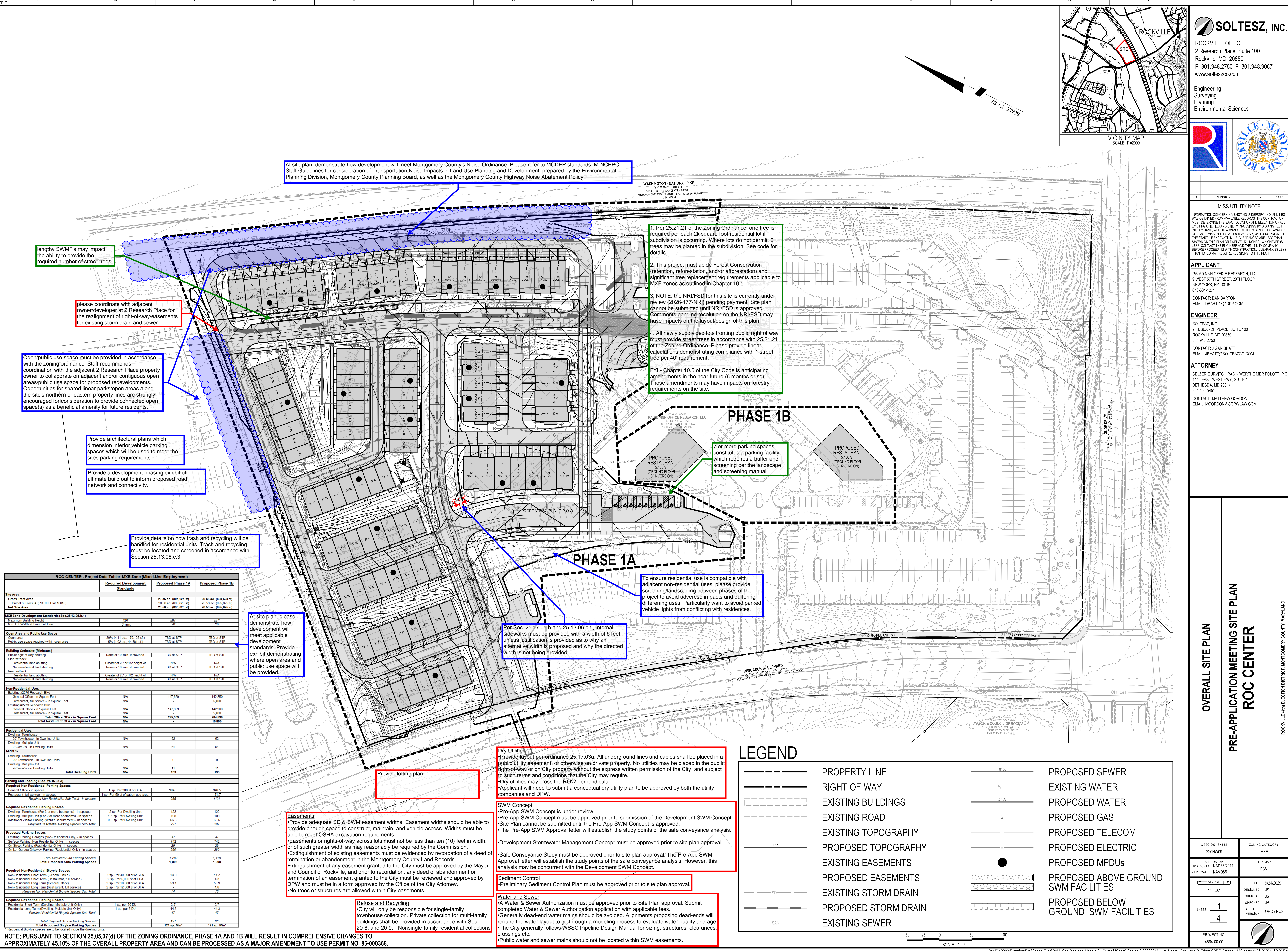


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ROC CENTER - Project Data Table: MXE Zone (Mixed-Use Employment)			
	Required Development Standards	Proposed Phase 1A	Proposed Phase 1B
Site Area:			
Open Space Area		20.56 ac. (895,625 sq ft)	20.56 ac. (895,625 sq ft)
Parcel 1, Block A (P&B, Plat 16816)		20.56 ac. (895,625 sq ft)	20.56 ac. (895,625 sq ft)
Net Site Area		20.56 ac. (895,625 sq ft)	20.56 ac. (895,625 sq ft)
MXE Zone Development Standards (Sec. 25.13.06.b.1)			
Maximum Building Height	120'	48'	48'
Min. Lot Width at Front Lot Line	10' min.	20'	20'
Open Area and Public Use Space			
Open Area	20% (41.1 ac. 1,761,125 sq ft)	TBD at STP	TBD at STP
Public use space required within open area	5% (10.2 ac. 44,781 sq ft)	TBD at STP	TBD at STP
Building Setbacks (Minimum)			
Public right of way abutting	None or 10' min. if provided	TBD at STP	TBD at STP
Side setback	Greater of 25' or 1/2 height of building	N/A	N/A
Residential land abutting	None or 10' min. if provided	TBD at STP	TBD at STP
Rear setback	None or 10' min. if provided	TBD at STP	TBD at STP
Residential land abutting	Greater of 25' or 1/2 height of building	N/A	N/A
Non-residential land abutting	None or 10' min. if provided	TBD at STP	TBD at STP
Non-Residential Uses			
Existing 22775 Research Blvd	N/A	147,689	147,689
General Office - in Square Feet	N/A	147,689	147,689
Restaurant, full service - in Square Feet	N/A	147,689	147,689
Existing 22775 Research Blvd	N/A	147,689	147,689
General Office - in Square Feet	N/A	147,689	147,689
Restaurant, full service - in Square Feet	N/A	147,689	147,689
Total Office GFA - in Square Feet	N/A	295,378	295,378
Total Restaurant GFA - in Square Feet	N/A	-	147,689
Residential Uses			
Dwelling, Townhouse	N/A	52	52
20' Townhouse - in Dwelling Units	N/A	52	52
Dwelling, Multiple Unit	N/A	61	61
2' Over 2's - in Dwelling Units	N/A	61	61
MPDUs			
Dwelling, Townhouse	N/A	9	9
20' Townhouse - in Dwelling Units	N/A	9	9
Dwelling, Multiple Unit	N/A	11	11
2' Over 2's - in Dwelling Units	N/A	11	11
Total Dwelling Units	N/A	133	133
Parking and Loading (Sec. 25.16.03.d)			
Required Non-Residential Parking Spaces			
General Office - in spaces	1 sp. Per 300 sq ft of GFA	984.5	984.5
Restaurant, full service - in spaces	1 sp. Per 50 sq ft of patron use area	171.7	171.7
Required Non-Residential Sub-Total - in spaces		885	1121
Required Residential Parking Spaces			
Dwelling, Townhouse (For 1 or more bedrooms) - in spaces	2 sp. Per Dwelling Unit	122	122
Dwelling, Multiple Unit (For 2 or more bedrooms) - in spaces	1.5 sp. Per Dwelling Unit	108	108
Additional Visitor Parking (Owner Requirement) - in spaces	0.5 sp. Per Dwelling Unit	66.5	66.5
Required Residential Parking Spaces Sub-Total		297	297
Proposed Parking Spaces			
Existing Parking (Garages from Residential Only) - in spaces		47	47
Existing Parking (Non-Residential Only) - in spaces		742	742
On-Street Parking (Residential Only) - in spaces		29	29
On-Street Parking (Non-Residential Only) - in spaces		29	29
On-Street Parking (Visitor) - in spaces		29	29
Total Required Auto Parking Spaces		1,292	1,418
Total Proposed Auto Parking Spaces		1,098	1,098
Required Non-Residential Bicycle Spaces			
Non-Residential Short Term (General Office) - in spaces	2 sp. Per 40,000 sq ft of GFA	14.8	14.8
Non-Residential Short Term (Restaurant, full service) - in spaces	2 sp. Per 10,000 sq ft of GFA	4.3	4.3
Non-Residential Long Term (General Office) - in spaces	2 sp. Per 10,000 sq ft of GFA	58.1	58.1
Non-Residential Long Term (Restaurant, full service) - in spaces	2 sp. Per 10,000 sq ft of GFA	1.8	1.8
Required Non-Residential Bicycle Spaces Sub-Total		79	79
Required Residential Bicycle Spaces			
Residential Short Term (Dwelling, Multiple Unit Only) - in spaces	1 sp. per 60 DU	2.7	2.7
Residential Long Term (Dwelling, Multiple Unit Only) - in spaces	1 sp. per 3 DU	44.3	44.3
Required Residential Bicycle Spaces Sub-Total		47	47
Total Required Bicycle Parking Spaces		127	127
Total Proposed Bicycle Parking Spaces		121 sp. Min	121 sp. Min

NOTE: PURSUANT TO SECTION 25.05.07(d) OF THE ZONING ORDINANCE, PHASE 1A AND 1B WILL RESULT IN COMPREHENSIVE CHANGES TO APPROPRIATELY 45.10% OF THE OVERALL PROPERTY AREA AND CAN BE PROCESSED AS A MAJOR AMENDMENT TO USE PERMIT NO. 86-000368.

LEGEND

PROPERTY LINE	6" S	PROPOSED SEWER
RIGHT-OF-WAY	W	EXISTING WATER
EXISTING BUILDINGS	4" W	PROPOSED WATER
EXISTING ROAD	G	PROPOSED GAS
EXISTING TOPOGRAPHY	T	PROPOSED TELECOM
PROPOSED TOPOGRAPHY	E	PROPOSED ELECTRIC
EXISTING EASEMENTS		PROPOSED MPDUs
PROPOSED EASEMENTS		PROPOSED ABOVE GROUND SWM FACILITIES
EXISTING STORM DRAIN		PROPOSED BELOW GROUND SWM FACILITIES
PROPOSED STORM DRAIN		
EXISTING SEWER		

50 25 0 25 50 100

SCALE: 1" = 50'

DATE: 9/24/2025

DESIGNED: JS

CHECKED: JS

ORD/NCS

PROJECT NO. 4554-00-00

DATE: 9/24/2025

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OVERALL SITE PLAN

PRE-APPLICATION MEETING SITE PLAN

ROC CENTER

WSSC 220W SHEET 220W09

ZONING CATEGORY: MXE

HORIZONTAL: NAD83/2011

TAX MAP: F581

VERTICAL: NAVD83

DATE: 9/24/2025

1" = 50'

DESIGNED: JS

SHEET 1

CHECKED: JS

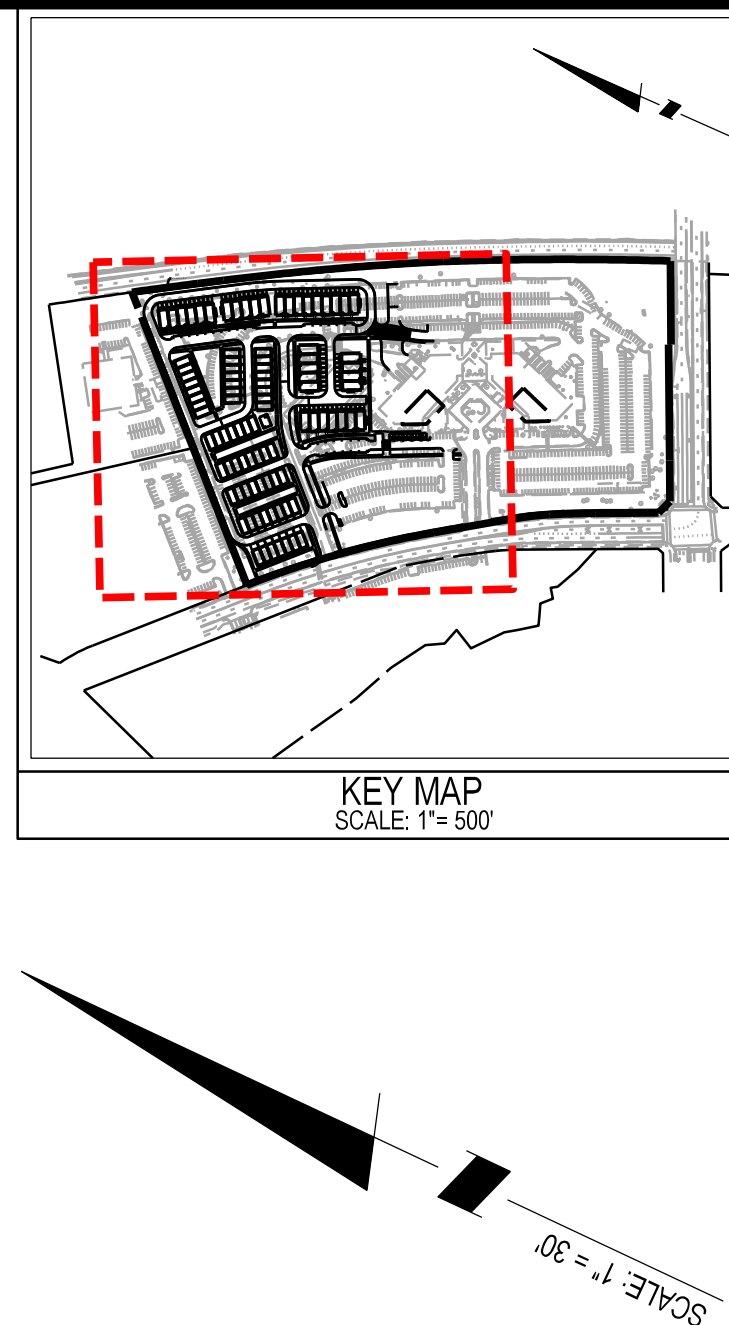
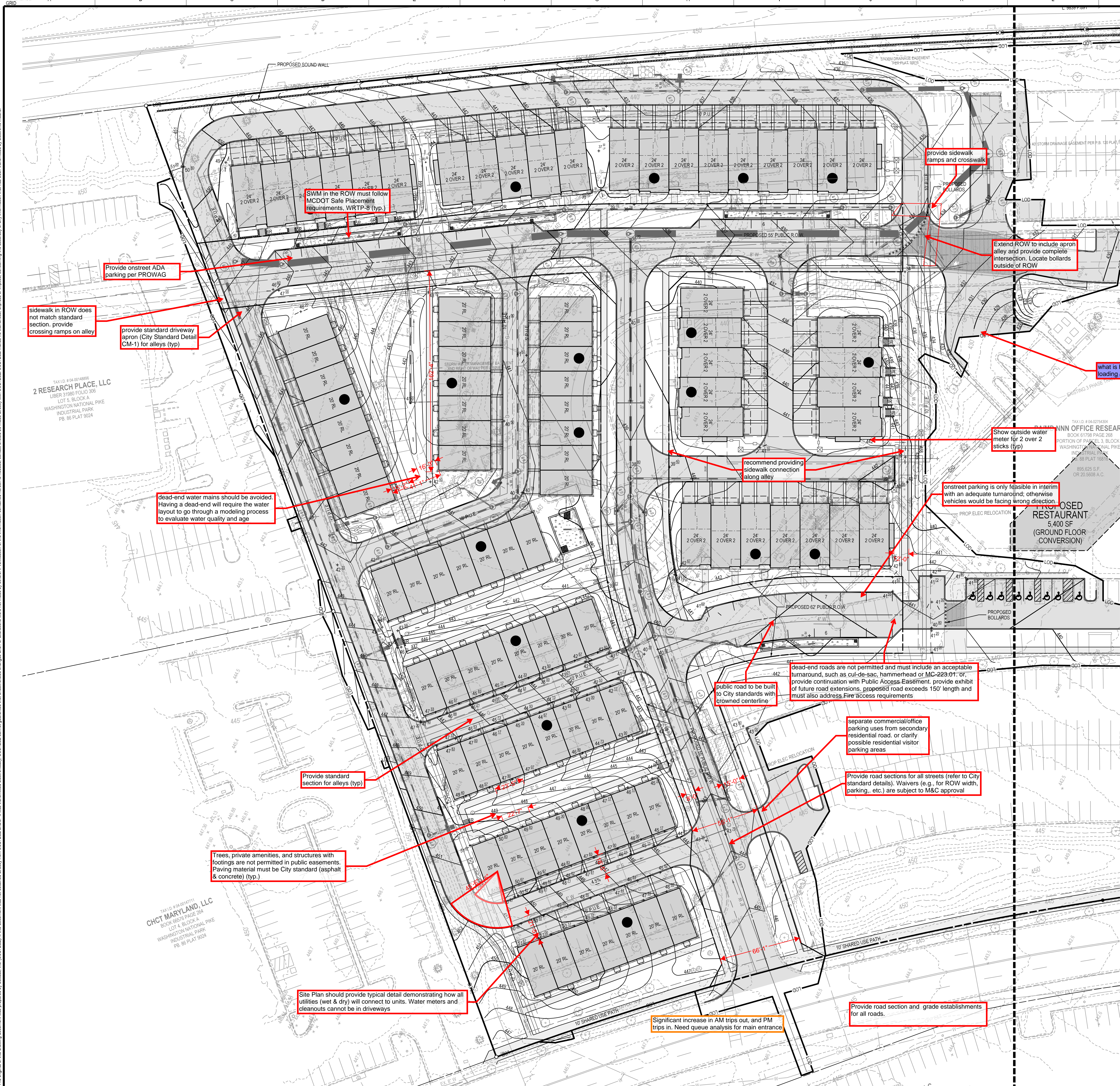
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PROJECT NO. 4554-00-00

DATE: 9/24/2025

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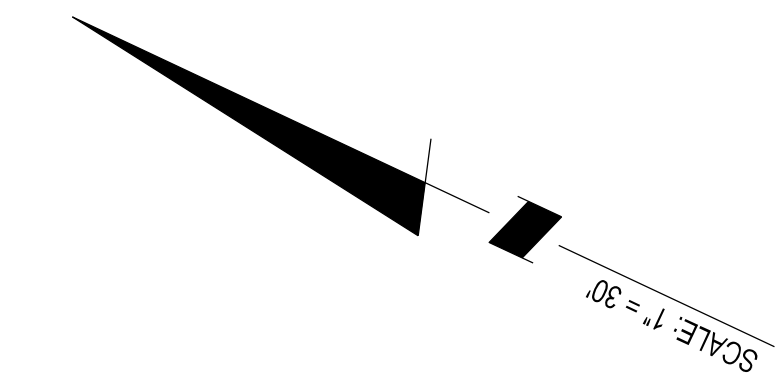
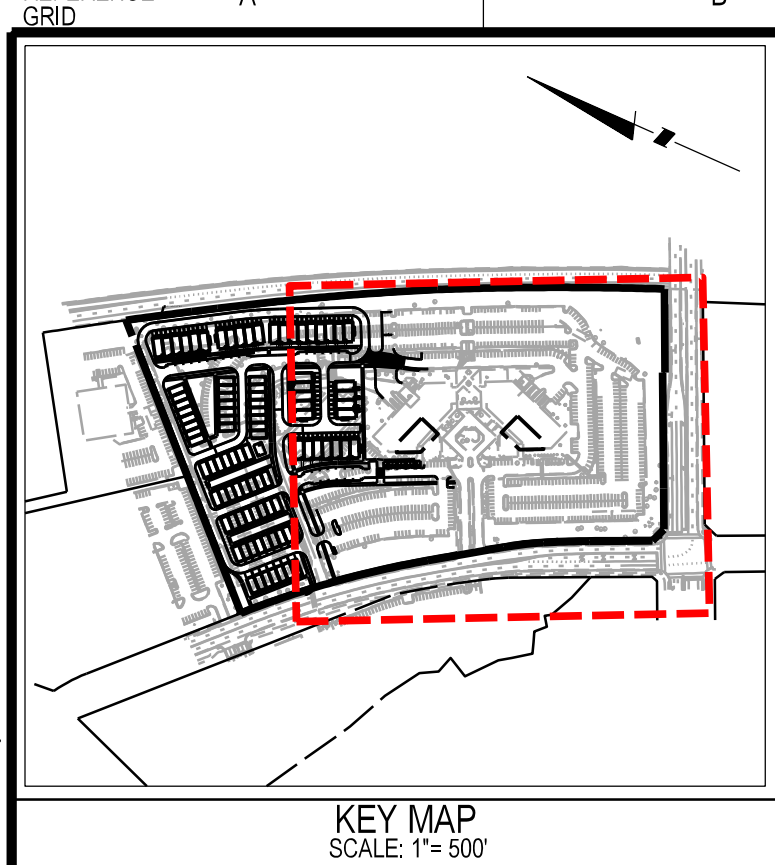
SITE PLAN
PRE-APPLICATION MEETING SITE PLAN
ROC CENTER
PHASE 1A

ROCKVILLE (MD) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

WSBC 200' SHEET	ZONING CATEGORY:
220NW09	MXE
SITE DATUM	TAX MAP
HORIZONTAL: NAD83/2011	F581
VERTICAL: NAVD83	
DATE: 9/24/2025	DESIGNED: JS
1" = 30'	CHECKED: JB
SHEET 2	CAD STPS. VERSION: ORD / NCS
OF 4	
PROJECT NO. 4554-00-00	

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING BUILDINGS
	EXISTING ROAD
	EXISTING TOPOGRAPHY
	PROPOSED TOPOGRAPHY
	EXISTING EASEMENTS
	PROPOSED EASEMENTS
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING SEWER
	PROPOSED SEWER
	EXISTING WATER
	PROPOSED WATER
	PROPOSED GAS
	PROPOSED TELECOM
	PROPOSED ELECTRIC
	PROPOSED MPDUs
	PROPOSED ABOVE GROUND SWM FACILITIES
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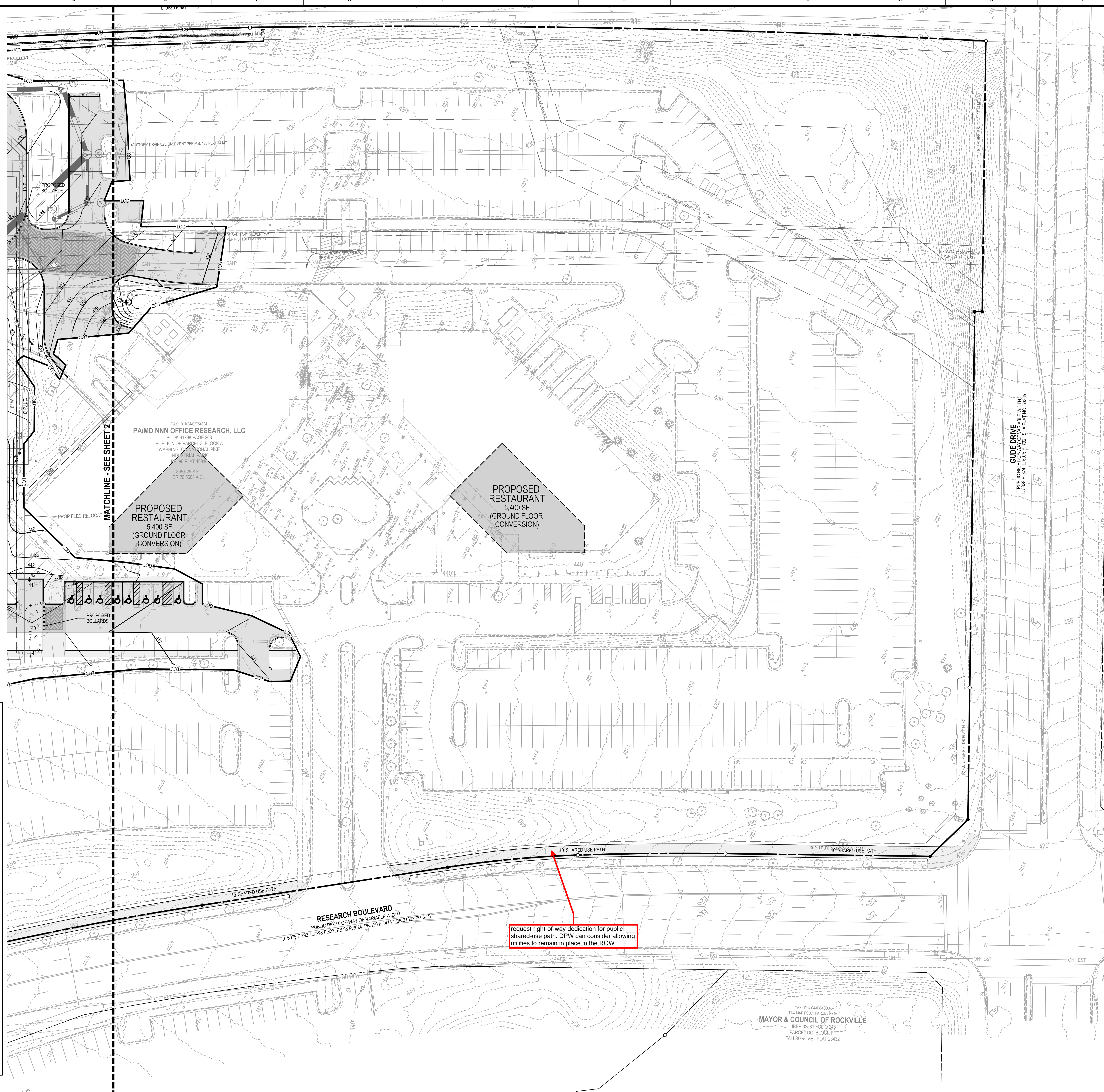
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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING BUILDINGS
	EXISTING ROAD
	EXISTING TOPOGRAPHY
	PROPOSED TOPOGRAPHY
	EXISTING EASEMENTS
	PROPOSED EASEMENTS
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING SEWER
	PROPOSED SEWER
	EXISTING WATER
	PROPOSED WATER
	PROPOSED GAS
	PROPOSED TELECOM
	PROPOSED ELECTRIC
	PROPOSED MPDUS
	PROPOSED ABOVE GROUND SWM FACILITIES
	PROPOSED BELOW GROUND SWM FACILITIES

30 15 0 30 60
SCALE: 1" = 30'



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SITE PLAN PRE-APPLICATION MEETING SITE PLAN ROC CENTER PHASE 1B

WSBC 200' SHEET 220NW09	ZONING CATEGORY: MXE
SITE DATUM HORIZONTAL: NAD83/2011 VERTICAL: NAVD83	TAX MAP F581
1" = 30'	DATE: 9/24/2025 DESIGNED: JS TECHNICIAN: JS CHECKED: JB CADD STPS. VERSION: ORD / NCS
SHEET 3 OF 4	PROJECT NO. 4554-00-00

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LEGEND:

	PROP. ELECTRIC
	PROP. ELECTRIC SECONDARY
	PROP. TELECOM
	PROP. GAS LINE
	PROP. TRANSFORMER
	PROP. 5'X3' HAND HOLE
	PROP. 17'X24' HAND HOLE
	EX. STORM DRAIN PIPE
	PROP. STORM DRAIN PIPE
	EX. SEWER PIPE
	PROP. SEWER PIPE
	EX. WATER PIPE
	PROP. WATER PIPE
	PROP. PUE
	PROP. WATER & SEWER EASEMENT
	PROP. STORMWATER MANAGEMENT

Sec. 24-32. - Conditions for service lines and connections.
(a) For all permit applications for a new water service under chapter 5 and/or chapter 21, each record lot, parcel, or ownership lot, shall have one (1) City water service line and City meter connecting to the City water main, except as otherwise provided in this section. For all permit applications for a new sewer service under chapter 5 and/or chapter 21, each record lot, parcel, or ownership lot shall have one (1) City sewer service line connecting to the City sewer main, except as otherwise provided in this section...
(d) Multiple buildings on one (1) record lot, parcel, or ownership lots shall comply with the following:
1. Each building must be sub-metered separately. The sub-meter shall be owned and maintained by the property owner.
2. For all new development and re-development, the private property owner must execute a declaration of covenants in a manner acceptable to the City. The document must:
a. Require the owner to install separate water and sewer City service lines connecting to the City water and sewer main in the event the owner seeks to create multiple lots, parcels or ownership lots.
b. Require each lot, parcel or ownership lot to be served by separate water and sewer City service lines connecting to the City water and sewer main.
c. Require each lot, parcel or ownership lot to be separately metered.
d. Be binding on all subsequent property owners of land served by the water or sewer systems.
e. Be recorded by and at the expense of the owner, in the land records of Montgomery County, prior to the issuance of a building permit unless otherwise the Director otherwise allows the recordation at another time.

water meters and cleanouts shall be provided at the outside edge of easements, either the homeowner or HOA shall be responsible for the private maintenance of yard lines as required by HOA covenants

Note: Per Section 25.17.03, electrical equipment including transformers must be placed underground or in an enclosed building unless approved for a waiver.

private amenities (e.g., decks, stoops, etc.) may not encroach City easement (typ)

Minimum fire hydrant spacing shall be 500' in single family developments and 250' to 300' in townhouse and all other areas. Locate hydrants on lot lines and in accordance with WSSC guidelines and/or as directed by DPW and Inspection Services Division (ISD)

Maintain a minimum of five (5) feet horizontally between existing/proposed storm drain pipes and structures, utility poles, dry utilities and appurtenances, conduits, etc. (measured outside to outside)

Water should be located seven (7) feet off centerline of proposed curb and gutter

sewer alignment should be within pavement, away from street trees, adjust storm drain, water main, and ESD 1-4 as necessary, manholes and structures shall not be located in sidewalk

Why is SD at 45? Move private SD outside of ROW (typ)

reduce the amount of structures in ROW

Inlets shall be placed at a minimum of the following locations:
• In all sags (flanking inlets where required to prevent flooding of property or buildings)
• Upgrade of all intersections and driveways (except where flow is less than 3 cfs)
• Any point along streets where
o Spread greater than 8 feet would occur
o Interception would be less than 70%
o Bypass would exceed 3 cfs
• Inlets at intersections shall be located with the closest end of the inlet at least 3 feet from the Point of Curvature (P.C.) of the curb fillet.
• Inlets at pedestrian ramps shall be located with the closest end of the inlet at least 3 feet from point where the ramp connects to the top of curb.

Location and dimensions of proposed SWM easements. Easements for filtration facilities shall include flow splitters and outfalls. Easements for structural facilities shall include storage chambers, control structures, outfalls, any related appurtenances and access points. Easement widths shall provide adequate space for construction, maintenance and vehicle access, and meet OSHA excavation requirements. Min. 10-foot clearance around each facility or as approved by DPW

provide easement

eliminate parallel SD systems

provide easement

provide additional easement area for sewer maintenance where there is insufficient ROW width

see inlet comment at bottom right corner. WR inlets are not permitted in ROW

Provide minimum 20' wide easement for water or sewer main and minimum 30' wide easement for parallel water and sewer. additional easement area may be required based on depths, setbacks, etc.

private alleys shall meet City standards and specifications, including reverse-crown section

min. 8" watermains are required

Where crossings cannot be perpendicular they will be at an angle no more than 45° from perpendicular. (typ.)

private underground SWM facilities shall be located on private property

Maintain a minimum of ten (10) feet horizontally between water and sewer, and between existing/proposed water and/or sewer and all other structures, utilities and appurtenances (measured outside to outside) (typ.)

Minimum SD diameter of 15" permitted in ROW

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NO.	REVISIONS	BY	DATE

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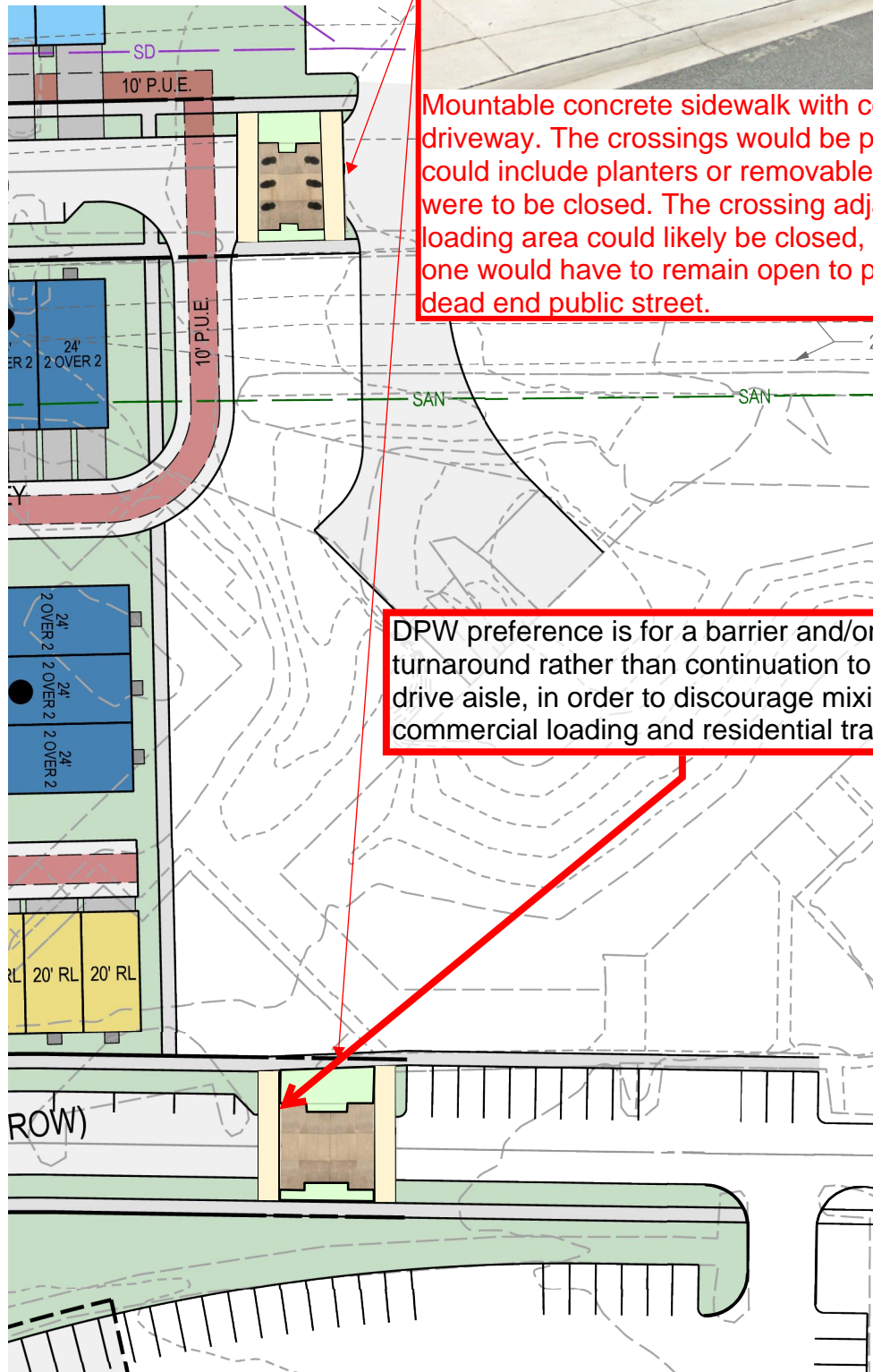
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COLOR CODED UTILITY PLAN
PRE-APPLICATION MEETING SITE PLAN
ROC CENTER

WSBC 200' SHEET 220XW09	ZONING CATEGORY: MXE
SITE DATUM HORIZONTAL: NAD83/2011 VERTICAL: NAVD83	TAX MAP FS61
1" = 40'	DATE: 9/24/2025 DESIGNED: JS CHECKED: JS CAD STOPS: JB VERSION: ORD / NCS
SHEET 4 OF 4	PROJECT NO. 4564-00-00

Public Street to Private Street Transition Concept 1



Mountable concrete sidewalk with concrete or paver driveway. The crossings would be private space and could include planters or removable bollards if they were to be closed. The crossing adjacent to the loading area could likely be closed, but the lower one would have to remain open to prevent having a dead end public street.

DPW preference is for a barrier and/or turnaround rather than continuation to private drive aisle, in order to discourage mixing commercial loading and residential traffic

Concept 2

