



111 Maryland Avenue | Rockville, Maryland 20850-2364 | 240-314-5000
www.rockvillemd.gov

Development Review Comments

September 5, 2025

2026-103-PAM

Submission Review Comments

The following are Development Review comments from City of Rockville staff related to the project submission.

CPDS Comments

Planning Review

- i. The purpose of a Pre-Application Meeting (PAM) with the Development Review Committee (DRC) is not to approve/disapprove aspects of a development plan. It is a meeting that provides an early opportunity for City Staff to give general advice to an applicant in the preparation of a site plan, project plan, or special exception, to discuss the application process and schedule going forward, and to address any concerns raised by the community. Staff strives to identify major issues but does not perform a full and complete review for compliance with all aspects of the code, which is done at the application phase.
- ii. The subject site is currently designated as Office (O) by the Comprehensive Plan and is Zoned MXE (Mixed-Use Employment).
- iii. 131 townhouses and 74 two-over-two condominium units are proposed. Per Sec. 25.13.03 (Land Use Tables), townhouses and attached units are permitted uses in the MXE zone.
- iv. Per Sec. 25.07.02, the proposed development appears to have a point valuation of 11.
- v. Land Use Planning Process: A Level 2 Site Plan application, per Sec. 25.14.07.f (Site Plan Required) and Article 7 (Procedures for Site Plans) is required following finalization of the subject PAM application. The Site Plan application will require the following: 1) A valid Natural Resources Inventory (NRI) and Forest Stand Delineation (FSD) plan as set forth in the City's Environmental Guidelines. 2) Following approval of the Level 2 Site Plan application, a "signature set" will be required for final approval.
- vi. Land Use Review Timelines: a) Level 2 Site Plan: initial submittal review is 6 week; subsequent reviews are 3-4 weeks; final submittal due 5 weeks before the Planning Commission hearing. b) Level 2 Site Plan Signature Set: initial submittal review is 2 weeks; subsequent reviews are 1-2 weeks. c) Total typical review is highly variable depending on applicant submittal timelines and responsiveness to City comments and requests.
- vii. As established in the mixed-use zone design guidelines (Sec. 25.13.06.c.6, central features and community spaces), developments should provide attractive and inviting pedestrian scale features, spaces, and amenities. Special design features such as towers, arcades, porticos, light fixtures, planter walls, seating areas, and other architectural features that define circulation paths and outdoor spaces should anchor pedestrian ways. Examples are outdoor plazas, patios, and courtyards. Each development should have at least two (2) of these areas. It is unclear to staff of how any of these features are being included in the submitted project and should be clarified. At the time of site plan submittal, please provide a description of the proposed amenities and how the project will address the mixed-use design guidelines, including the noted items above as well as the required open and public use space requirements.
- viii. See plan markups for additional comments.

This application is partially consistent with the City's Comprehensive Plan. The application is located within Planning Area 15, Falls Grove and Research Boulevard. The subject property is identified by the Comprehensive Plan with the Land Use designation of O (Office). Residential uses are not recommended in this land use designation. In addition, this chapter also states that "the Research Boulevard corridor should remain focused on employment-generating office and commercial development..."

However, staff recognize that there is currently a high vacancy rate among office spaces in the City. In addition, the Housing Element chapter of the Comprehensive Plan does recommend providing a diverse array of housing types at different income levels throughout the City. This proposal would help to accomplish this goal by including townhouses and two-over-two stacked units within the development.

The Planning Area 15 chapter also recommends the "improve[ment of] bicycle and pedestrian access and safety within the Research Boulevard corridor through the completion of a transportation study and facility improvements (page 389).

Per Section 25.14.01 of the Rockville Zoning Ordinance, any structure in Rockville proposed for demolition must undergo an Evaluation of Significance by the Historic District Commission prior to demolition. The Historic District Commission meets once per month, on the third Thursday of the month. Please contact history@rockvillemd.gov for any questions about the Evaluation of Significance process, or to receive/submit an application for review by the Historic District Commission.

Forestry Review

1. Forestry comments provided via plan markup.

Fire Review

-Provide a fire protection site plan: <https://www.rockvillemd.gov/DocumentCenter/View/481>

Building Review

2026-103-PAM

WESTAT REDEVELOPMENT

1600 RESEARCH BLVD.

REDEVELOPMENT- 205 RESIDENTIAL UNITS, COMPRISED OF 131 TOWNHOUSE UNITS, AND 74 TWO-OVER-TWO UNITS, INCLUDING 15% MPDUs

A site plan review for the referenced permit application has been completed. As a result of this review, the following items have been noted and require resolution:

1. The dimensions for the van-accessible space should be 132 inches wide, with an adjacent access aisle that measures either 60 inches or 96 inches wide, with an adjacent access aisle 96 inches. Please revise the site plan accordingly.
2. The details for van-accessible signage are not included in the site plan.
3. Please provide information on both the cross slope and running slope for the van-accessible space.
4. Identify accessible route.

James M. Metzgar, CBO

Sr. Plans Examiner

City of Rockville

Community Planning & Development Services

111 Maryland Avenue

Rockville, MD 20850

Direct extension: 240.314.8266

jmetzgar@rockvillemd.gov

DPW Comments

DPW Review

See site plan markups for comments.

Traffic Review

See site plan markups for T&T related comments.

Staff will review the revised plan for onsite non-vehicular access and circulation and access to existing non-vehicular facilities along MD 28 and Research Blvd.

A draft signing and marking plan should be submitted for preliminary review with revised plan.

CTR Related Comments

Submitted scoping intake form is reviewed and is deemed acceptable. Based on this information, a multimodal on-site report should be submitted for review with the revised plan. As part of this study, please evaluate provision of a second turning lane for all proposed access roads leading to Research Blvd.

Proof of payment for the required review fees for scoping intake and on-site report (\$1200) need to be provided to T&T.

Environmental Review

Please see site plan markups for comments.

HCD Comments

Housing Review

1. In compliance with Rockville City Code Chapter 13.5, the applicant is required to provide 15% of the total units as moderately priced dwelling units (MPDUs) for a period of 30 years. With 205 total units, there must be 31 MPDUs.
2. Before issuing building permits, a program agreement for the MPDUs must be approved by the Mayor and Council and the City Attorney. We have a checklist that you will fill out with all of the information needed to draft these agreements. The checklist and other relevant documents will be officially submitted to the City Attorney's Office by the MPDU program specialist and the City Attorney's Office will begin drafting the agreements after the applicant receives site plan approval from the Planning Commission.
3. The applicant should identify the location of MPDU units, which must be distributed throughout the development in all sections, so as not to concentrate all MPDUs in one section of the development.
4. MPDUs must be Income-tiered to three income bands: 50%, 60%, and 80% of the area median income. The number of MPDUs at each income band is subject to negotiation with the Department of Housing and Community Development.
5. Exterior finishes must be indistinguishable from market-rate units.
6. Staff would like to propose that homeowners' association fees be capped at 50% of the market-rate.

RPD Comments

Rec & Parks Review

Recommend a park in this area based on the Recreation and Parks Strategic Plan to have a park within a 10-minute walk of all residential properties.

CMO Comments

Art Review

Chapter IV Article IV Publicly Accessible Art in Private Development (AIPD) applies. The current required fee schedule is in the Implementation Manual, accessed at <https://www.rockvillemd.gov/2081/Publicly-Accessible-Art>. This website also has the Program Guidelines and Application. The applicant will need to meet with Anne O'Dell, Arts and Culture Program Manager (aodell@rockvillemd.gov) to discuss how they will apply the required contribution. Approval for this condition is pending per completion and approval of the AIPD Application.

Note: The provided comments will be reviewed at the DRC meeting scheduled for 9/11/2025. No resubmittal is required as part of the PAM application. However, at the time of the next application submittal (Project Plan, Site Plan, Special Exception, etc.), the applicant will need to provide a point-by-point response letter noting how the staff review comments have been addressed. Comments provided in letter format can be addressed in letter format. Comments provided on the plans should be addressed via plan markups rather than letter format. See example on the next pages.

DRC Comment Response Example

Planning and Development Services

Received

9/5/2025

2026-103-PAM

LIDL & THE HENSON AT SHADY GROVE SITE PLAN 2026-103-PAM - DRC COMMENTS 09-28-2021

Agency-Contact	Sheet	COMMENT	RESPONSE
PDS Comments Development & Zoning Reviewer - Sachin Kalbag	2026-103-PAM - Lidl Development Review Comments	<ol style="list-style-type: none"> 1. The purpose of a Pre-Application Meeting (PAM) with the Development Review Committee (DRC) is not to approve/disapprove aspects of a development plan. It is a meeting that provides an early opportunity for City Staff to give general advice to an applicant in the preparation of a site plan, project plan, or special exception, to discuss the application process and schedule going forward, and to address any concerns raised by the community. Staff strives to identify major issues but does not perform a full and complete review for compliance with all aspects of the code, which is done at the application phase. 2. The subject site is currently designated as Office (O) by the Comprehensive Plan and is Zoned MXE (Mixed-Use Employment). 3. 131 townhouses and 74 two-over-two condominium units are proposed. Per Sec. 25.13.03 (Land Use Tables), townhouses and attached units are permitted uses in the MXE zone. 4. Per Sec. 25.07.02, the proposed development appears to have a point valuation of 11. 5. Land Use Planning Process: A Level 2 Site Plan application, per Sec. 25.14.07.f (Site Plan Required) and Article 7 (Procedures for Site Plans) is required following finalization of the subject PAM application. The Site Plan application will require the following: 1) A valid Natural Resources Inventory (NRI) and Forest Stand Delineation (FSD) plan as set forth in the City's Environmental Guidelines. 2) Following approval of the Level 2 Site Plan application, a "signature set" will be required for final approval. 6. Land Use Review Timelines: a) Level 2 Site Plan: initial submittal review is 6 week; subsequent reviews are 3-4 weeks; final submittal due 5 weeks before the Planning Commission hearing. b) Level 2 Site Plan Signature Set: initial submittal review is 2 weeks; subsequent reviews are 1-2 weeks. c) Total typical review is highly variable depending on applicant submittal timelines and responsiveness to City comments and requests. 7. As established in the mixed-use zone design guidelines (Sec. 25.13.06.c.6, central features and community spaces), developments should provide attractive and inviting pedestrian scale features, spaces, and amenities. Special design features such as towers, arcades, porticos, light fixtures, planter walls, seating areas, and other architectural features that define circulation paths and outdoor spaces should anchor pedestrian ways. Examples are outdoor plazas, patios, and courtyards. Each development should have at least two (2) of these areas. It is unclear to staff of how any of these features are being included in the submitted project and should be clarified. At the time of site plan submittal, please provide a description of the proposed amenities and how the project will address the mixed-use design guidelines, including the noted items above as well as the required open and public use space requirements. 8. See plan markups for additional comments. 	

<p>PDS Comments Development & Zoning Reviewer - Sachin Kalbag</p>	<p>2026-103-PAM - Lidl Development Review Comments</p>	<p>This application is partially consistent with the City's Comprehensive Plan. The application is located within Planning Area 15, Falls Grove and Research Boulevard. The subject property is identified by the Comprehensive Plan with the Land Use designation of O (Office). Residential uses are not recommended in this land use designation. In addition, this chapter also states that "the Research Boulevard corridor should remain focused on employment-generating office and commercial development..."</p> <p>However, staff recognize that there is currently a high vacancy rate among office spaces in the City. In addition, the Housing Element chapter of the Comprehensive Plan does recommend providing a diverse array of housing types at different income levels throughout the City. This proposal would help to accomplish this goal by including townhouses and two-over-two stacked units within the development.</p> <p>The Planning Area 15 chapter also recommends the "improve[ment of] bicycle and pedestrian access and safety within the Research Boulevard corridor through the completion of a transportation study and facility improvements (page 389).</p> <p>Per Section 25.14.01 of the Rockville Zoning Ordinance, any structure in Rockville proposed for demolition must undergo an Evaluation of Significance by the Historic District Commission prior to demolition. The Historic District Commission meets once per month, on the third Thursday of the month. Please contact history@rockvillemd.gov for any questions about the Evaluation of Significance process, or to receive/submit an application for review by the Historic District Commission.</p>	
<p>PDS Comments Development & Zoning Reviewer - Sachin Kalbag</p>	<p>2026-103-PAM - Lidl Development Review Comments</p>	<p>1. Forestry comments provided via plan markup.</p>	
<p>PDS Comments Development & Zoning Reviewer - Sachin Kalbag</p>	<p>2026-103-PAM - Lidl Development Review Comments</p>	<p>-Provide a fire protection site plan: https://www.rockvillemd.gov/DocumentCenter/View/481</p>	

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PDS Comments Development & Zoning Reviewer - Sachin Kalbag	2026-103-PAM - Lidl Development Review Comments	<p>See site plan markups for T&T related comments.</p> <p>Staff will review the revised plan for onsite non-vehicular access and circulation and access to existing non-vehicular facilities along MD 28 and Research Blvd.</p> <p>A draft signing and marking plan should be submitted for preliminary review with revised plan.</p> <p>CTR Related Comments</p> <p>Submitted scoping intake form is reviewed and is deemed acceptable. Based on this information, a multimodal on-site report should be submitted for review with the revised plan. As part of this study, please evaluate provision of a second turning lane for all proposed access roads leading to Research Blvd.</p> <p>Proof of payment for the required review fees for scoping intake and on-site report (\$1200) need to be provided to T&T.</p>	
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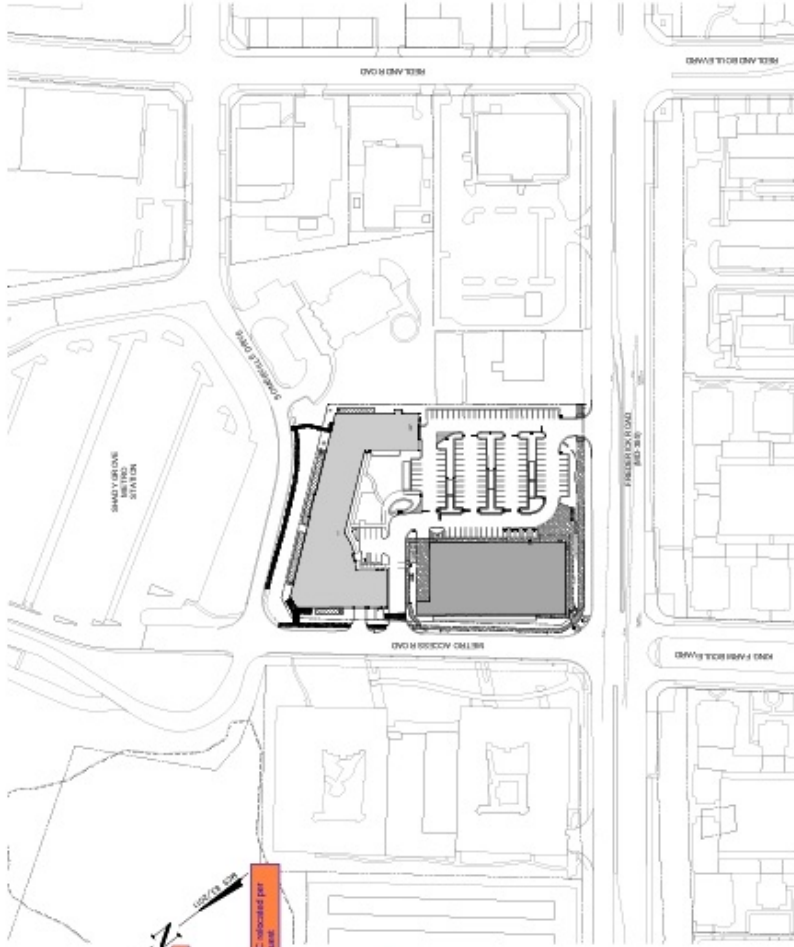
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DRC Comment
Response Example

LIDL & THE HENSON
AT SHADY GROVE METRO
STP#2021XXXX



Planning & Development Services
August 30, 2021



SURROUNDING AREA MAP



SEE FIRE MARSHAL
REVIEW COMMENTS

Please indicate the location of the department key access box for each structure.
The existing hydrant located on Frederick Avenue is located in a high speed (40 mph) roadway, which is not an appropriate location for a department key access box. The department key access box would place the department personnel in jeopardy.
We recommend relocating the fire department connection (FDC) for the Lidl site to within 100 ft. of the additional hydrant in the parking lot adjacent to the Lidl site within 100 ft. of the FDC.
The fire flow calculations will be a condition of building plan submission.

Added per request

FDC relocated per request

acknowledged

SHEET INDEX	
OVERALL	COVER SHEET
SP-1.01	EXISTING CONSTRUCTION PLAN
SP-2.01	CHINA SPACE SUBMIT
SP-2.02	CHINA SPACE SUBMIT
SP-2.03	CHINA SPACE SUBMIT
SP-2.04	CHINA SPACE SUBMIT
SP-2.05	CHINA SPACE SUBMIT
SP-2.06	CHINA SPACE SUBMIT
SP-2.07	CHINA SPACE SUBMIT
SP-2.08	CHINA SPACE SUBMIT
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SP-2.98	CHINA SPACE SUBMIT
SP-2.99	CHINA SPACE SUBMIT
SP-3.00	CHINA SPACE SUBMIT

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

PROJECT NO. SP-001
DATE 08/30/21
DRAWN BY J. HENSON
CHECKED BY J. HENSON
APPROVED BY J. HENSON
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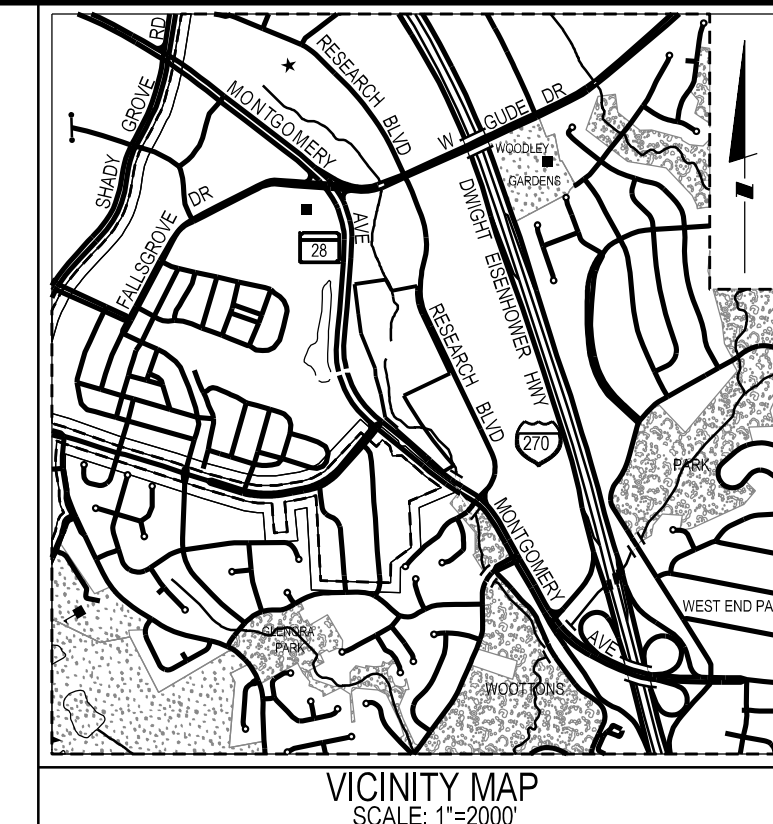
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CHECKED BY J. HENSON
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WESTAT

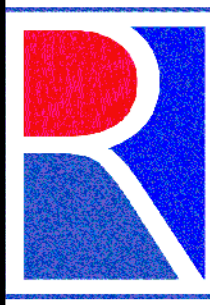
PRE-APPLICATION MEETING SITE PLAN

CITY OF ROCKVILLE (4TH ELECTION DISTRICT) MONTGOMERY COUNTY, MARYLAND



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Engineering
Surveying
Planning
Environmental Sciences



APPLICANT

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703-431-1770
CONTACT: ANGELA RASSAS
EMAIL: ARASSAS@TOLLBROTHERS.COM

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301-841-3832
CONTACT: PATRICIA HARRIS
EMAIL: PAHARRIS@LERCHEARLY.COM

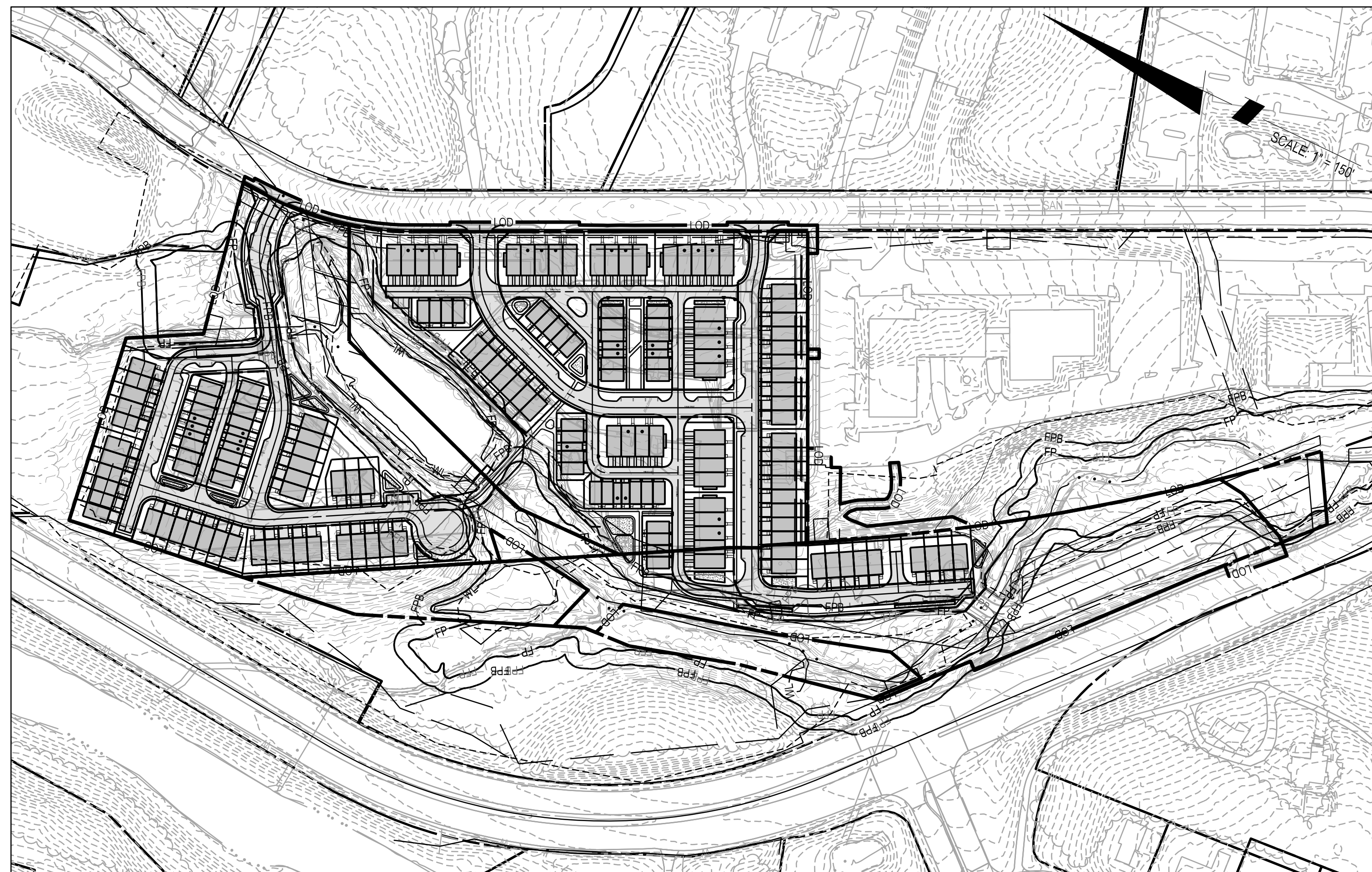
SHEET INDEX:

SITE PLAN	
SHEET 1	COVER SHEET
SHEET 2	OVERALL PLAN
SHEET 3	SITE PLAN
SHEET 4	SITE PLAN
SHEET 5	SITE PLAN
SHEET 6	SITE PLAN
SHEET 7	SITE PLAN
SHEET 8	SITE PLAN
SHEET 9	SITE PLAN

Please provide an exhibit that details the proposed improvements atop the existing impervious areas. Please utilize linework hierarchy. Please highlight the portions of the proposed improvements that encroach past existing impervious area.

Please provide color coded hatching and symbology for environmentally sensitive features such as forest conservation easements, forested areas (not under FCE), floodplains, floodplain buffers, wetlands, wetland buffers, streams, and stream valley buffers.

Please remove other linework that isn't necessary for this exhibit.



Provide a fire protection site plan.
-Fire Protection Site Plan Requirements:
<https://www.rockvillemd.gov/documentcenter/view/481>

Sec. 10-57

- (5) Subdivision access roads shall have the driving surface at or above the base flood elevation.
- (6) No lot may be platted within the limits of the special flood hazard area, in accordance with the zoning ordinance, section 25.21.20 of the City Code.
- (7) Subdivision proposals shall be laid out such that any portion of the special flood hazard area shall be recorded as an outlot, dedicated to the City, or otherwise protected to preserve it as open space.

LEGEND

BOUNDARY / PROPERTY LINE	---
LIMITS OF DISTURBANCE	--- LOD ---
PRELIMINARY FEMA FLOODPLAIN	--- FFP ---
PRELIMINARY FEMA FLOODPLAIN BUFFER	--- FPB ---
PROPOSED FLOODPLAIN	--- FP ---
PROPOSED FLOODPLAIN BUFFER	--- FPB ---
EXISTING CONTOURS	--- 387 ---
PROPOSED BUILDINGS	■
PROPOSED MPDUs	●
PROPOSED SIDEWALKS	---
PROPOSED STORMWATER MANAGEMENT FACILITY	---
EXISTING CURB & GUTTER	---
PROPOSED CURB & GUTTER	---
FOREST STAND DELINEATION	---
EXISTING WETLAND	--- WL ---

Dry Utilities

Provide layout per ordinance 25.17.03a. All underground lines and cables shall be placed in a public utility easement, or otherwise on private property. No utilities may be placed in the public right-of-way or on City property without the express written permission of the City, and subject to such terms and conditions that the City may require.

Dry utilities may cross the ROW perpendicular. Applicant will need to submit a conceptual dry utility plan to be approved by both the utility companies and DPW.

SWM Concept

- Pre-App SWM Concept is under review.
- Pre-App SWM Concept must be approved prior to submission of the Development SWM Concept.
- Site Plan cannot be submitted until the Pre-App SWM Concept is approved.
- The Pre-App SWM Approval letter will establish the study points of the safe conveyance analysis.

•Development Stormwater Management Concept must be approved prior to site plan approval

•Safe Conveyance Study must be approved prior to site plan approval. The Pre-App SWM Approval letter will establish the study points of the safe conveyance analysis. However, this analysis may be concurrent with the Development SWM Concept.

Preliminary Sediment Control Plan must be approved prior to site plan approval.

A Water & Sewer Authorization must be approved prior to Site Plan approval. Submit completed Water & Sewer Authorization application with applicable fees.

b. Generally dead-end water mains should be avoided.

c. The City generally follows WSSC Pipeline Design Manual for sizing, structures, clearances, crossings etc.

d. Public water and sewer mains should not be located within SWM easements.

e. Prefer mains be located under pavement rather than mews/open space.

The minimum easement width for a normal (14-inch diameter or less) pipeline (water or sewer at normal depth) is 20-feet. When both water and sewer (normal diameter and depth) are installed in the same easement, the minimum width is 30-feet. Installation of deep or large water/sewer will require additional easement width.

The minimum horizontal clearance from a building to the outside diameter of a W&S main is 15-feet. The minimum spacing between adjacent buildings with both water and sewer lines between them must be 40-feet. In some cases where connections, fire hydrants, or deep water/sewer lines are involved, additional easement width is required.

Balconies or other building appendances must not encroach within easements. W&S pipeline alignment should maintain a minimum 5-foot horizontal clearance from storm-drain pipes, structures and other utilities.

f. Water modeling is likely necessary due to the site's proximity to the Oak Knoll sampling station, known to have water age issues. Water demand is also proposed to decrease which will inversely increase water age.

SITE AREA TABLE	
Gross Tract Area	21.96 AC / 956,462 SF
Lot 12 (Tax # 01958687)	6.79 AC / 295,793 SF
Lot 20A (Tax # 03638016)	8.33 AC / 363,052 SF
Lot 20B (Tax # 03638027)	6.83 AC / 297,617 SF
Net Site Area	21.96 AC / 956,462 SF

NOTE: LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE WITH LEVEL 2 SITE PLAN REVIEW. THE PROJECT IS ZONED MXE (MIXED-USE EMPLOYMENT). PROJECT DATA REGARDING DEVELOPMENT STANDARDS (SEC.25.13.05.b.1) TO BE PROVIDED AT THE TIME OF LEVEL 2 SITE PLAN.

NOTE: The NRI/FSD for this site is currently under review (2025-02-NRI). Site plan cannot be submitted until NRI/FSD is approved. Comments pending resolution on the NRI/FSD may have impacts on the layout/design of this plan.

This includes house connections and fire hydrants.

1. This project must abide Forest Conservation (retention, reforestation, and/or afforestation) and significant tree replacement requirements applicable to MXE zones as outlined in Chapter 10.5.

2. This site contains high priority retention areas such as stream buffers, wetlands, steep slopes, and specimen trees that may impact forestry requirements on site.

3. Staff has not yet received a PFCP application and thus has not provided formal comments, consistent with the requirements of Chapter 10.5.

4. All newly subdivided lots must provide lot trees in accordance with 25.21.21 of the Zoning Ordinance.

5. All newly subdivided lots fronting public right of way must provide street trees in accordance with 25.21.21 of the Zoning Ordinance. Please provide linear calculations demonstrating compliance with 1 street tree per 40' requirement.

6. Trees shall be a minimum of 5 feet from inlets and manholes.

7. Shade trees shall be spaced a minimum of 7 feet from micro-bioretenion underdrain pipes (6" diameter and smaller) and ornamental tree to be spaced 5 feet minimum.

Intersections:

1. The minimum offset from curb line extended shall be minimum 30 feet where no traffic control is present, and minimum 50 feet where traffic control is present. Traffic control can consist of stop signs, traffic signals or any other measure in place to provide safe roadway operations. An increase to this minimum offset is at the discretion of the Director of Public Works.

2. No tree is permitted within the line of sight.

refer to City standard detail 200, Street Tree Planting, required offsets are subject to final approval by the Director of Public Works

Provide sight distance for streets and alleys.

Streets & alleys must be laid out so required sight distance is provided.

FY1 - Chapter 10.5 of the City Code is anticipating amendments in the near future (6 months or so). Those amendments may have impacts on forestry requirements on the site.

Please note all new record lots created by the proposed development must meet the setback requirements and other development standards of the MXE Zone as specified in Sec. 25.13.05.b.1.

Per Sec. 25.17.05.b and 25.13.06.c.5, internal sidewalks must be provided with a width of 6 feet unless justification is provided as to why an alternative width is proposed and why the directed width is not being provided.

Provide an exhibit which demonstrate the distribution of townhouses vs. two-over-two units.

If collective mailboxes are to be utilized, show location(s) on the site plan.

Please note that the Zoning Ordinance Rewrite is currently underway and is considering revised standards for front-loaded townhomes. Initial draft language includes: "Townhouses must be designed in a manner to accommodate all required site elements, including but not limited to wet and dry utilities, street trees, and stormwater management facilities. The garage door must not constitute more than 50 percent of the ground-floor facade of the Townhouse. Within the first eight feet from the curb, driveways of front-loaded units may be no greater than 10 feet wide." Staff recommends that the applicant consider these potential changes in the proposed design of the project and its front-loaded townhouses. The site plan must demonstrate how parking can be accommodated in combination with utilities and other requirements.

Roads:

All ROW must be public and must meet a city standard road section. If proposing a road section with parking only provided on one side must demonstrate adequate parking is provided. Roads sections may require M&C approval.

All ramps should be perpendicular to the road crossing.

Staff will not support street grades greater than 5% unless there is a physical constraint preventing the installation. Adequate justification to support any grades that exceed ADA requirements will need to be provided. The cost or the loss of units is not adequate justification.

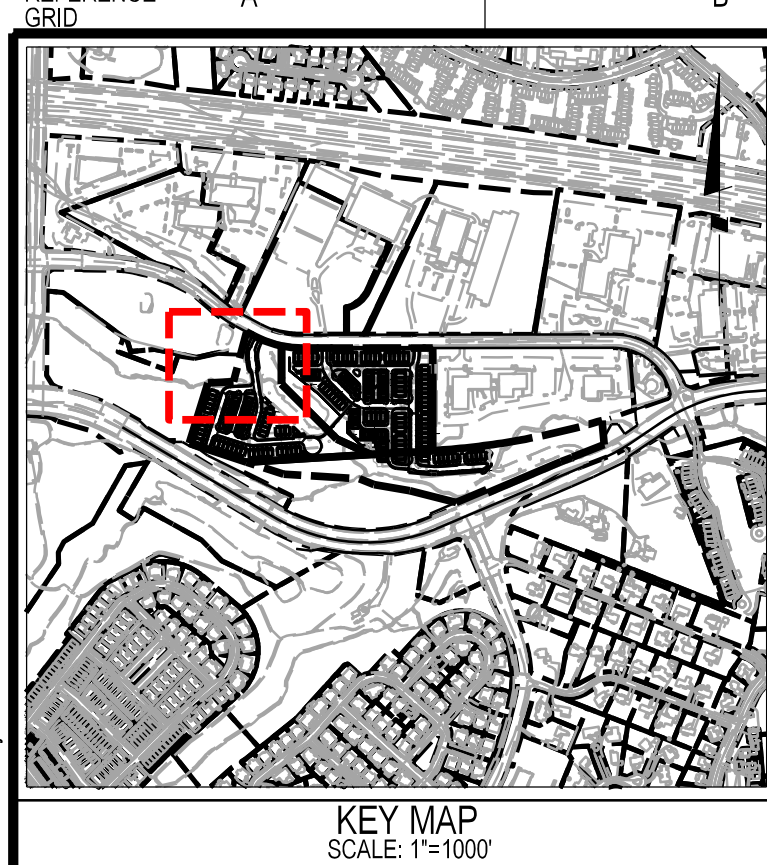
All new streets (and sidewalks) be designed with a max. 5% grade (4.5% to provide construction tolerance) to the maximum extent practicable so as to meet ADA standards. City standard details for secondary residential street requires a maximum roadway grade of 10% and notes that "[w]here the maximum roadway exceeds 5%, additional measures may be necessary to meet ADA requirements."

COVER SHEET
PRE-APPLICATION MEETING SITE PLAN
WESTAT

ROCKVILLE (4TH ELECTION DISTRICT) MONTGOMERY COUNTY, MARYLAND

WSOC 200 SHEET 219NW09	ZONING CATEGORY: MXE
SITE DATUM: HORIZONTAL: NAVD83 VERTICAL: NAVD83	TAX MAP FR63
1" = 150'	DATE: 7/14/2025 DESIGNED: JS CHECKED: TH CAD STYL: JS VERSION: 1
SHEET 1 OF 9	PROJECT NO. 0641-33-00





applicant (HOA) is required to develop an emergency evacuation plan, included with homeowner covenants, and notifying residents (and prospective residents) of the floodplain

LOD is depicted extending past the tree lawn on Research. Based on DPW comments, it seems impacts to street trees within the tree lawn are inevitable. Removals and replacements would likely be required. Existing street tree impacts, removals, and replacements must be reviewed by the City Forester, Paula Perez.

Show existing utilities and easements
Dead-end watermain are not allowed

In accordance with the bikeway master plan, the requirement will be a buffered shared use path, with the buffer being 8 feet from the existing face of curb and the shared use path measuring 10 feet wide. Construction of these improvements, as well as the dedication to right of way of the area needed plus an additional one foot behind the back of the path will be required.

verify existing utilities in PUE and determine whether additional easement is required after Research ROW dedication (typ)

consolidate connections from units to a private, parallel sidewalk, to shared use path

Subdivision access roads shall have the driving surface above the Base Flood Elevation and provide min. 2' Freeboard

Staff notes that newly subdivided lots fronting public right of way must meet street tree requirements per 25.21.21 of the Zoning Ordinance.

Add City of Rockville floodplain show updated NRI base

Please add stream valley buffer to the legend and throughout the plan in accordance with the NRI/FSD

Staff notes that newly subdivided lots fronting public right of way must meet street tree requirements per 25.21.21 of the Zoning Ordinance.

The areas shown between driveways are not sufficient to support the required street trees

Min. Supported ROW width is 55' (typ). provide buffered sidewalks, etc.

Show culverts

provide ramps and crosswalk (typ)

SWM facilities should not be located in FB

Forestry
The City's Environmental Guidelines treat retaining walls as structures, and as such, they are not permitted within stream valley buffers except under very limited circumstances. The stream buffer is intended to remain undisturbed to protect water quality, habitat, and the stability of the stream valley.
If a retaining wall within the buffer is proposed, the applicant must demonstrate that:
1. No reasonable alternative exists to avoid the buffer;
2. The extent of encroachment has been minimized;
3. Sensitive areas (forest, wetlands, floodplain, steep slopes, rare species habitat) are avoided wherever possible; and
4. Mitigation measures (such as buffer averaging, reforestation, stream restoration, or other environmental enhancements) are provided to offset the impact.

LEGEND	
BOUNDARY / PROPERTY LINE	---
LIMITS OF DISTURBANCE	---
PRELIMINARY FEMA FLOODPLAIN	---
PRELIMINARY FEMA FLOODPLAIN BUFFER	---
PROPOSED FLOODPLAIN	---
PROPOSED FLOODPLAIN BUFFER	---
EXISTING CONTOURS	---
PROPOSED BUILDINGS	■
PROPOSED MPDUs	●
PROPOSED SIDEWALKS	---
PROPOSED STORMWATER MANAGEMENT FACILITY	---
EXISTING CURB & GUTTER	---
PROPOSED CURB & GUTTER	---
FOREST STAND DELINEATION	---
EXISTING WETLAND	---

Max. 10' aprons if meeting visitor parking (typ)

Min. allowable baseline radius = 150'

Min. allowable baseline radius = 150'

Show match lines (typ)

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SITE PLAN

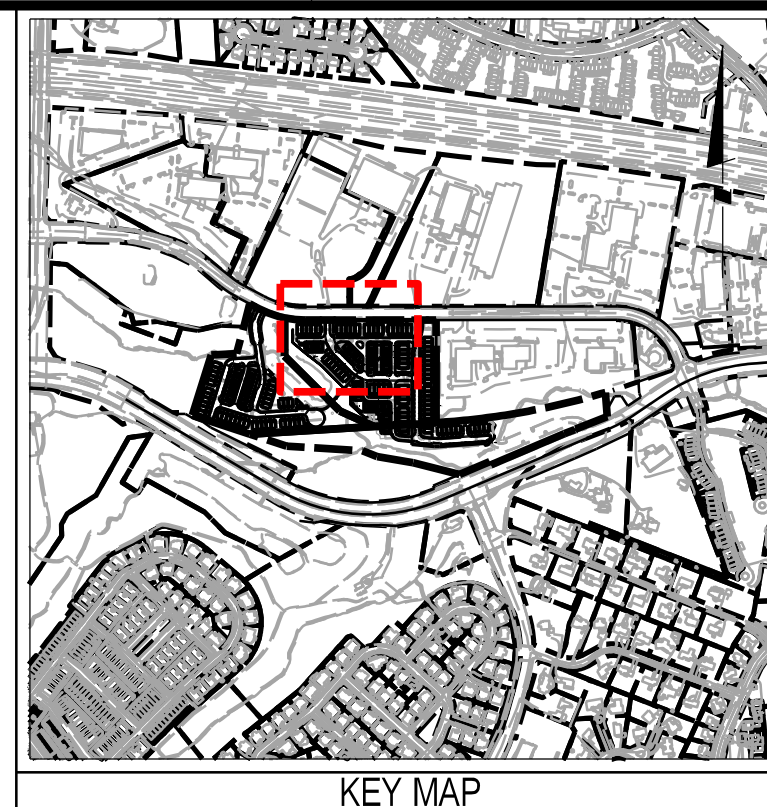
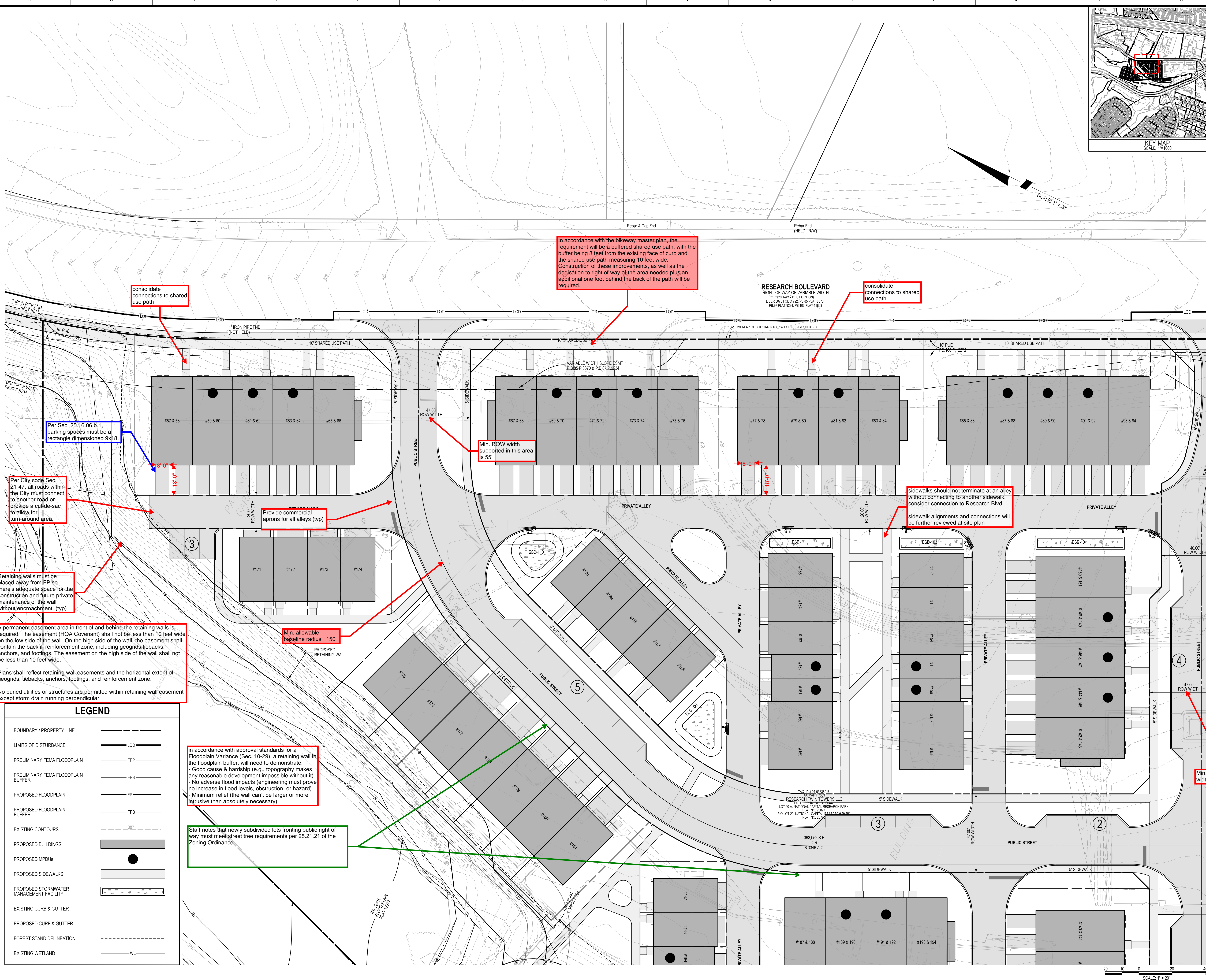
PRE-APPLICATION MEETING SITE PLAN

WESTAT

ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

WSBC 200' SHEET	219NW09	ZONING CATEGORY:	MOE
SITE DATUM:	NAD83/NAVD83	TAX MAP:	FR63
HORIZONTAL:	NAD83/NAVD83	DATE:	7/14/2025
VERTICAL:	NAVD83	DESIGNED:	JS
1" = 20'		CHECKED:	JS
		CAD STYL:	TH
		VERSION:	ORD / NCS
SHEET	3	PROJECT NO.	0641-33-00
OF	9		

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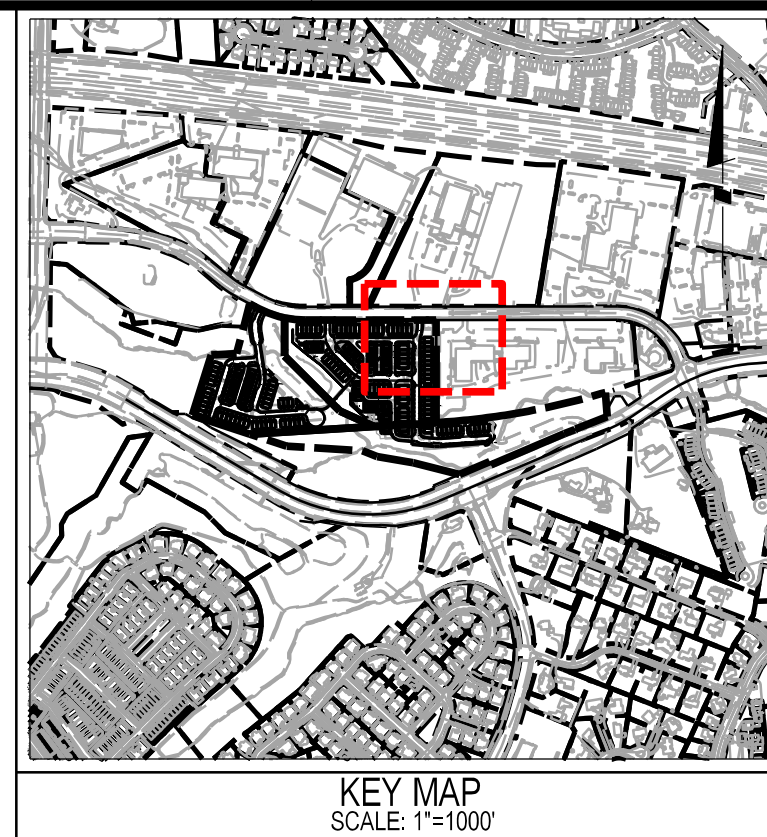
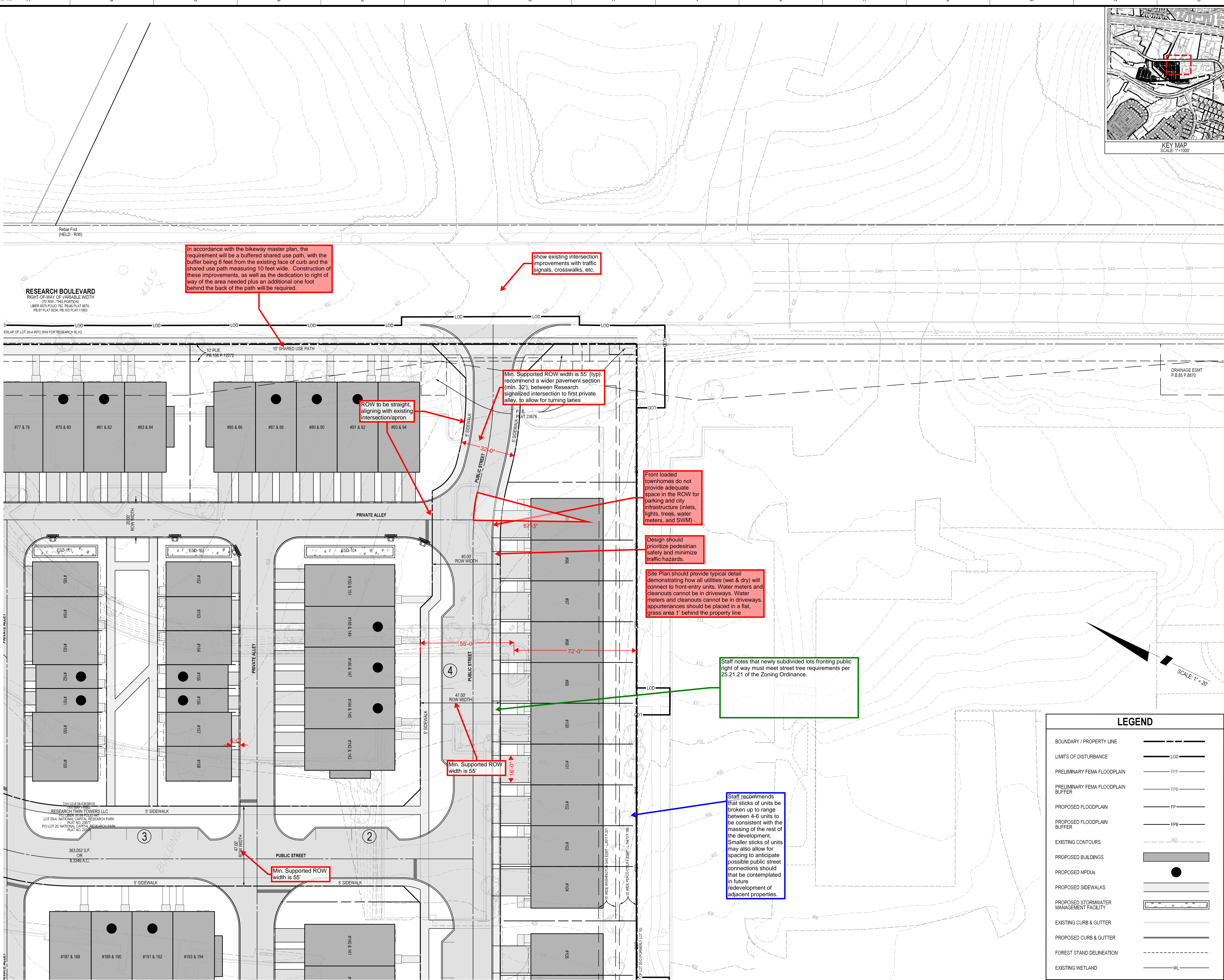
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SITE PLAN
PRE-APPLICATION MEETING SITE PLAN
WESTAT

WSBC 200' SHEET	219NW09	ZONING CATEGORY:	MOE
SITE DATUM:	NAD83/NA	TAX MAP:	FR83
HORIZONTAL:	NAD83/NA	DATE:	7/14/2025
VERTICAL:	NAVD83	DESIGNED:	JS
1" = 20'		CHECKED:	TH
SHEET	4	CAD STOPS:	ORD / NCS
OF	9	VERSION:	
PROJECT NO.	0641-33-00		

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SITE PLAN
PRE-APPLICATION MEETING SITE PLAN
WESTAT

WSBC 200' SHEET
219NW09

SITE DATUM
HORIZONTAL: NAD83/91
VERTICAL: NAVD83

SHEET
5
OF
9

PROJECT NO.
0641-33-00

ZONING CATEGORY:
MXE

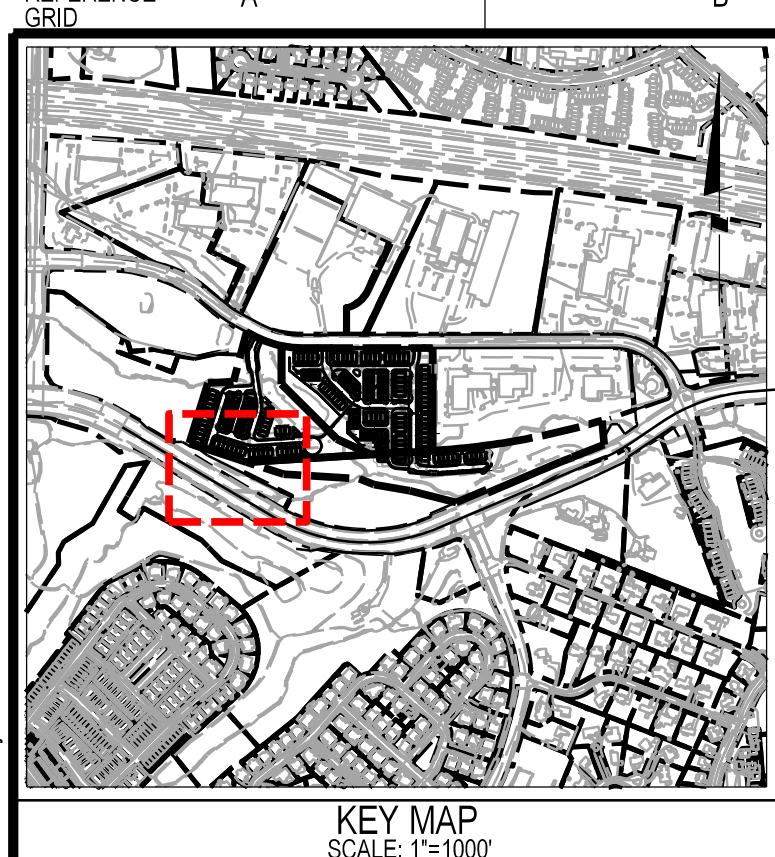
TAX MAP
FR63

DATE: 7/14/2025
DESIGNED: JS
CHECKED: TH
CAD STG. VERSION:
ORD / NCS

ROCKVILLE (MD) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

LEGEND	
BOUNDARY / PROPERTY LINE	---
LIMITS OF DISTURBANCE	LOD
PRELIMINARY FEMA FLOODPLAIN	FFP
PRELIMINARY FEMA FLOODPLAIN BUFFER	FFB
PROPOSED FLOODPLAIN	FP
PROPOSED FLOODPLAIN BUFFER	FPB
EXISTING CONTOURS	387
PROPOSED BUILDINGS	[Symbol]
PROPOSED MPDUs	[Symbol]
PROPOSED SIDEWALKS	[Symbol]
PROPOSED STORMWATER MANAGEMENT FACILITY	[Symbol]
EXISTING CURB & GUTTER	[Symbol]
PROPOSED CURB & GUTTER	[Symbol]
FOREST STAND DELINEATION	---
EXISTING WETLAND	WL

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verify physical condition of stump, replace monument through record plat process as necessary

Per City code Sec. 21-47, all roads within the City must connect to another road or provide a cul-de-sac to allow for turn-around area.

Min. Supported ROW width is 55'

Min. Supported ROW width is 55'

Min. Supported ROW width is 55'

remove parking

label existing easements (typ)

update waterways, stream valley buffer, wetlands, City floodplains outfalling from Falls Grove Pond 3 on west side of Rt. 28 per NRI/FSD

LEGEND

BOUNDARY / PROPERTY LINE	---
LIMITS OF DISTURBANCE	---
PRELIMINARY FEMA FLOODPLAIN	---
PRELIMINARY FEMA FLOODPLAIN BUFFER	---
PROPOSED FLOODPLAIN	---
PROPOSED FLOODPLAIN BUFFER	---
EXISTING CONTOURS	---
PROPOSED BUILDINGS	■
PROPOSED MPDUs	●
PROPOSED SIDEWALKS	---
PROPOSED STORMWATER MANAGEMENT FACILITY	---
EXISTING CURB & GUTTER	---
PROPOSED CURB & GUTTER	---
FOREST STAND DELINEATION	---
EXISTING WETLAND	---

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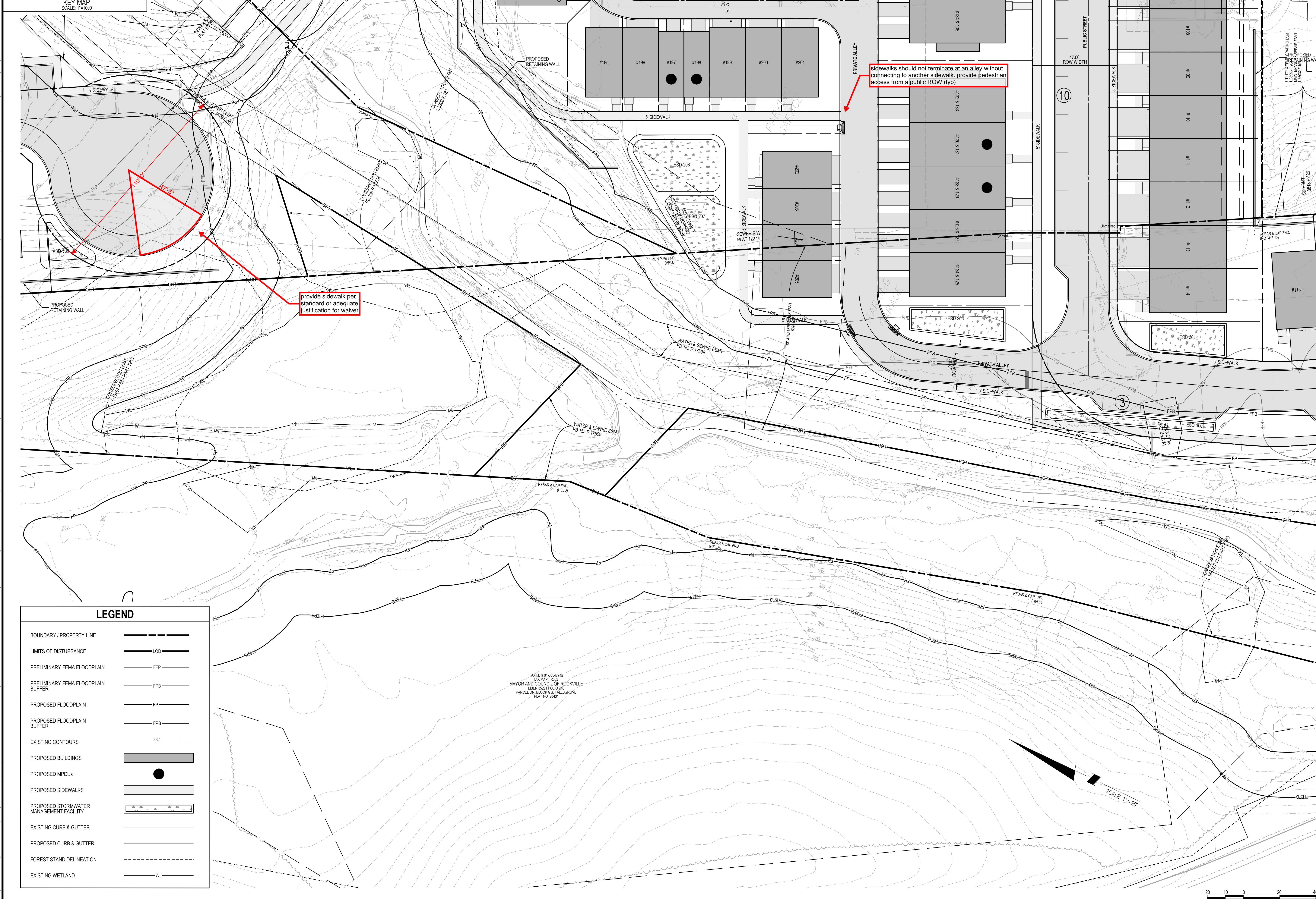
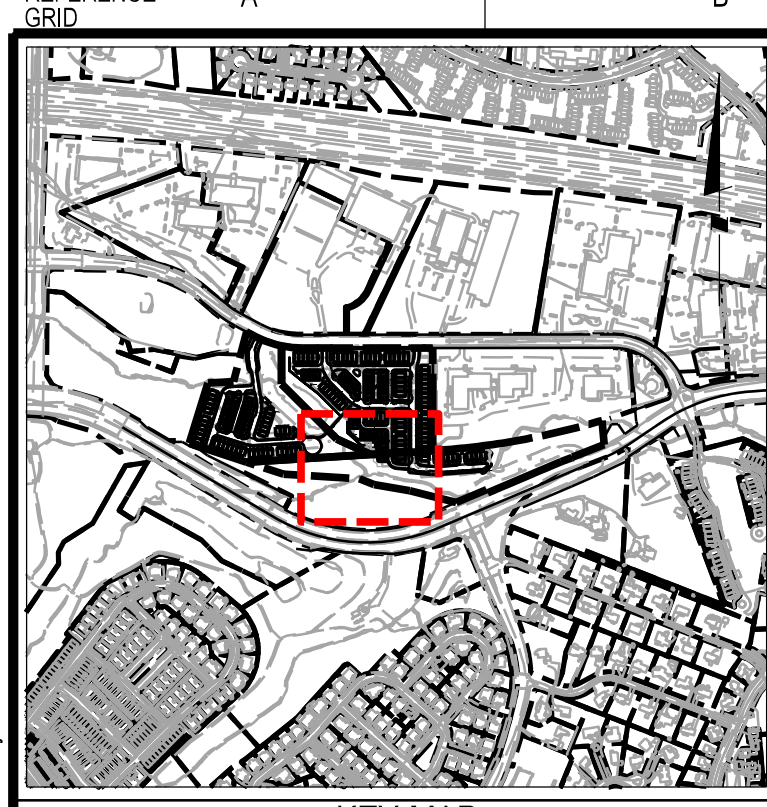
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SITE PLAN PRE-APPLICATION MEETING SITE PLAN WESTAT

WSBC 200' SHEET 219NW09	ZONING CATEGORY: MXE
SITE DATUM: HORIZONTAL: NAD83/91 VERTICAL: NAVD83	TAX MAP: FR63
1" = 20'	DATE: 7/14/2025 DESIGNED: JS TECHNICIAN: JS CHECKED: TH CAD STPS. VERSION: ORD / NCS
SHEET 6 OF 9	PROJECT NO. 0641-33-00



LEGEND	
BOUNDARY / PROPERTY LINE	---
LIMITS OF DISTURBANCE	---
PRELIMINARY FEMA FLOODPLAIN	---
PRELIMINARY FEMA FLOODPLAIN BUFFER	---
PROPOSED FLOODPLAIN	---
PROPOSED FLOODPLAIN BUFFER	---
EXISTING CONTOURS	---
PROPOSED BUILDINGS	■
PROPOSED MPDUs	●
PROPOSED SIDEWALKS	---
PROPOSED STORMWATER MANAGEMENT FACILITY	---
EXISTING CURB & GUTTER	---
PROPOSED CURB & GUTTER	---
FOREST STAND DELINEATION	---
EXISTING WETLAND	---

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SITE PLAN

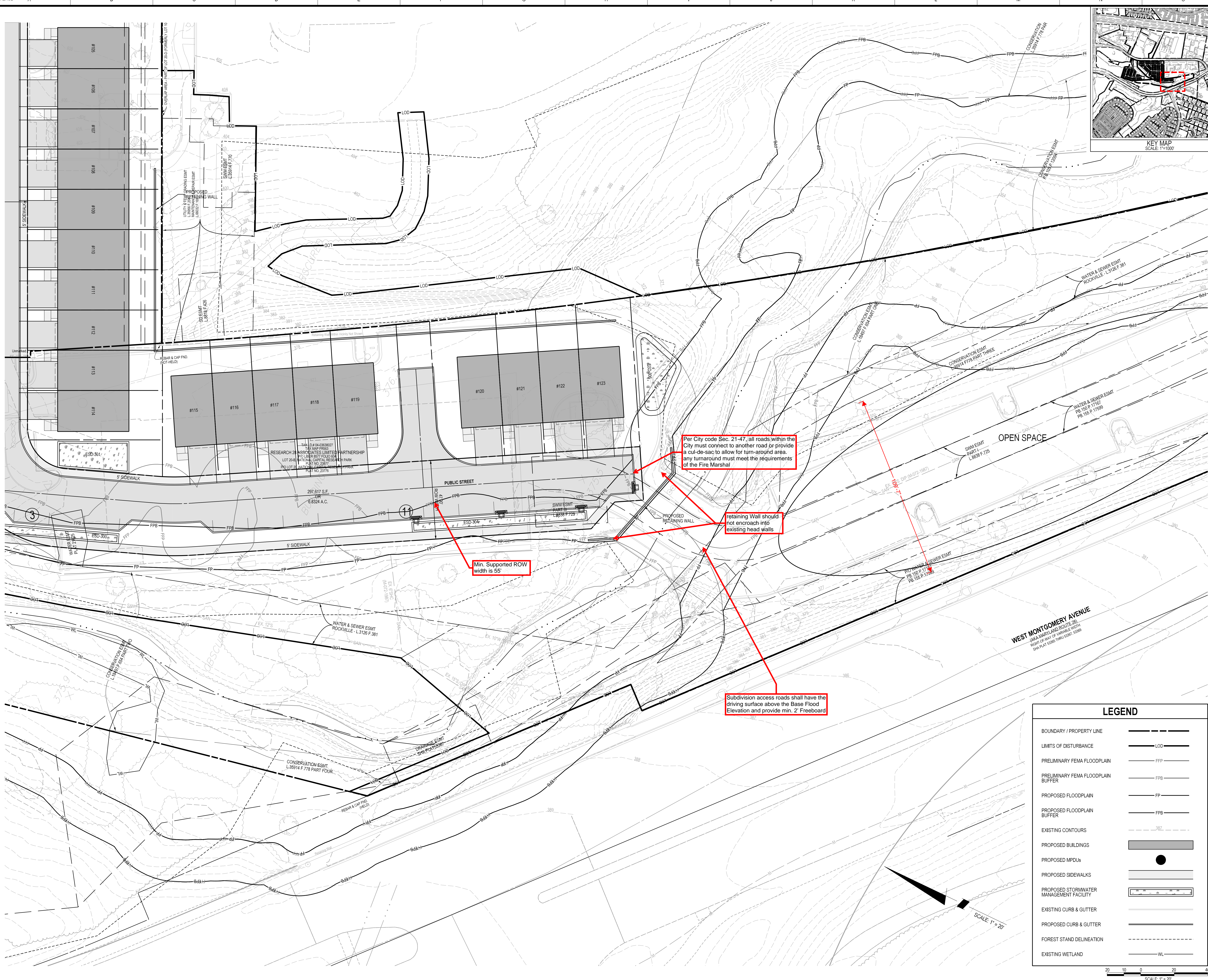
PRE-APPLICATION MEETING SITE PLAN

WESTAT

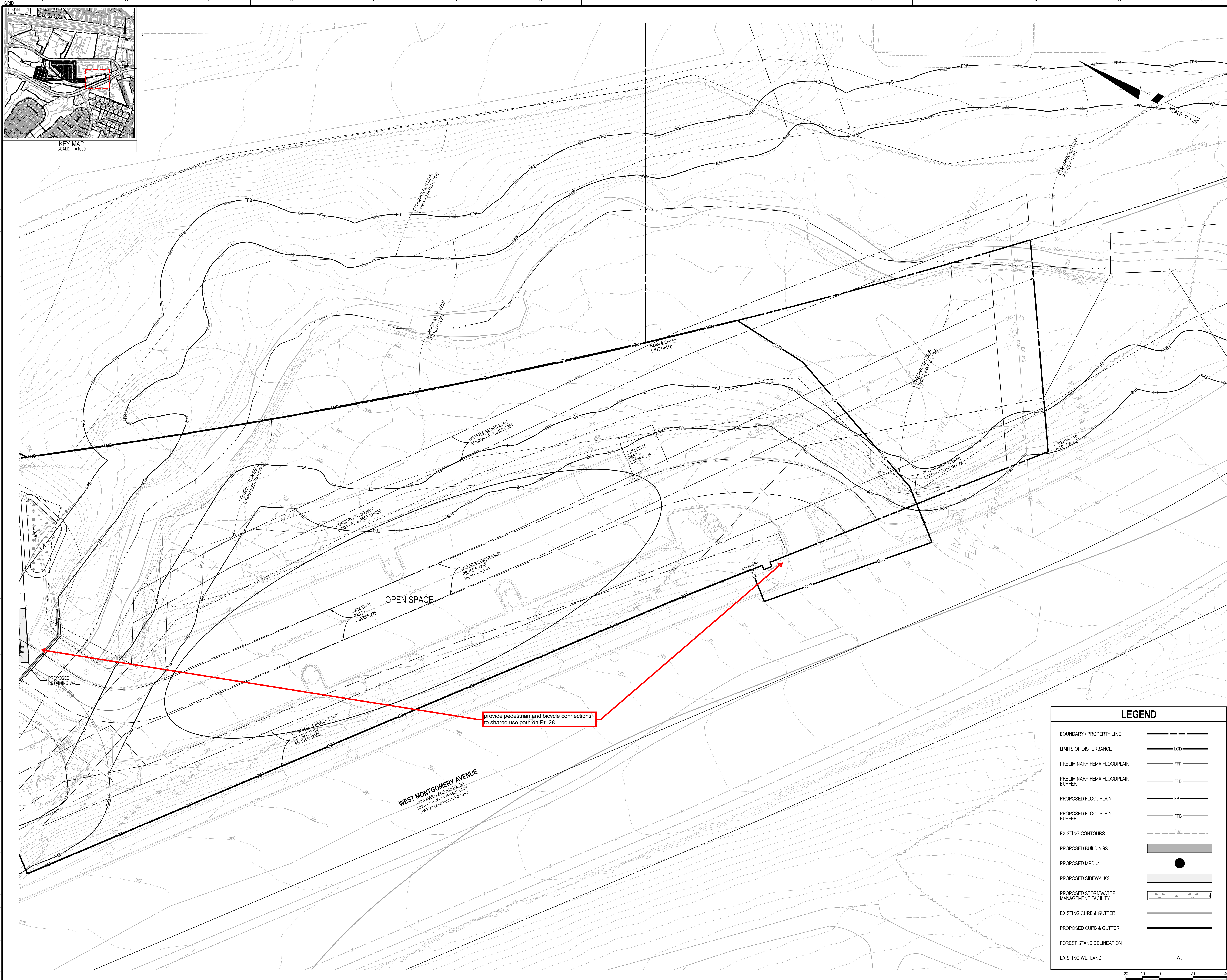
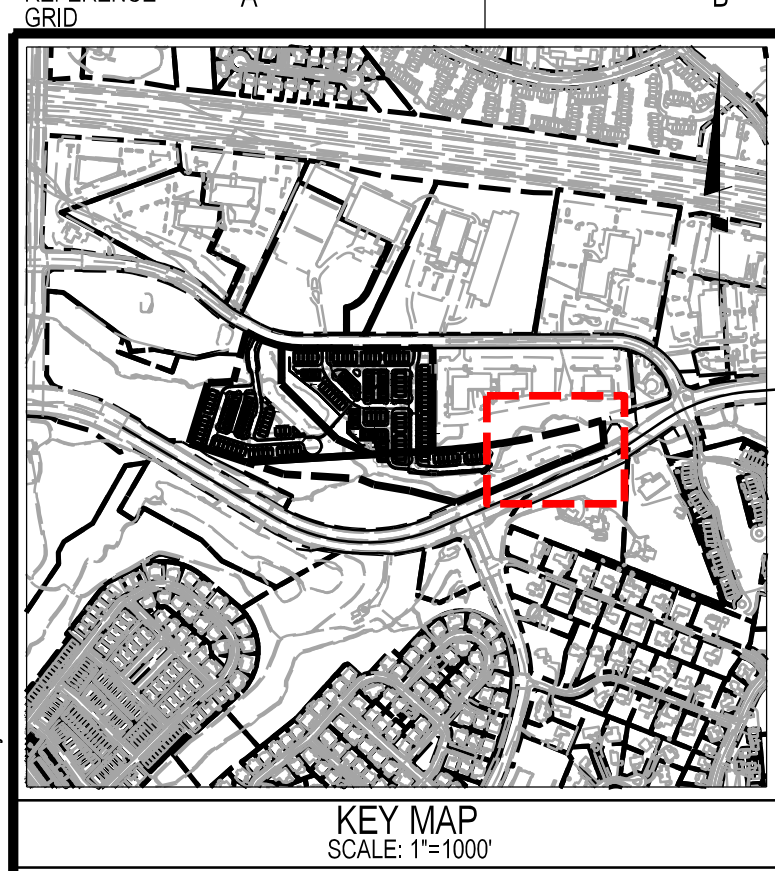
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

WSBC 200' SHEET 219NW09	ZONING CATEGORY: MOE
SITE DATUM: HORIZONTAL: NAD83/91 VERTICAL: NAVD83	TAX MAP: FR83
1" = 20'	DATE: 7/14/2025 DESIGNED: JS CHECKED: JS CAD STPS: TH VERSION: ORD / NCS
SHEET 7 OF 9	PROJECT NO.: 0641-33-00

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<h1 style="margin: 0;">SITE PLAN</h1> <h1 style="margin: 0;">WESTAT</h1> <h2 style="margin: 10px 0 0 0;">PRE-APPLICATION MEETING SITE PLAN</h2>			
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND			
WBCS 200' SHEET 219NMW09		ZONING CATEGORY: MXE	
SITE DATUM HORIZONTAL: NAD83/91 VERTICAL: NAVD83		TAX MAP FR83	
<p>1" = 20'</p>		DATE: 7/14/2025 DESIGNED: JS TECHNICIAN: JS CHECKED: TH CAD STDS. VERSION: ORD / NCS	
SHEET 8 OF 9			
PROJECT NO. 0541-33-00			



LEGEND	
BOUNDARY / PROPERTY LINE	---
LIMITS OF DISTURBANCE	---
PRELIMINARY FEMA FLOODPLAIN	---
PRELIMINARY FEMA FLOODPLAIN BUFFER	---
PROPOSED FLOODPLAIN	---
PROPOSED FLOODPLAIN BUFFER	---
EXISTING CONTOURS	---
PROPOSED BUILDINGS	■
PROPOSED MPDUs	●
PROPOSED SIDEWALKS	---
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SITE PLAN

PRE-APPLICATION MEETING SITE PLAN

WESTAT

ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

WSBC 200' SHEET	ZONING CATEGORY:
219NW09	MOE
SITE DATUM:	TAX MAP:
HORIZONTAL: NAD83/91	FR83
VERTICAL: NAD83/91	
DATE: 7/14/2025	DESIGNED: JS
1" = 20'	TECHNICIAN: JS
	CHECKED: TH
	CAD STOPS: ORD / NCS
	VERSION:
SHEET 9	
OF 9	
PROJECT NO.	
0641-33-00	

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