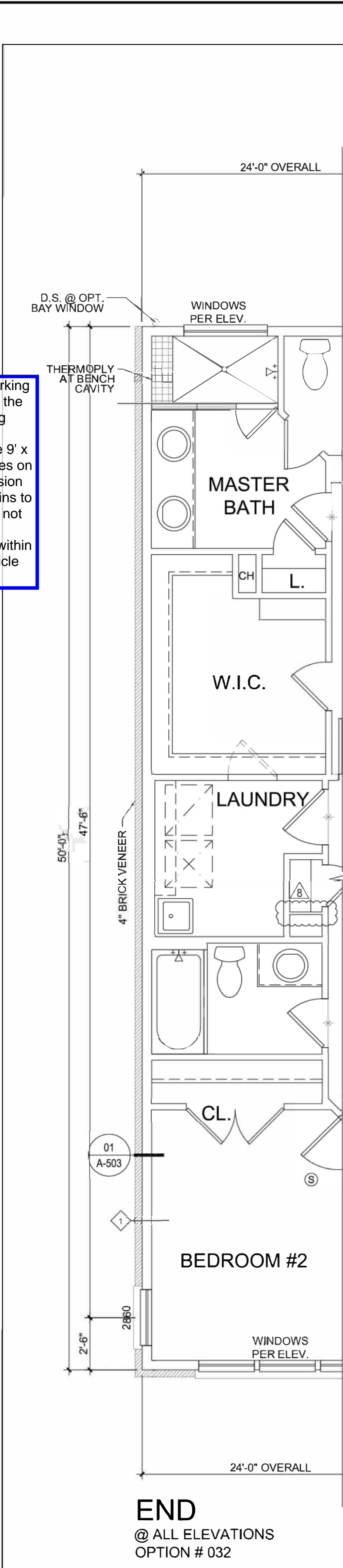
PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Arch Elevation - Rear

DRAWING NUMBER	A-05
2024.05.10 - 12:16 PM	





1st Floor Plan  
SCALE: NTS



2nd Floor Plan  
SCALE: NTS

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE AND SUBJECT TO CHANGE WITH FINAL DESIGN AND BUILDING PERMIT APPLICATIONS.

Community Planning and Development Services  
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May 13, 2024

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Preliminary Not For Construction

N:\MID-Montgomery-City of Rockville\Washington Square\usac00\Plan\Site Plan\A-06-08 Arch Floor Plans.dwg

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WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

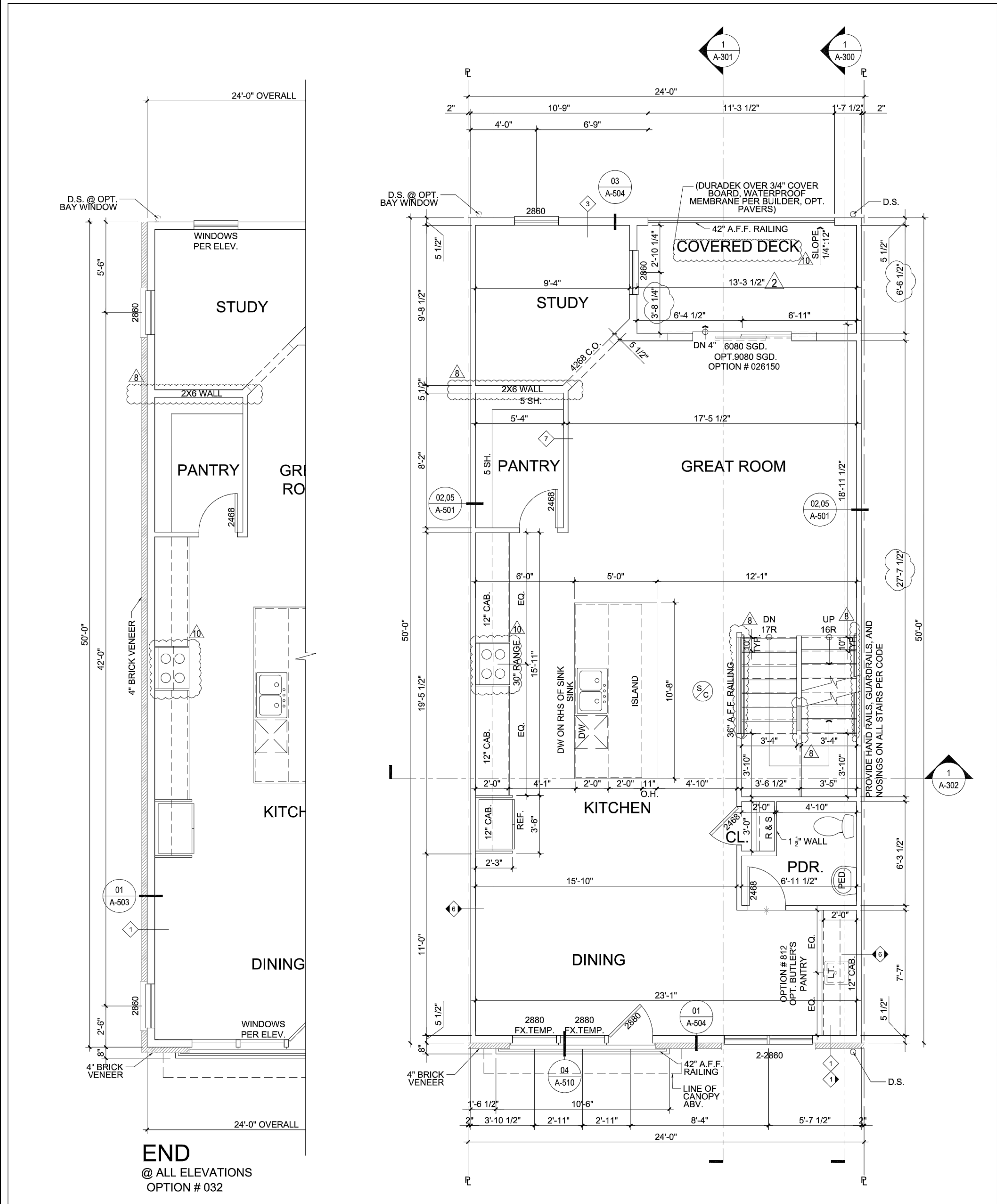
REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Arch Floor Plans - I & 2

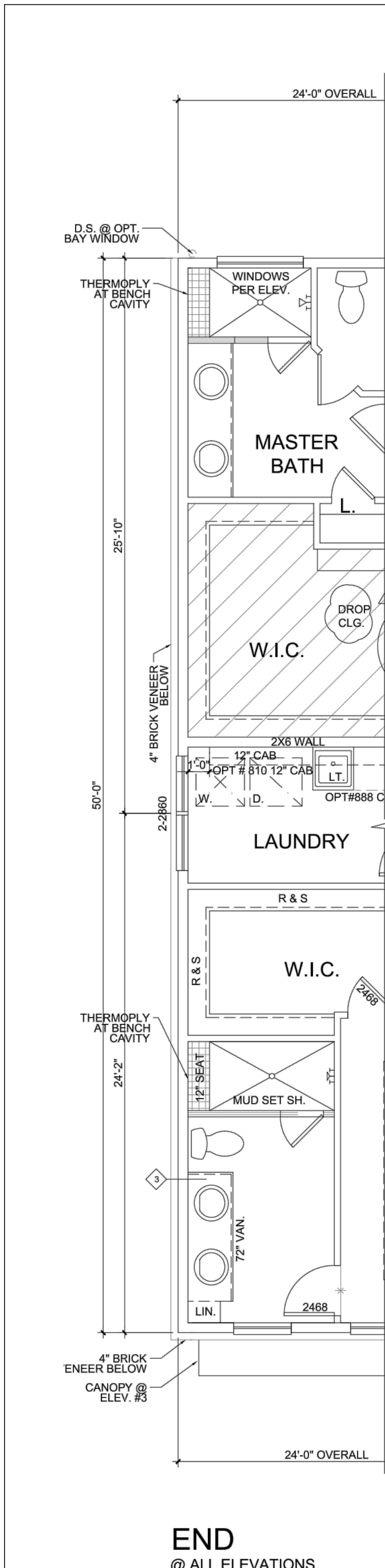
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A-06

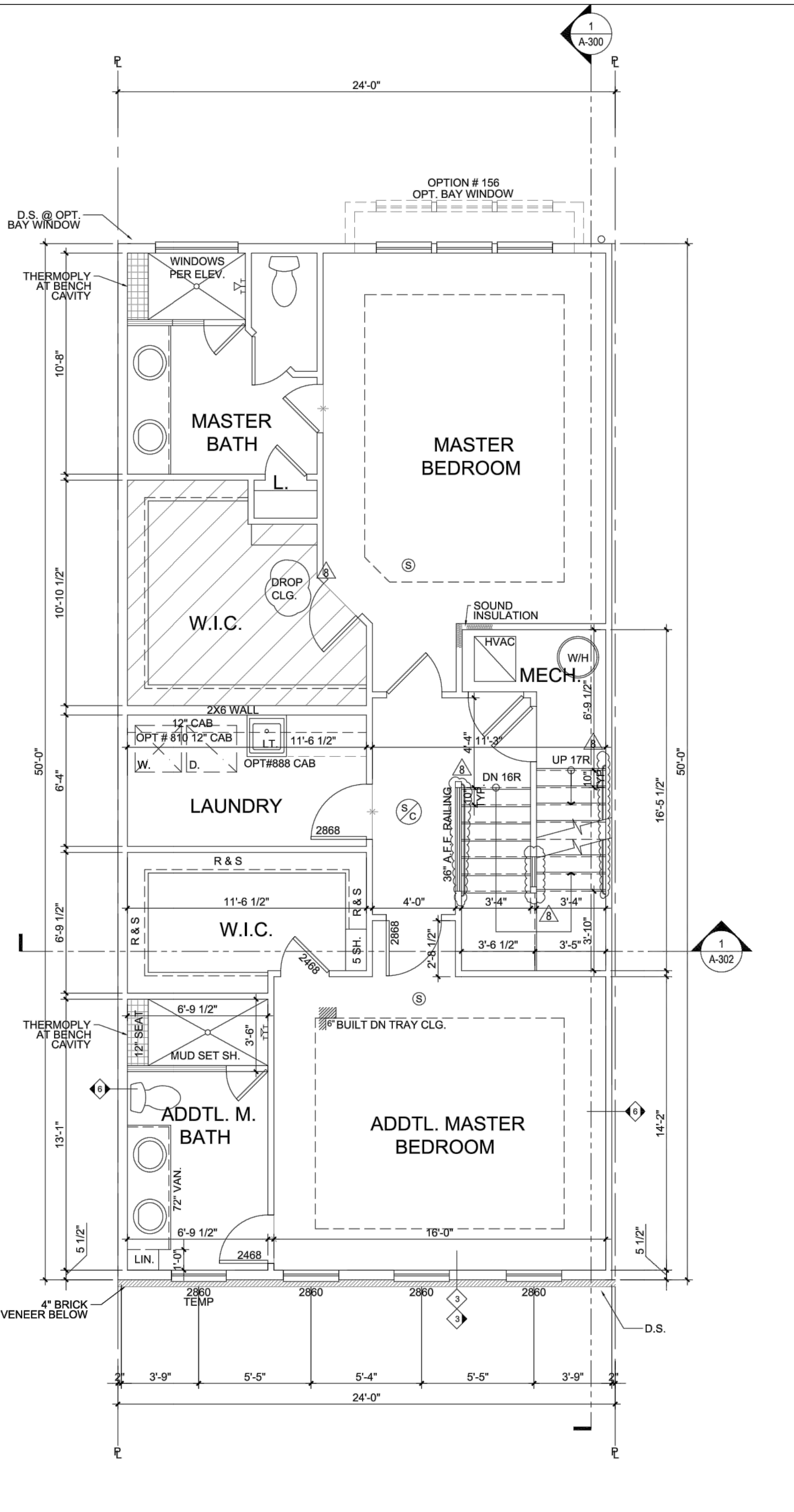




3rd Floor Plan  
SCALE: NTS



4th Floor Plan  
SCALE: NTS



Community Planning and Development Services  
Received  
May 13, 2024

CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

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Preliminary Not For Construction

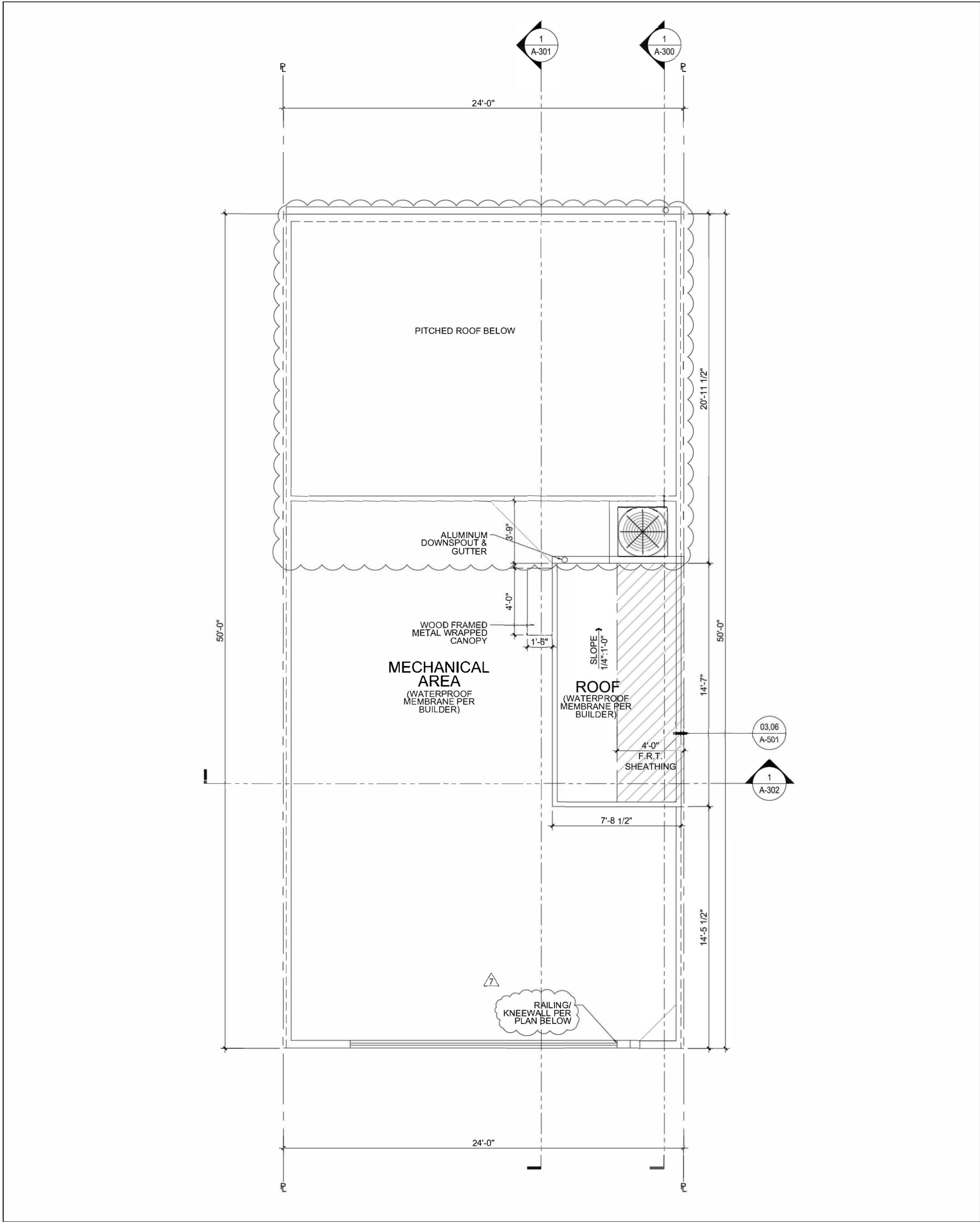
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ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	

REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Arch Floor Plans - 3 & 4





Roof Plan  
SCALE: NTS

FLOOR PLANS AND ELEVATION VIEWS ARE ILLUSTRATIVE  
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BUILDING PERMIT APPLICATIONS.

Community Planning and Development Services  
Received  
May 13, 2024



CALL "MISS UTILITY" AT  
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Preliminary Not For Construction

N:\MID-Montgomery-City of Rockville\Washington Square\usac06\Plan\Site Plan\A-06-08 Arch Floor Plan.dwg

DESIGN TEAM

Owner / Developer:

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6731 Columbia Gateway Drive, Suite 120  
Columbia, Maryland 21046  
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Legal:

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301.948.4700  
Attn: Randall Rentfro

SEAL & SIGNATURE

WASHINGTON SQUARE

Site Plan

Architecture Plan

WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE	DESCRIPTION
DATE	Initial Submission
2023.03.27	
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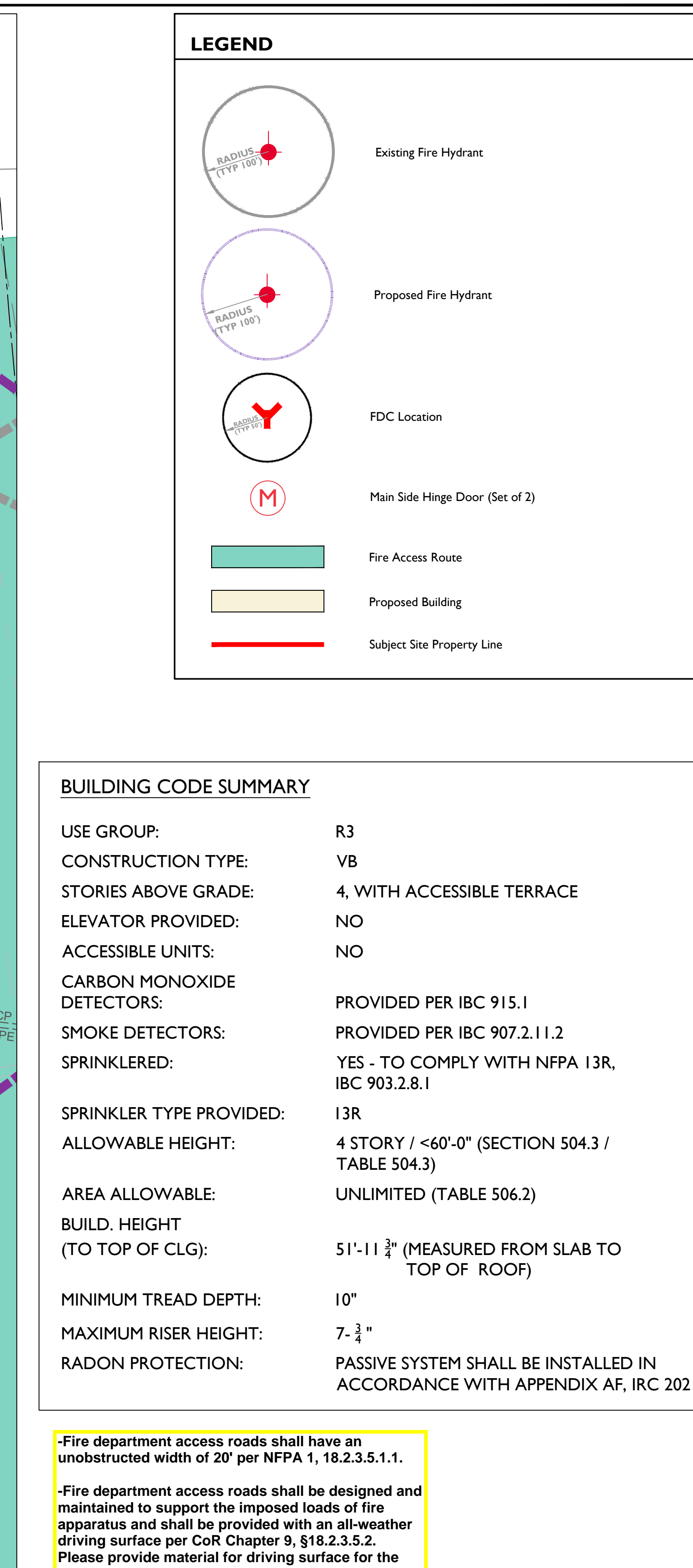
REVISIONS	DESCRIPTION
NO	DATE

PROJECT NUMBER	----
DATE	2024.05.10
SCALE	NTS
DRAWING TITLE	Arch Floor Plan - Roof

DRAWING NUMBER

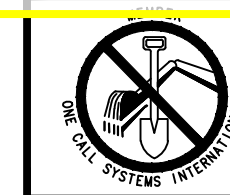
A-08





FIXTURE UNIT CALCULATIONS - WALNEY					
PROJECT NAME:		Washington Park 2 Over 2 Multifamily Units			
FIXTURE TYPE	QUANTITY	COMBINED CW & HW		WASTE FIXTURE UNITS	
		COMBINED FIXTURE UNITS	TOTAL FU	FU EACH	TOTAL FU
BATHROOM GROUP - PRIVATE - FLUSH TANK	3	3.6	10.8	5.0	15
BATHTUB - PRIVATE	1	1.4	1.4	2.0	2
DISHWASHING MACHINE - PRIVATE	1	1.4	1.4	2.0	2
KITCHEN SINK - PRIVATE	1	1.4	1.4	2.0	2
LAUNDRY TRAY (1 TO 3)	1	1.4	1.4	2.0	2
WASHING MACHINE - PRIVATE - (8 LB.)	1	1.4	1.4	2.0	2
TOTALS			17.8		25
			COMBINED WSEFU		WASTE FU

- Fire department access roads shall have an unobstructed width of 20' per NFPA 1, 18.2.3.5.1.1.
- Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface per CoR Chapter 9, §18.2.3.5.2. Please provide material for driving surface for the indicated area.
- All curb radii must meet 25 ft. interior radius and 50 ft. exterior radius.
- Fire flow calculations and flow duration to be provided upon building plans submissions, NFPA 18.4.5.
- Are there any vertical obstructions overhead? If so, provide callouts with the obstructions height measured from the driving surface. CoR Chapter 9, 18.2.3.4.1.2.3.
- Construction safeguards for the site shall be in accordance with NFPA 241, ch 7 & §8.7.

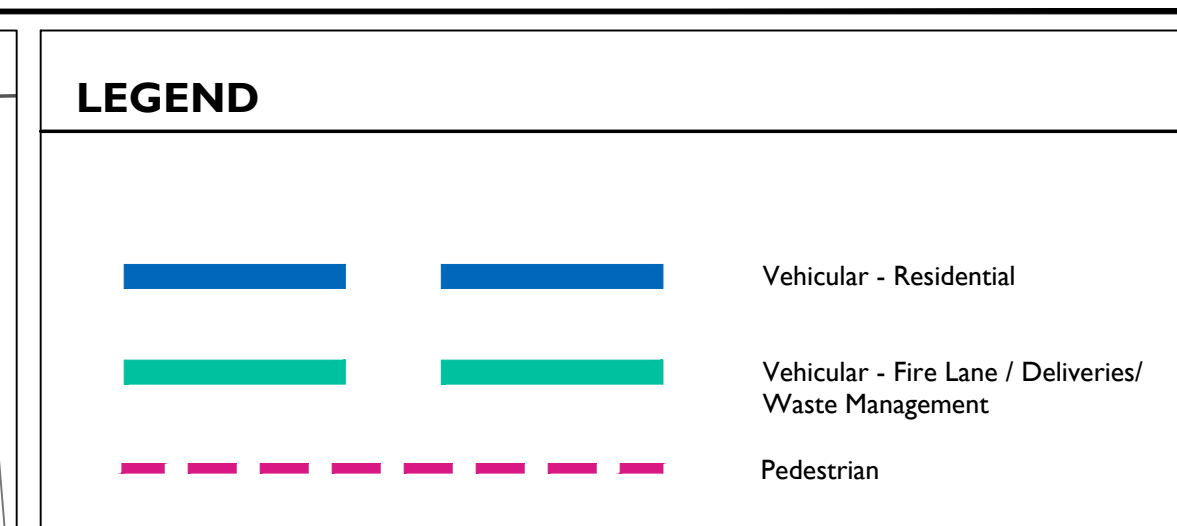


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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\outcad\Plot Plans\Site Plan\EXB-01 Fire Access Plan.dwg





Land Planning / Landscape Architect / Civil Engineering:  
**Rodgers Consulting, Inc.**  
 19847 Century Boulevard, Suite 200  
 Germantown, Maryland 20878  
 301.948.4700  
 Attn: Randall Rentfro

### PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland, License No. 3555, Expiration Date: 04-23-2026"

**WSSC Grid: 219NW07, Tax Map: HN23**  
**City Of Rockville, MD, Rockville, Election District 04**

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	26.04.2024
SCALE	1" = 20'
DRAWING TITLE	

## Circulation Plan

# EXB-02

DRAWING NUMBER

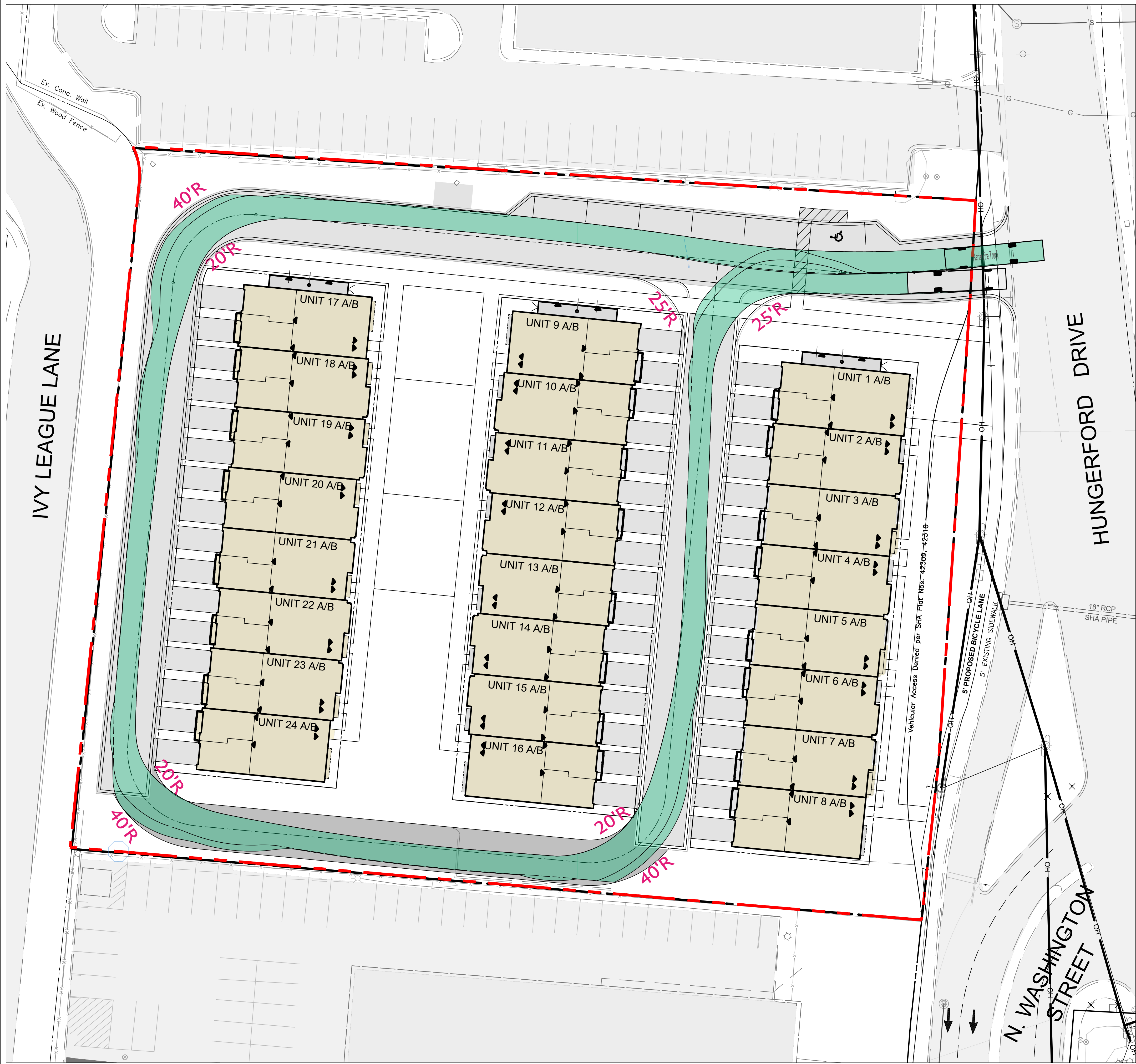
CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

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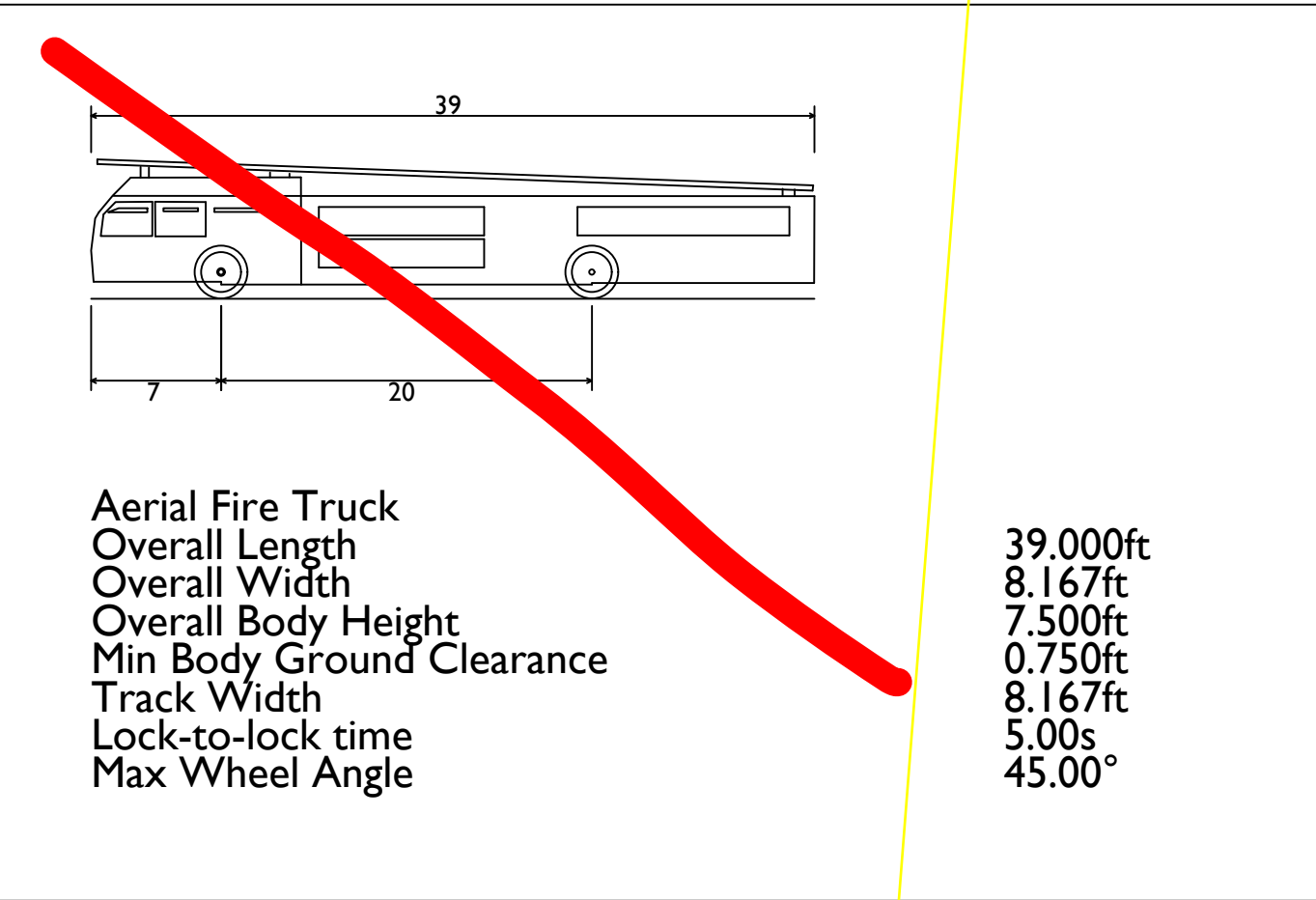
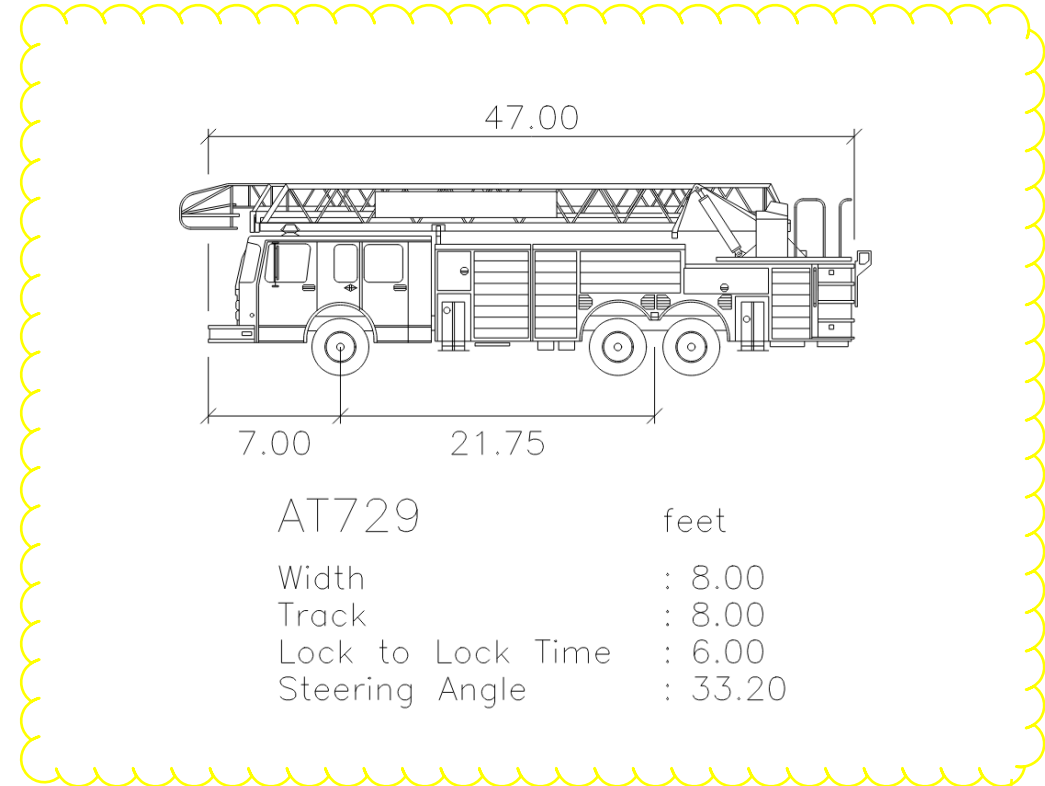
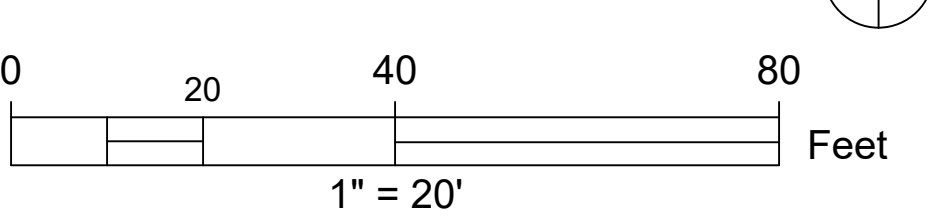
Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\autocad\Plot Plans\Site Plan\EXB-02 Circulation Plan.dwg





Fire Truck Movement



-The minimum interior turning radius for a fire department access road is 25' per CoR amendments to NFPA 1, §18.2.3.5.3.1. Turning template, if submitted for performance based design of the turning requirement, should show the specifications of the AT729 apparatus, permissible per CoR amendments to §18.2.3.5.3.1(iii).

Community Planning & Development Services  
Received  
April 30, 2024

CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Site Plan\Site Plan\EXB-03 Truck Turning Movement.dwg

2024.04.26 - 03:15 PM

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DESIGN TEAM:

Owner / Developer:

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6731 Columbia Gateway Drive, Suite 120  
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SEAL & SIGNATURE



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WASHINGTON SQUARE

Site Plan

Support Exhibit

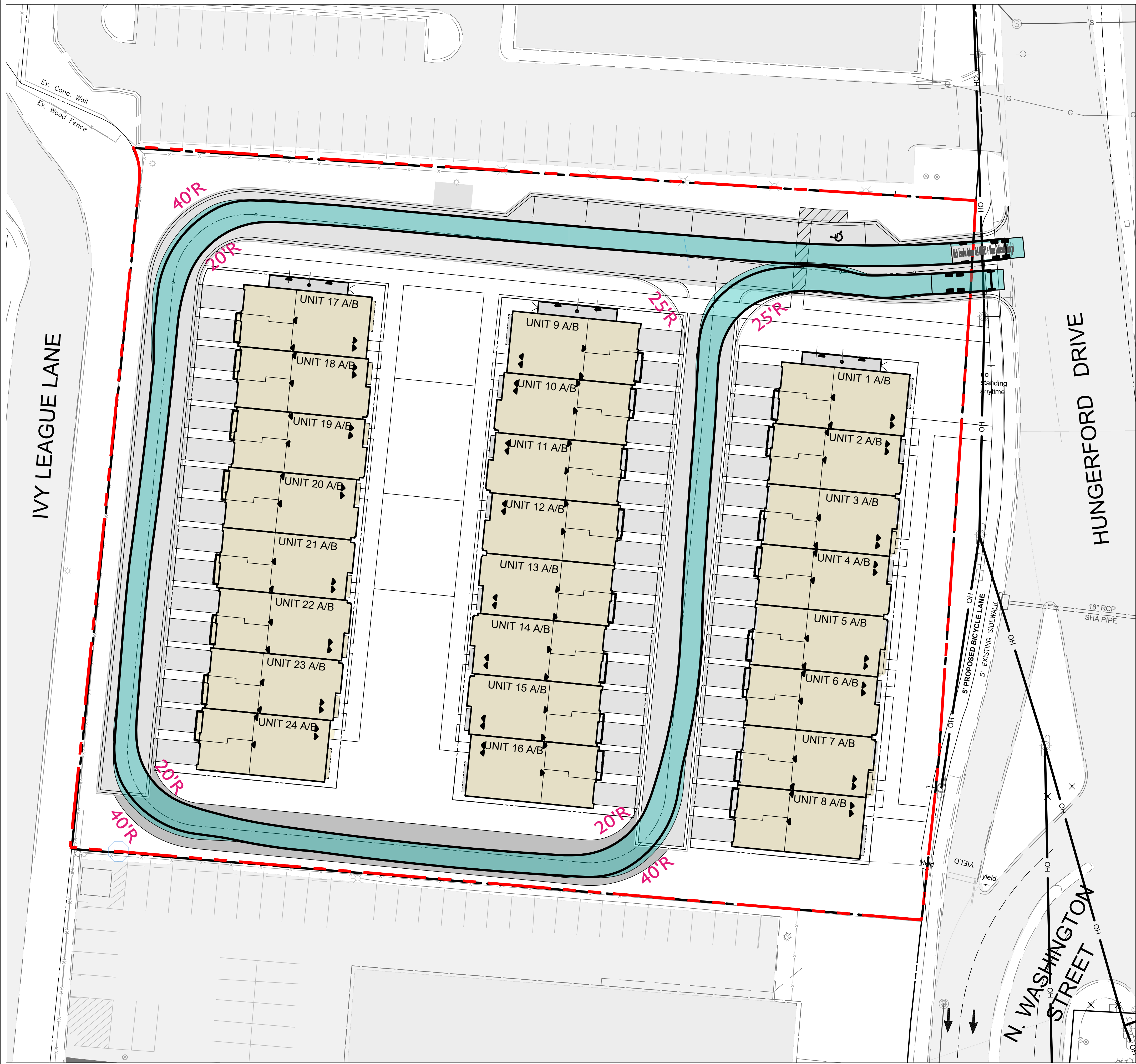
WSSC Grid: 219NW07, Tax Map: HN23  
City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
2023.03.27	Initial Submission

REVISIONS NO	DATE	DESCRIPTION

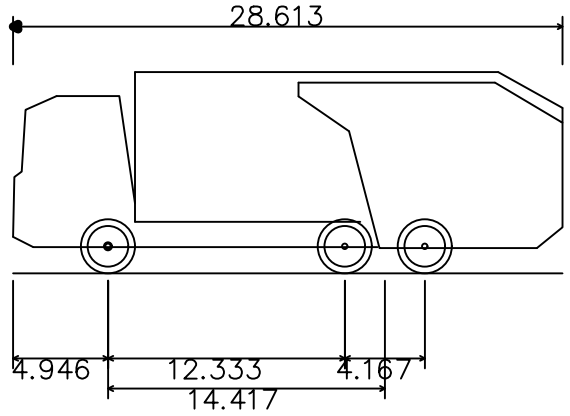
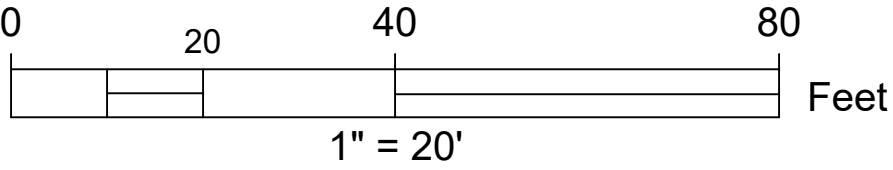
PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	Fire Truck Turning Movement
DRAWING NUMBER	EXB-03





Garbage Truck Movement

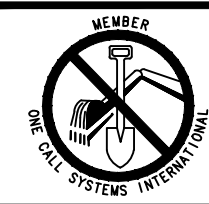
SCALE: 1" = 20'



Mack TerraPro Cabover 6x4 MRU613 +  
Wayne Curbtender 31cu yd

Overall Length	28.613ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	33.500ft

Community Planning & Development Services  
Received  
April 30, 2024



CALL "MISS UTILITY" AT  
1-800257-7777  
48 Hours Before Start Of Construction

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Preliminary Not For Construction

N:\MD-Montgomery-City of Rockville\Washington Square\Issued\Site Plan\Site Plan\EXB-03 Truck Turning Movement.dwg 2024.04.26 - 03:15 PM

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**WASHINGTON SQUARE**

**Site Plan  
Support Exhibit**

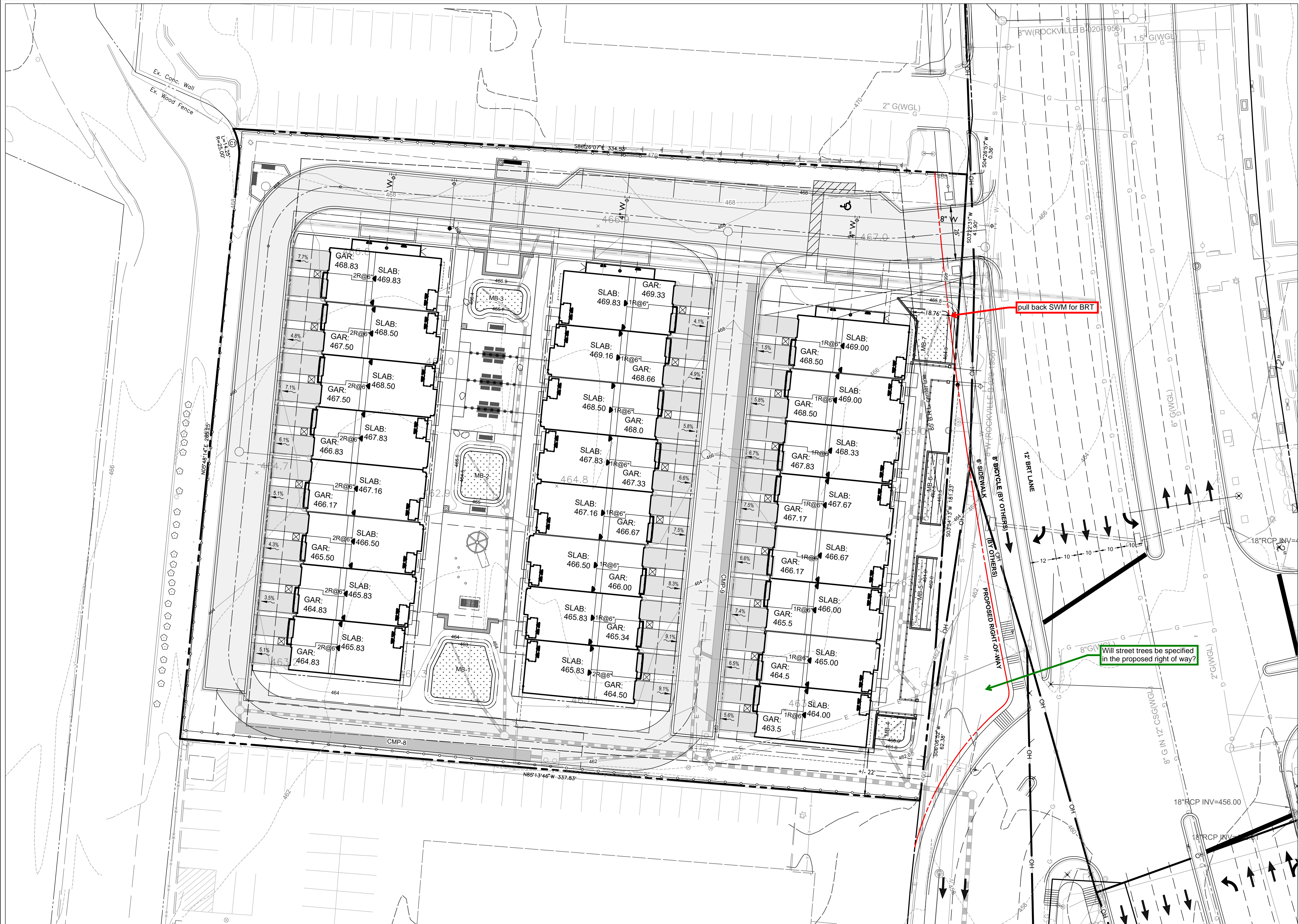
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City Of Rockville, MD, Rockville, Election District 04

ISSUE DATE	DESCRIPTION
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REVISIONS NO	DATE	DESCRIPTION

PROJECT NUMBER	----
DATE	2024.04.26
SCALE	1" = 20'
DRAWING TITLE	Garbage Truck Movement
DRAWING NUMBER	<b>EXB-04</b>





provide roadway cross sections of MD355 frontage  
under interim and ultimate conditions

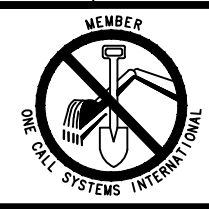
Community Planning & Development Services  
Received  
April 30, 2024

BRT - Ultimate Condition  
SCALE: 1" = 20'

GRAPHIC SCALE



1 INCH = 20 FT



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Preliminary Not For Construction

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DESIGN TEAM:

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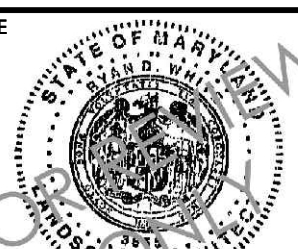
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**WASHINGTON SQUARE**

**Site Plan**

**Support Exhibit**

WSSC Grid: 219NW07, Tax Map: HN23

City Of Rockville, MD, Rockville, Election District 04

ISSUE

DATE

2023.03.27

#

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DESCRIPTION

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REVISIONS

NO

DATE

DESCRIPTION

PROJECT NUMBER

DATE

2024.04.26

SCALE

1" = 20'

DRAWING TITLE

BRT Ultimate Condition

DRAWING NUMBER

**EXB-05**